



Woollahra Local Planning Panel Public Meeting

Thursday 1 September 2022
1.00pm

Agenda

Meeting to be held using conferencing
technology

FOR ELECTRONIC MEETINGS

Compliance with social distancing requirements to limit the spread of COVID-19 virus at Woollahra Local Planning Panel Meetings (Public Meetings):

Amendments have been made to the *Local Government Act 1993* to allow councils to meet remotely to reduce the risk of COVID-19 and ensure compliance with the Public Health Order.

Woollahra Council will be holding Woollahra Local Planning Panel (WLPP) meetings remotely using conferencing technology. The Chair of the panel, members of the Panel and staff will be participating in meetings in person and members of the public may attend via audio-visual link.

In response to the Directive issued by the Minister for Planning & Public Spaces on 30 June 2020, the Woollahra Local Planning Panel was required to change the way applications are considered from 1 August 2020.

In this regard, the applications listed on this Agenda will be considered at a public meeting by the Panel.

Members of the public are invited to listen to Public meetings using conferencing technology. Public participation by phone will be managed in accordance with meeting procedures.

Instructions on how to join the meeting will be forwarded to person who have pre-registered to listen or make a submission to the panel.

This information will be forwarded on the day of the meeting via email.

Late correspondence may be submitted for consideration by the Panel. All late correspondence must be received by **12 noon on the day before the meeting**. Late correspondence is to be emailed to records@woollahra.nsw.gov.au

The Woollahra Local Planning Panel (Public Agenda), including the assessment report on the development application, will be publically available on Council's website six (6) days prior to the meeting at: www.woollahra.nsw.gov.au/council/meetings_and_committees/agendas_and_minutes

Minutes of the Woollahra Local Planning Panel (Electronic Meeting) will be posted to Council's website once finalised.

If you are experiencing any issues in joining the meeting please call Council's Governance department on (02) 9391 7001.

A audio recording of the meeting will be uploaded to Council's website following the meeting by 5.00pm on the next business day.

Outline of Meeting Protocol & Procedure (COVID-19):

- The Chair will call the Meeting to order and ask the Panel/Staff to present apologies and/or late correspondence.
- The Chair will commence the Order of Business as shown in the Index to the Agenda.
- To listen to the meeting, please register by sending your name, phone number, email address and item you are interested in to records@woollahra.nsw.gov.au by **12 noon on the day before the meeting**.
- To register to speak at the meeting, you should register using the appropriate 'Register to address the Panel Application Form' as available on Council's website at: www.woollahra.nsw.gov.au by **12 noon on the day before the meeting**.
- Members of the Public who have pre-registered to listen or speak at a meeting will be sent an email with the audio-visual link prior to the meeting. Please **do not** share the audio-visual link with any third party/ies.
- Members of the Public who have pre-registered to speak will be allowed three (3) minutes in which to address the Panel, one (1) warning bell will be rung at the conclusion of two (2) minutes and two (2) warning bells rung at the conclusion of three (3) minutes. Please direct comments to the issues at hand.
- If there are persons representing both sides of a matter (e.g. applicant/objector), the person(s) against the recommendation speak first.
- At the conclusion of the allocated three (3) minutes, the speaker takes no further part in the debate unless specifically called to do so by the Chair.
- If there is more than one (1) person wishing to address the Panel from the same side of the debate, the Chair will request that where possible a spokesperson be nominated to represent the parties.
- After considering any submissions the Panel will debate the matter (if necessary) in closed session, and arrive at a resolution.
- Minutes of the Woollahra Local Planning Panel (Public Meeting) will be posted to Council's website once finalised.

Disclaimer:

By speaking at the Woollahra Local Planning Panel (WLPP) Meeting members of the public consent to their voice and personal information (including name and address) being recorded and publicly available on Council's website. Accordingly, please ensure your address to Council is respectful and that you use appropriate language and refrain from making any defamatory statements or discriminatory comments.

Woollahra Council does not accept any liability for statements, comments or actions taken by individuals during a Council meeting.

Any part of the meeting that is held in closed session will not be recorded.

People connecting to this meeting by conferencing technology are reminded that under the *Local Government Act 1993*, the recording of meetings by a member of the public using any electronic recording device including a mobile phone or video camera is not permitted. Any person found recording without the permission of Council may be expelled from the meeting.

The recording of each meeting will be retained on Council's website for a minimum period of 6 months. After that period has passed, recordings of meetings may be disposed of in accordance with the *State Records Act 1998*.

For further information please visit www.woollahra.nsw.gov.au

Woollahra Local Planning Panel Membership:

1 Chair, 2 Experts and 1 Community Representative

Quorum:

3 Panel members

Woollahra Municipal Council

Notice of Meeting

24 August 2022

To: Woollahra Local Planning Panel Members
Chair
Experts
Community Representative

Dear Panel Members,

Woollahra Local Planning Panel (Public Meeting) – 1 September 2022

In accordance with the provisions of the Local Government Act 1993, I request your attendance at Council's **Woollahra Local Planning Panel (Public)** meeting to be held via teleconference, **on Thursday 1 September 2022 at 1.00pm.**

Panel Members, members of the public and staff are advised that we will be holding Woollahra Local Planning Panel meetings remotely using conferencing technology (until further notice).

Members of the public may:

- Register to address the meeting by **no later than 12 noon on the day before the meeting** using the following Register to Speak Form https://www.woollahra.nsw.gov.au/council/meetings_and_committees/planning_panels/woollahra_local_planning_panel_wlpp/wlpp_register_to_speak.
- Submit late correspondence for consideration by Councillors by emailing records@woollahra.nsw.gov.au by **12noon on the day of the meeting.**
- Watch and listen to the meeting live via Council's website **from 1.00pm on the day of the meeting:** https://www.woollahra.nsw.gov.au/council/meetings_and_committees/planning_panels/woollahra_local_planning_panel_wlpp/wlpp_agendas_audio_recordings_and_minutes

A audio recording of the meeting will be uploaded to Council's website following the meeting by 5.00pm on the next business day.

The safety of our community, Councillors and our staff is Council's number one priority and we thank you for your patience and understanding at this time.

If you have any difficulties accessing the meeting please contact (02) 9391 7001.

Regards,

Craig Swift-McNair
General Manager

Meeting Agenda

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3.	Leave of Absence and Apologies	
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Items to be Decided by the Panel

D1	Outcome of the Heritage Study: Professor Leslie Wilkinson in Woollahra 22/156904.....	7
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Item No: D1
Subject: **OUTCOME OF THE HERITAGE STUDY: PROFESSOR LESLIE WILKINSON IN WOOLLAHRA**

Author: Flavia Scardamaglia, Senior Strategic Heritage Officer
Approver: Anne White, Manager - Strategic Planning & Place
File No: 22/156904
Purpose of the Report: To seek the advice of the Woollahra Local Planning Panel in relation to a planning proposal to list five sites as local heritage items in Schedule 5 and on the Heritage Map of the Woollahra Local Environmental Plan 2014. To also seek the advice of the Woollahra Local Planning Panel in relation to the nomination of Greenway at 24 Wentworth Road, Vaucluse to the State Heritage Register.

Alignment to Delivery Program: Strategy 4.2 Conserving our rich and diverse heritage.

Recommendation:

- A. THAT the Woollahra Local Planning Panel advises Council to proceed with the planning proposal to list the following sites as local heritage items in Schedule 5 and on the Heritage Map of the Woollahra Local Environmental Plan 2014:
- i. *Monument to Robert Watson*, including sandstone tablet, carvings and setting at 22 Military Road, Watsons Bay, Robertson Park (part of Lot 7093 DP 107469).
 - ii. *Hampden Lodge*, including interiors and garage at 12 Hampden Avenue, Darling Point (Lot 1 DP 1184885).
 - iii. House, including interiors and gardens at 43 Latimer Road, Bellevue Hill (Lot A DP 312687, Lot A DP 318717 and Lot 1 131019).
 - iv. House, including interiors at 56 Wallaroy Road, Woollahra (Lot 3 DP 17153).
 - v. Wrought iron gate and brick posts at 28A Wentworth Road, Vaucluse (Part of Lot 2 DP 531931)
- B. THAT the Woollahra Local Planning Panel provides advice to Council staff to proceed with the nomination to the State Heritage Register of the local heritage item "*Greenway*"—*all buildings, interiors and works, grounds, grove of approx 8 Sydney Pink Gums* at 24 Wentworth Road, Vaucluse (Item 413, Lot 101 DP 621888).

Executive Summary:

The purpose of this report is to seek the advice of the Woollahra Local Planning Panel (Woollahra LPP) on the listing of the following sites as local heritage items in Schedule 5 and on the Heritage map of the *Woollahra local Environmental Plan 2014* (Woollahra LEP 2014):

- *Monument to Robert Watson*, including sandstone tablet, carvings and setting at 22 Military Road, Watsons Bay, Robertson Park (Part of Lot 7093 DP 107469).
- *Hampden Lodge*, including interiors and garage at 12 Hampden Avenue, Darling Point (Lot 1 DP 1184885).
- House, including interiors and gardens at 43 Latimer Road, Bellevue Hill (Lot A DP 312687, Lot A DP 318717 and Lot 1 131019).
- House, including interiors at 56 Wallaroy Road, Woollahra (Lot 3 DP 17153).
- Wrought iron gate and brick posts at 28A Wentworth Road, Vaucluse (Part of Lot 2 DP 531931)

We recommend that the Woollahra LPP provides advice to Council to proceed with the planning proposal at **Attachment 4**.

Council staff are also seeking feedback from the Woollahra LPP on the proposed nomination to the State Heritage Register (SHR) of the local heritage item “Greenway”—*all buildings, interiors and works, grounds, grove of approx 8 Sydney Pink Gums* at 24 Wentworth Road, Vaucluse (Item 413, Lot 101 DP 621888)

Discussion:

Reason for report to the Woollahra Local Planning Panel

On 27 September 2018, the Minister for Planning issued a Local Planning Panel Direction – Planning Proposals:

- A Council to whom this direction applies is required to refer all planning proposals to be prepared after 1 June 2018 to the local planning panel for advice, unless the council's general manager determines that the planning proposal relates to:
 - a) the correction of an obvious error in a local environmental plan
 - b) matters that are of a consequential, transitional, machinery or other minor nature, or
 - c) matters that council's general manager considers will not have any significant adverse impact on the environment or adjoining land.
- When a planning proposal is referred to the panel, it must be accompanied by an assessment report prepared by council staff setting out recommendations, including whether or not the planning proposal should proceed
- A proposal is to be referred to the local planning panel before it is forwarded to the Minister under section 3.34 of the *Environmental Planning and Assessment Act 1979* (the Act).

In this case, the planning proposal is required to be referred to the Woollahra LPP because the General Manager has not made a determination in regard to items 1 (a), (b) or (c), above.

Background

Born in England in 1882, Leslie Wilkinson was a Professor of Architecture at the University of Sydney who dedicated his life to Architecture as both an academic and practising architect. He is a leading and influential figure in Australian architecture, whose traditional approach combined Australia's colonial heritage with Mediterranean influences experienced during his travels.

In recognition of his architectural contribution, 28 sites that were wholly or partially designed by Professor Leslie Wilkinson are already protected via individual listings in the Woollahra LEP 2014. Three additional sites, 5A and 6 Wiston Gardens and *Bishopscourt* at 11A Greenoaks Avenue, Darling Point are protected as State Heritage items under the *Heritage Act 1977*. Wilkinson also had some involvement with the design of *Dunara* at 10 Dunara Gardens Point Piper, which is also listed as a State Heritage Item.

However, due to the volume of work that Leslie Wilkinson carried out in the Eastern suburbs, in 2005 it was recognised that the number of current listings were unlikely to represent a true contribution of his work to the built form heritage of the Woollahra Local Government Area and more research was required.

On 26 April 2005, Woollahra Council endorsed the *Built Environment Principal Activity – 2005-08* resolving that the *Built Environment Principal Activity* be included in the *Draft Management Plan*. The *Built Environment Principal Activity* included the following project:

- *Review potential heritage items, Wilkinson buildings:*
 - *Completing investigations*
 - *Report to UPC*

In 2008, a preliminary inventory of works by Professor Leslie Wilkinson was compiled by Council staff. This project was accelerated in March 2014, with the use of external resources to review the list, and to make recommendations as to whether any of these sites reach the threshold for individual heritage listing. A progress report was presented to the Urban Planning Committee (UPC) on 10 November 2014 (see **Attachment 1**) which recommended the following:

That Council note the next stages of the study as set out in the report to the Urban Planning Committee meeting on 10 November 2014.

The conclusion of this report states the following:

Leslie Wilkinson has had a profound impact on architecture in Australia. The majority of his domestic commissions were within the Woollahra Local Government Area. Council has already identified and heritage listed 28 significant examples of his work.

In order to complete the comprehensive review of Wilkinson's work in the municipality, site inspections for the six properties identified as potential heritage items should be carried out to determine the extent of his association with each property. Following the site inspections draft inventory forms will be completed and another report prepared recommending heritage listing of those properties that reach the threshold for local heritage listing

However, on 24 November 2021 Council resolved the following:

That Council defer the study until Council Staff have the capacity to prioritise the study.

On 22 November 2021, Council endorsed the *Woollahra Heritage Gap Analysis*. The *Woollahra Heritage Gap Analysis* and accompanying Action Plan was prepared to inform future heritage studies that will fill the gaps identified in the current listings and management practices.

Part 7 of the *Woollahra Heritage Gap Analysis* contains the Action Plan and the first priority is to *Finalise outstanding heritage studies and assessments*. This includes the Leslie Wilkinson Heritage Study.

Progressing the heritage study

As identified above, this study commenced in 2008 when Council staff prepared a list of:

- Properties listed on the Woollahra LEP 2014 associated with Professor Leslie Wilkinson;
- Properties listed on the Woollahra LEP 2014 whose association with Professor Leslie Wilkinson is yet to be ascertained;
- Properties associated with Professor Leslie Wilkinson that do not have statutory heritage protection.

In compiling these lists, staff reviewed documents from Council and Woollahra Libraries Records, the State Library of NSW, the National Library of Australia (Trove) and the Australian Institute of Architects (NSW Chapter).

During the undertaking of this heritage study:

- Twenty eight heritage listed items in the Woollahra LGA associated with Professor Leslie Wilkinson were reviewed in order to inform a comparative analysis;
- Seventy additional properties in the Woollahra LGA, with potential association with Professor Leslie Wilkinson were identified and researched;
- Of these 71 properties, only 25 properties are currently extant and these were assessed for their level of intactness;
- Of these 25 properties, 17 owners were sent correspondence requesting a site inspection.

- Of these 17 sites, 11¹ owners facilitated a site inspection so that staff could view the interiors and grounds.
- Six properties associated with Professor Leslie Wilkinson were assessed in accordance with the NSW heritage criteria.

Assessments of heritage significance

An assessment of heritage significance for each of the six sites was carried out by *Council’s Senior Strategic Heritage Officer Flavia Scardamaglia*, in accordance with the document titled *Assessing heritage significance*, published by the NSW Heritage Office in 2001 and *Investigating Heritage Significance 2021* published by Heritage NSW.

All sites have been assessed against the seven NSW heritage criteria. Each criterion has inclusions and exclusions guidelines which are used to assist in the assessment process. If an item meets one of the seven heritage criteria at a local level, and retains the integrity of its key attributes, it can be considered to have local heritage significance.

Table 1: NSW Heritage assessment criteria summary

Criteria		
(a)	Historic significance	<i>An item is important in the course, or pattern, of NSW’s cultural or natural history (or the cultural or natural history of the local area)</i>
(b)	Historical association significance	<i>An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW’s cultural or natural history (or the cultural or natural history of the local area)</i>
(c)	Aesthetic significance	<i>An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area)</i>
(d)	Social significance	<i>An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons</i>
(e)	Technical significance/research potential	<i>An item has potential to yield information that will contribute to an understanding of NSW’s cultural or natural history (or the cultural or natural history of the local area)</i>
(f)	Rarity	<i>An item possesses uncommon, rare or endangered aspects of NSW’s cultural or natural history (or the cultural or natural history of the local area)</i>
(g)	Representativeness	<i>An item is important in demonstrating the principal characteristics of a class of NSW’s</i> <ul style="list-style-type: none"> • <i>cultural or natural places; or</i> • <i>cultural or natural environments.</i> • <i>or a class of the local area’s</i> • <i>cultural or natural places; or</i> • <i>cultural or natural environments.</i>

To be assessed for State significance, an item will meet more than one of the seven heritage criteria at a State level, or if an item satisfies only one of the criteria, the item is of such particular significance to NSW that it should be listed.

During the undertaking of a comparative analysis, these properties have been compared with 49 other comparable properties across the LGA, and NSW. This comparative analysis was based on an analysis of:

- Style,
- Typology, and
- Architect.

¹Two of the 11 sites are already listed as local items in the Woollahra LEP 2014 being Greenway at 24 Wentworth Road, Vaucluse and St Michael’s Church at 1 St Michaels Place, Vaucluse.

A copy of the heritage study report titled *Professor Leslie Wilkinson in Woollahra* includes a full comparative analysis of these sites (Chapter 4) and a full heritage assessment in accordance with the guidelines at Chapter 5. A copy of this report can be found at **Attachment 2**, and a copy of the Heritage Inventory Sheets is at **Attachment 3**.

Having assessed each of the sites against the Heritage NSW guidelines, it was concluded that five of the sites meet the threshold for listing as items of local heritage significance. A summary of each Heritage NSW criteria, and how these were met by each site is summarised below in **Table 2**.

Table 2: NSW Heritage criteria assessment summary (Local significance)

Property	(a) historic	(b) association	(c) aesthetic	(d) social	(e) technical/ research	(f) rarity	(g) representative
Monument to Robert Watson in Robertson Park, Watsons Bay	✓	✓	✓	✓	✗	✓	✓
<i>Hampden Lodge</i> , 12 Hampden Avenue, Darling Point	✓	✓	✓	✓	✗	✓	✓
43 Latimer Road, Bellevue Hill	✓	✓	✓	✓	✗	✓	✓
56 Wallaroy Road, Woollahra	✓	✗	✓	✗	✗	✓	✓
Wrought iron gate and brick posts at 28A Wentworth Road, Vaucluse	✓	✓	✓	✓	✗	✓	✓

At 24 Wentworth Road, Vaucluse it was concluded that based on the comparative analysis and *Greenway's* established heritage, the building meets the heritage criteria at the State level, as summarised in **Table 3** below:

Table 3: NSW Heritage criteria assessment summary (Greenway)

Property	(a) historic	(b) association	(c) aesthetic	(d) social	(e) technical/ research	(f) rarity	(g) representative
Greenway, 24 Wentworth Road, Vaucluse	✓ State	✓ State	✓ State	✓ Local	✗	✓ State	✓ State

The sites

The six sites that are the subject of this report are spread across the municipality, and are summarised below.



Figure 1: Monument to Robert Watson in Robertson Park, Watsons Bay

This Monument, located in Watsons Bay Park, was commissioned by Vaucluse Council in 1929 upon the request of the Royal Historical Australian Society (RHAS) to commemorate Robert Watson, after whom the area was named.

Designed in 1929 by Professor Leslie Wilkinson, it demonstrates the proactive and educational role of the RHAS in erecting monuments to celebrate the history of NSW.



Figure 2: Hampden Lodge at 12 Hampden Avenue, Darling Point

Originally built as stables for Winslow mansion between 1902 and 1909, Hampden Lodge was adaptively reused as a residence by Sydney Gilchrist in 1922 (BA51/1922).

Owned by Florence Emily Nesbitt from March 1930, Wilkinson was engaged to design various alterations and additions. The site is of local heritage significance for its association with *Winslow*, providing historically significant evidence of the early development of Darling Point and its association with Leslie Wilkinson.



Figure 3: 43 Latimer Road, Bellevue Hill

Originally designed by architect and colleague John D Moore, 43 Latimer Road, Bellevue Hill underwent substantial alterations and additions to the design of Leslie Wilkinson in 1939 for Mr Gordon Russell.

The house exhibits aesthetic significance for its Neo-Georgian /Inter-War Mediterranean influence and detailing. As an intact Inter-War Mediterranean/Neo-Georgian style building, this house and its landscaped setting are rare in Woollahra.



Figure 4: 56 Wallaroy Road, Woollahra

56 Wallaroy Road, Woollahra is an Inter-War Mediterranean house designed by Frederic George Leslie Allen Architect in 1932 for W P Gunning on the Glencoe Estate.

In 1953, Leslie Wilkinson was asked to design a second garage to the house. Whilst Wilkinson's input into the design of this house is relatively minor, this is an aesthetically distinctive house showing Inter-War Mediterranean influences.



Figure 5: Wrought iron gate at 28A Wentworth Road, Vaucluse

Originally designed by architect E. C. Pitt, this house underwent substantial alterations by John Crawford in association with Leslie Wilkinson in 1970.

The wrought iron gates and brick posts were also designed by Wilkinson and constructed after his death in 1973. They exhibit significance for their decorative floral detailing associated with Leslie Wilkinson.



Figure 6: Greenway, 24 Wentworth Road, Vaucluse
(Source: www.realestate.com.au)

Designed as Wilkinson's own residence in 1922, this is a two storey Mediterranean style villa with 1950 additions, also designed by Wilkinson.

This house is an excellent example of the Mediterranean style that Wilkinson introduced to Sydney, specifically designed and oriented to maximise light ingress, ventilation and combine restrained classical details with comfort and amenity.

Greenway is locally listed in Schedule 5 of the Woollahra LEP 2014 as no. 413.

Planning Proposal

Consistent with the recommendations of the report *Professor Leslie Wilkinson in Woollahra*, a planning proposal (see **Attachment 4**) has been prepared to list the following sites as local heritage items in Schedule 5 and on the Heritage Map of the Woollahra LEP 2014:

- *Monument to Robert Watson*, including sandstone tablet, carvings and setting at Robertson Park, Watsons Bay (Part of Lot 7093 DP 107469).
- *Hampden Lodge*, including interiors and garage at 12 Hampden Avenue, Darling Point (Lot 1 DP 1184885).
- House, including interiors and gardens at 43 Latimer Road, Bellevue Hill (Lot A DP 312687, Lot A DP 318717 and Lot 1 131019).
- House, including interiors at 56 Wallaroy Road, Woollahra (Lot 3 DP 17153).
- Wrought iron gate and brick posts at 28A Wentworth Road, Vaucluse (Part of Lot 2 DP 531931)

The planning proposal has been prepared in accordance with section 3.33 of the Act and the document prepared by the NSW Department of Planning and Environment titled *Local Environmental Plan Making Guideline* (December 2021).

The planning proposal satisfies the requirements of section 3.33 of the Act as it includes:

- A statement of the objectives or intended outcome of the amendment to Woollahra LEP 2014.
- An explanation of the provisions that are to be included in the amendment to Woollahra LEP 2014.
- The justification for the objectives, outcomes and provisions and the process for their implementation.
- Details of the community consultation that is to be undertaken.

The objective of the planning proposal is to recognise the heritage significance of the above listed sites as local heritage items and provide them with statutory heritage protection. Heritage listing aims to provide the sites with ongoing protection and recognition of the heritage significance of the sites.

Relationship to the strategic planning framework

The planning proposal has strategic and site specific merit. The planning proposal is consistent with the relevant objectives of *Greater Sydney Region Plan: A Metropolis of Three Cities* (2018) and the actions of the *Eastern City District Plan* (2018).

The planning proposal is consistent with the Council's Community Strategic Plan titled *Our Woollahra 2030: Our community, our place, our plan*. Notably, the planning proposal meets the following strategy within Goal 4 (Well-planned neighbourhood) under the theme Quality places and spaces:

- *4.3 Protect local heritage, including significant architecture and the natural environment.*

The planning proposal is also consistent with the Woollahra Local Strategic Planning Statement (approved by Council on 24 February 2020). In particular, the planning proposal is consistent with Planning Priority 5 under the theme of Liveability:

- *Planning Priority 5 Conserving our rich and diverse heritage.*

The planning proposal is consistent with the *Standard Instrument – Principal Local Environmental Plan* and all other applicable State environmental planning policies and applicable section 9.1 directions.

Options:

As a consequence of this report, the Woollahra LPP may provide advice to Council to proceed with a planning proposal to list five sites as local heritage items in the Woollahra LEP 2014.

Alternatively, the Woollahra LPP may resolve not to support the preparation of a planning proposal or require staff to make amendments.

Any person or organisation can nominate a place or object believed to be of state significance for listing on the State Heritage Register. Nominations are made by completing the SHR nomination form, which is currently being prepared by Council staff. The Woollahra LPP may also choose to provide advice to Council staff with regards to the nomination to list *Greenway* at 24 Wentworth Road, Vaucluse on the SHR under the *Heritage Act, 1977*.

Community Engagement and / or Internal Consultation:

Following the finalisation of the draft heritage inventory sheets, Council staff engaged with all six property owners and a chronology of consultation in 2022 is included at **Attachment 5**.

In summary:

Monument to Robert Watson

- As Woollahra Council is the owner and manager of the land on which this monument sites, correspondence with the Director Infrastructure & Sustainability has indicated no objection to the proposed heritage listing.

Hampden Lodge, Darling Point

- The owner of *Hampden Lodge* at 12 Hampden Avenue, Darling Point, supports the proposed heritage listing (see **Attachment 6**).

43 Latimer Road, Bellevue Hill

- A representative of the owner of 43 Latimer Road, Bellevue Hill engaged Graham Brooks of *GBA Heritage* to prepare a submission. This submission objects to the proposed local heritage listing (see **Attachment 6**).

According to *GBA Heritage*, this house takes its inspiration from a typical rural farmhouse in southern France, with its restrained classicism and detailing and lack of colonnaded wings. It is an overall “economical upgrading” of an existing house, and “...while the hand of two distinguished architects, does not exhibit the firm or creative hand of either.”

The letter concludes that there is no justification for heritage listing due to its not meeting any of the NSW heritage criteria.

In response, Council staff assert that the heritage study was prepared in accordance with the document titled *Assessing heritage significance*, published by the NSW Heritage Office in 2001 and *Investigating heritage significance: A guide to identifying and examining heritage items in NSW*, published by Heritage NSW in 2021. This property has been identified as meeting the following heritage criteria due to its being the work of one of the most prominent architects in Australia and an excellent example of an Inter-War Mediterranean style house.

- ✓ Historical,
- ✓ Historical Association,
- ✓ Aesthetic,
- ✓ Social,
- ✓ Rarity
- ✓ Representative

In coming to this conclusion, over 70 properties associated with Leslie Wilkinson in Woollahra have been reviewed, 25 properties have had their level of intactness assessed and comparisons have been made with another 49 properties in and outside of Woollahra. Many items have been discounted as not qualifying for local heritage listing. The selection of the sites identified in this report has followed a rigorous heritage assessment.

It should also be noted that the connection with southern France (Provence) is correct and agreed upon, since Wilkinson's introduced Inter-War Mediterranean style in Sydney was based on southern Europe examples (including Provence). This is expressed through a restrained classicism, the use of pastel light walls, terracotta gabled roof, timber double hung sash windows and loggia with doric columns and entablature. Differently from Joseland & Gilling, Leslie Wilkinson refused to follow glamorous Californian examples to embrace a more sophisticated classicism given from references in a floor plan layout and/or architectural detailing.

John D Moore was a respected colleague and friend of Leslie Wilkinson who worked with him on multiple designs for the University of Sydney and other private commissions, such as 1 Rose Bay Avenue, Bellevue Hill (which is listed as a local heritage item).

According to *GBA Heritage*:

"The primary expression of the distinction between Wilkinson and Moore is the use of a different external window sill design for the upper level windows."

In response, staff contest that the different window sills between the two levels of the house confirms that the house was built in two main stages. This is considered to be a detail that enhances the heritage significance of this property. Overall, the extent of John D Moore's original cottage at 43 Latimer Road can hardly be seen due to the extent of alterations undertaken by Leslie Wilkinson, which completely transformed this building's character and enhanced its architectural quality.

Not all of Wilkinson's designs feature loggias (or colonnaded wings as suggested by GBA Heritage), including but not limited to both 5A and 6 Wiston Gardens in Double Bay (see **Figure 7**), which are renowned State significant items. It is then even more extraordinary that at 43 Latimer Road, when the building is of such a scale with a private outlook, the architect elected to include such a classical reference with the entablature supported by doric columns.

Council staff suggest that this submission does not fully consider Wilkinson's creative endeavor and this property's contribution to Woollahra as part of the body of work of one of the most prominent Australian architects.



Figure 7: North facing elevation of 43 Latimer Road, Bellevue Hill with doric columns supporting an entablature

56 Wallaroy Road, Woollahra

- The owner of 56 Wallaroy Road, Woollahra, supports the proposed heritage listing (see **Attachment 6**).

28A Wentworth Road, Vaucluse

- The owner of 28A Wentworth Road, Vaucluse, has not indicated an objection to the proposed heritage listing (see **Attachment 6**)

Greenway, Vaucluse

- A representative of the owner of this property has contacted Council staff to submit an objection to the proposed State listing. It is understood that a submission on behalf of the owner of *Greenway* at 24 Wentworth Road, Vaucluse will be submitted. Should this be received, it will be submitted as late correspondence to the meeting of the Woollahra LPP.

No other community engagement has been undertaken to date. Public exhibition of the planning proposal will be undertaken in due course, and in accordance with the Gateway determination conditions and the Act, should the planning proposal be endorsed for public exhibition.

Policy Implications:

Should Council resolve to progress a planning proposal (having considered the advice of the Woollahra LPP), and should the planning proposal progress to finalisation, there will be policy implications by listing five sites as local heritage items in the Woollahra LEP 2014.

Financial Implications:

NIL

Resourcing Implications:

Staff resource implications will be associated with progressing a planning proposal which will include managing the public exhibition and preparing a post exhibition report to a meeting of Council. Staff resource implications will be associated with progressing a nomination to the SHR.

Conclusion:

This report seeks the advice of the Woollahra LPP on a planning proposal to list five sites as local heritage items in Schedule 5 and on the Heritage Map of the Woollahra LEP 2014.

The planning proposal satisfies the requirements of section 3.33 of the Act as it includes:

- A statement of the objectives or intended outcome of the amendment to Woollahra LEP 2014.
- An explanation of the provisions that are to be included in the amendment to Woollahra LEP 2014.
- The justification for the objectives, outcomes and provisions and the process for their implementation.
- Details of the community consultation that is to be undertaken.

We recommend that the Woollahra LPP provides advice to Council to proceed with the planning proposal at **Attachment 4** to list the subject sites as local heritage items in the Woollahra LEP 2014.

Staff also seek the advice of the Woollahra LPP in relation to the nomination to list "*Greenway*"—*all buildings, interiors and works, grounds, grove of approx 8 Sydney Pink Gums* at 24 Wentworth Road, Vaucluse as a property on the SHR under the *Heritage Act, 1977*.

Attachments

1. Progress report to Urban Planning Committee - 10 November 2014
2. Heritage Study - Professor Leslie Wilkinson in Woollahra - August 2022
3. Heritage Inventory Sheets and SHR nomination - August 2022
4. Planning Proposal - Professor Leslie Wilkinson in Woollahra
5. Chronology of consultation with the owners
6. Submissions from property owners

Woollahra Municipal Council
Urban Planning Committee

10 November 2014

Item No: R3 Recommendation to Council
Subject: **Leslie Wilkinson Study**
Author: Amelia Parkins, Strategic Heritage Officer
File No: 1157.G
Reason for Report: To provide a progress report on the work carried out to review the work of architect Leslie Wilkinson in the municipality.

Recommendation:

That Council note the next stages of the study as set out in the report to the Urban Planning Committee meeting on 10 November 2014.

1. Background

The Woollahra Local Government Area has the largest collection of residential buildings designed by Leslie Wilkinson in Australia.

Leslie Wilkinson was born in England in 1882 and became an associate of the Royal Institute of British Architects in 1907. In 1918 Wilkinson was appointed Professor of Architecture at the University of Sydney. In 1919 he was appointed University Architect and a year later gained approval for the creation of a faculty of architecture, the first full time architecture course offered in Australia. Wilkinson appointed himself as Dean of the faculty.³

Wilkinson quickly grew to appreciate Australia's colonial heritage which, with the influences from the Mediterranean architecture experienced in his travels, became a model he believed to be suitable for the Australian climate.⁴ Through his teaching and practice, Wilkinson successfully introduced a Mediterranean aesthetic to Australian domestic architecture. This became known as the Inter-war Mediterranean style and was closely related to the Inter-war Spanish Mission style.⁵

In addition to his work associated with the University of Sydney, Wilkinson retained the right to maintain a private practice and carried out many domestic and ecclesiastical commissions. Wilkinson was often commissioned to design residences for upper and upper-middle class clientele.⁶ The majority of these commissions were in the Woollahra Municipality. Wilkinson himself worked and lived in the municipality. The first house he designed in 1923 for himself, *Greenway*, was in Wentworth Road, Vaucluse.

Some of Wilkinson's architectural works are listed as heritage items in the Woollahra LEP 1995 and are carried over into the Draft Woollahra LEP 2014. Two of these are also listed on the State Heritage Register.

³ Falkiner (ed), *Leslie Wilkinson: A Practical Idealist* Sydney, 1982.

⁴ *Domestic Architecture in Australia*, edited by Sydney Ure Smith and Bertram Stevens in collaboration with W. Hardy Wilson (Angus and Robertson, Sydney, 1919)

⁵ Apperly, R, Irving, R, Reynolds, P, *A Pictorial Guide to Identifying Australian Architecture: Styles and terms from 1788 to the present*, Mead & Beckett Sydney 1989.

⁶ Lucas, Clive, *Wilkinson, Leslie (1883-1973)*, Australian Dictionary of Biography, National Centre of Biography, Australian National University, 1990.

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In 2008 the Council embarked on a study to investigate the range of work undertaken by Wilkinson in the municipality. This study looked at the listings at that time, but focused on works that had not been listed. The research was carried out as time allowed in the context of other projects and priorities in the Council's strategic planning program.

The result of the research carried out in 2008 was the compilation of three lists of properties in the municipality that were thought, or known to have some association with Wilkinson:

- 1) Heritage items that are attributed to Wilkinson;
- 2) Heritage items that are thought to have some association with Wilkinson but which are not recognised as being so in their inventory sheets; and
- 3) Properties that are not heritage items but have been identified through research as potentially the work of Wilkinson.

The project was accelerated in March 2014, with the appointment of heritage consultants Weir Phillips Architects. These consultants were engaged to review the third list of properties identified as potentially having an association with Professor Leslie Wilkinson and to make a recommendation as to whether any of these properties reach the threshold for local heritage listing.

This investigation forms part of a comprehensive study of the domestic architecture of Leslie Wilkinson in the Woollahra Municipality. The study identifies existing heritage items associated with Wilkinson and reviews the properties that are potentially the work of Wilkinson, ultimately providing a comprehensive inventory of the collection of works associated with Leslie Wilkinson located in the Woollahra Local Government Area.

This project is included as action 4.3.1.3 in Council's Delivery Program and Operational Plan (DPOP) with a target date for completion of 31/12/14.

2. Methodology

The methodology used in the initial identification of buildings associated with Leslie Wilkinson in the Woollahra Municipality involved a review of the documents held in the Wilkinson collection at the Mitchell Library, which included architectural drawings and sketches.

The list of properties identified through this research was supplemented by works published in the book 'Leslie Wilkinson: A Practical Idealist' and a study by Weir Phillips Architects Pty Ltd in 2003 that identified major works by Wilkinson in the municipality. An initial review of this list was carried out by staff in 2008 and resulted in a shortlist of properties that are not heritage items but may have some association with Leslie Wilkinson.

The 2014 review of the shortlist of properties that may be associated with Leslie Wilkinson, has involved:

- A review of the background information and initial research undertaken by Council staff in 2008 and James Phillips in 2003;
- Detailed historical research into each property using:
 - Rate books to establish ownership of the land and construction date of each house;
 - John Sands' Sydney and Suburban Directory to verify ownership, occupants and date of construction and any pattern of development in the surrounding area.
 - Council building records and a review of plans held by Council to establish what work was approved to be carried out by Wilkinson.

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- The Mitchell Library Wilkinson Collection to identify any plans or records that are not held by Council.
- Trove, Pictures Australia and other internet sources.
- Woollahra Local Studies Vertical Files and catalogue.
- Aerial photography using Council's GIS system (1943, 2002, 2005, 2011 and 2014 imagery)
- Site inspections and photography of each property from the public domain only. In most cases this was limited to public streets or publicly accessible laneways.
- An assessment of significance for each property using the criteria contained in the document titled 'Assessing Heritage Significance' published by the Heritage Office.
- Comparative analysis of buildings associated with Leslie Wilkinson in the Woollahra Municipality, involving a site inspection, photography and historical investigation to determine the extent of Wilkinson's involvement.
- Preparation of a report on the influence of Leslie Wilkinson in Woollahra.
- Preparation of draft inventory sheets for recommended potential heritage items. All potential items were assessed in accordance with the Heritage Office's established criteria for assessing significance.

3. Building Inventory

An inventory of the work of Leslie Wilkinson in the Woollahra Municipality has been compiled using both primary and secondary sources. A comprehensive list has been compiled of all the buildings that were identified in the research as having an association with Leslie Wilkinson, including those that were never constructed or that have been demolished. This list will be presented to the Urban Planning Committee with the findings and recommendations of the study early in the new year.

Woollahra LEP 1995 and Draft Woollahra LEP 2014 list 28 buildings that are attributed to Wilkinson. The majority of these items represent a collection of Wilkinson's major residential buildings. Others are substantial additions to prominent buildings in the municipality such as Bishopscourt (11a Greenoaks Avenue, Darling Point) and St Michael's Church (1 St Michael's Place).

Those buildings already identified as heritage items in Woollahra LEP 1995 and Draft Woollahra LEP 2014 were analysed to provide examples of the characteristics of Wilkinson's style. A large number of buildings have undergone alterations or additions by Wilkinson, which might not ordinarily be considered for heritage listing, but given the influence of Wilkinson, may be significant and characteristic examples of his work that warrant protection. A presentation of some of Wilkinson's buildings and their characteristic features will occur at the Urban Planning Committee meeting on 10 November 2014.

The review carried out by Weir Phillips Architects identifies an additional six properties that are worthy of further investigation as potential heritage items due to their association with Leslie Wilkinson.

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Inspections from the public domain have been unable to determine the degree to which the surviving fabric of these buildings demonstrates the association with Leslie Wilkinson. These properties have undergone a preliminary assessment against the industry standard criteria for assessing heritage significance, as set out in the NSW Heritage Office Manual '*Assessing Heritage Significance*'. In order to make a thorough assessment it will be necessary to gain access to each property. This will allow an assessment of the physical fabric, which will reveal the extent of Leslie Wilkinson's association.

3.1 Next stages

A final recommendation will be made to the Urban Planning Committee in 2015. At that time, each completed heritage inventory sheet will be submitted for the Council's consideration along with any supporting documentation.

The next steps are to:

- Write to the property owners and request an inspection;
- Provide draft inventory sheet and research to owners;
- Allow comments from land owners;
- Review the study findings and draft heritage inventory sheets following the site inspection and receipt of any comments from owners;
- Prepare a report to UPC with recommendations;
- Distribute report to land owners prior to meeting;
- Present report to UPC at which land owners may make presentations;
- Further action subject to Council's decision.

4. Conclusion

Leslie Wilkinson has had a profound impact on architecture in Australia. The majority of his domestic commissions were within the Woollahra Local Government Area. Council has already identified and heritage listed 28 significant examples of his work.

In order to complete the comprehensive review of Wilkinson's work in the municipality, site inspections for the six properties identified as potential heritage items should be carried out to determine the extent of his association with each property. Following the site inspections draft inventory forms will be completed and another report prepared recommending heritage listing of those properties that reach the threshold for local heritage listing.

Amelia Parkins
Strategic Heritage Officer

Chris Bluett
Manager Strategic Planning

Heritage Study



Professor Leslie Wilkinson in Woollahra



Version Date:	August 2022
Division/Department:	Planning and Place/Strategic Planning
Responsible Officer:	Flavia Scardamaglia – Strategic Heritage Officer
HPE CM Record Number:	22/163155

Acknowledgement of Country

Woollahra Council acknowledges the Gadigal and Birrabirragal people, the traditional custodians of the land of Woollahra. We would like to acknowledge Aboriginal or Torres Strait Islander people and pay our respects to Elders past, present and emerging.

Cover Photo: Professor of Architecture Leslie Wilkinson on the ship Naldera, New South Wales, ca. 1930, National Library of Australia (Fairfax archive of glass plate negatives, PIC Row 14/7/5 #PIC/15611/8409)

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1. Introduction

1.1. Background

This report is the final phase of a comprehensive review of properties associated with Professor Leslie Wilkinson in Woollahra which originally commenced in 2005. It provides an overview of Leslie Wilkinson and his influences on Australian architecture and the Woollahra municipality.

Born in England in 1882, Leslie Wilkinson was a Professor of Architecture at the University of Sydney who dedicated his life to Architecture as both an academic and practising architect. Having lived in his own-designed house in Vaucluse from 1922 until his death in 1973, the Woollahra Local Government Area has one of the major collection of Wilkinson designed houses and flats of any municipality of New South Wales.

Wilkinson is a leading and influential figure in Australian architecture, whose innovative approach combined Australia's colonial heritage with Mediterranean influences experienced during his travels.

1.2. Sources

The methodology used in the identification of buildings associated with Leslie Wilkinson in the Woollahra municipality is based on a review of primary and secondary sources.

Detailed historical research into individual properties was undertaken using the following primary sources (documents):

- Council's Building Register, Building Index and Minutes
- Subdivision plans held at the State Library of NSW, National Library of Australia and Woollahra Local History Centre
- Rate books to establish ownership of the land and construction date of each house;
- John Sands' Sydney and Suburban Directory to verify ownership, occupants and date of construction and any pattern of development in the surrounding area.
- A review of Building Application plans held by Council to establish what work was approved to be carried out by Wilkinson.
- The Mitchell Library Wilkinson Collection to identify any plans or sketches that are not held by Council.
- Trove from the National Library of Australia and other internet sources.
- Woollahra Local Studies resources, including Woollahra and Vaucluse Council Minutes, Building Indexes and Building Registers.

Site inspections of various properties in the Municipality were undertaken from the public domain and, where possible and with the owners' consent, internally. Photographs in this report were taken from the public domain, real estate websites, or internally with the owners' consent.

Source of images have been identified in the images' captions throughout the report. Where no source of images is indicated, images have been taken by Council Staff.

All secondary sources, including publications and thesis produced on Wilkinson, are referenced in Appendix A of this report.

1.3. Heritage Assessment Methodology

The Heritage Assessment Methodology has involved:

- An assessment of significance for each property using the NSW criteria in accordance with the Heritage NSW Guidelines *Assessing Heritage Significance* (2001) and *Investigating Heritage Significance* (2021);
- Comparative analysis of buildings associated with Leslie Wilkinson in the Woollahra municipality and beyond;
- Analysis of Leslie Wilkinson's work in the Municipality
- Having selected a list of properties, a series of site inspections, photography and historical investigation were undertaken to determine the extent of Wilkinson's involvement and level of intactness;
- Preparation of draft inventory sheets for recommended potential heritage items.
- Preparation of State Heritage Register (SHR) nomination forms (where deemed necessary).

This report provides a comprehensive inventory of the collection of works associated with Leslie Wilkinson located in the Woollahra Local Government Area. It reviews and compares existing heritage items associated with Leslie Wilkinson and provides recommendations on the statutory protection of properties that are exemplars of his work.

The methodology of the *Australia ICOMOS Burra Charter 2013* was used as a reference in the preparation of this study. The Burra Charter is recognised as a model of best practice in the conservation, identification and management of cultural heritage in Australia.

1.4. Limitations

This review has not involved access to private residential properties, unless permission was granted by the owner/s. External site inspections were limited to viewing and photographing properties from the public domain. In most cases this was limited to public streets or publicly accessible laneways.

This report mostly focuses on Wilkinson's work in the Woollahra Municipality, however it should be noted that the extent of his work extends beyond Woollahra's boundaries. This report is not an exhaustive list of Leslie Wilkinson's work, and many other buildings outside of the Woollahra Local Government Area (LGA) have not been investigated as part of this study.

No Aboriginal heritage assessments were undertaken as part of this study.

1.5. Authorship

This study has been prepared by Flavia Scardamaglia, Senior Strategic Heritage Officer at Woollahra Council and was based on the research carried out by former Strategic Heritage Officer Amelia Parkins.

1.6. Copyright

All Wilkinson's plans and drawings are copyright of the Leslie Wilkinson Estate. Photographs from David Wilkinson's thesis are also copyright of his estate. Over the course of preparing this study, every effort has been made to contact the Wilkinson Estate (including seeking to make contact through the State Library of NSW and the National library of Australia). However, at the time of preparing this report, Council staff have been unable to contact the copyright holder(s).

1.7. Acknowledgements

The author of this report would like to thank and acknowledge the help of Barbara Swebeck and Jane Britten from the Woollahra Local History Centre for all the advice and assistance provided with the historic research. Acknowledgements are also due to heritage consultants Dr Noni Boyd, Jean Rice, Dr Scott Robertson and Kathie Rieth who have assisted with the comparative analysis and historic

research. Additional acknowledgements are due to Anne White, Manager – Strategic Planning & Placemaking at Woollahra Council, for facilitating the study, Donna Braye from Mosman Council, Sarah Farnese from Wingecarribee Council, Donna Newton from the Royal Australian Historical Society, Maggie Chiang from the University of NSW Library and Dr Matthew Stephens from the Caroline Simpson Library.

The author would also like to acknowledge and thank all property owners who facilitated site inspections in the preparation of this study.



Figure 1: Portrait of Professor Leslie Wilkinson

(Source: Wilkinson, David Ruston. 1973. Wilkinson on Wilkinson, B. Arch Thesis, University of New South Wales)

2. Professor Leslie Wilkinson

2.1. Life and Career

2.1.1. Early Days

Leslie Wilkinson (1882-1973) was born in October 1882 at New Southgate, Middlesex, England. He was educated at St Edward's School, Oxford and later at the Royal Academy of Arts' School of Architecture in London.

At the age of 18, Wilkinson was apprenticed to the famous stained-glass designer C. E. Kempe, where he developed an interest in stained-glass, decoration and architectural detail, as evident throughout his architectural work. He was later articled for three years to London architect James S. Gibson, while attending the Hornsey School of Art and technical subjects at the Northern Polytechnic College of London in the evenings.

In 1902 Wilkinson became a student of architecture at The Royal Academy of London, winning the Royal Academy Silver Medal with an interior perspective of St James Church, Piccadilly in 1903. In 1905 Wilkinson won the Royal Academy Travelling Studentship for study abroad, which he used to extensively travel throughout Spain, France and Italy, sketching and photographing his experiences daily. The complete collection of English and European drawings from the period 1900-1908, later formed a valuable reference which Wilkinson would draw on for the rest of his life.

On his return to England, Wilkinson went back to work with Mr Gibson and finish his studies at the Royal Academy. In 1907 he passed the final examination of the Royal Institute of British Architects. While working with Gibson on a series of large public competitions, he was made an associate of the Royal Institute of British Architects (RIBA), an associate member of the Council of that body and a member of its Literature Standing Committee. These experiences prepared him for his later work with the NSW South Wales Chapter of the Royal Australian Institute of Architects.

In 1908, Wilkinson was accepted for the position of assistant to Professor F.M. Simpson at the School for Architecture, University College of London. The following year he was awarded the "Arthur Cates Prize" for his drawings, many of which were exhibited in a retrospective exhibition held in 1973 at the University of Sydney "Exhibition of water-colour, pen and ink and pencil drawings 1904-1096 by Leslie Wilkinson". He rose to the position of Assistant Professor in 1910. In London, Wilkinson lectured in courses in building construction, principles of design, perspective, sciagraphy and studio work, but also assisted Prof Simpson with the erection of the first specially erected school of Architecture in Great Britain at the University College.

In 1912, Wilkinson married Alice Dorothy Ruston and they had two children, Bridget, born in 1914 and George born in 1917 (Falkiner, 1982). With the outbreak of World War I, Wilkinson enlisted in the Territorial Force in the University of London Officers' Training Corps and was promoted to Lieutenant in June 1915. He kept teaching Architecture, Topography and Field Engineering during the war and became an advisor in camouflage.

In 1918, following the advice of Professor Simpson, Wilkinson applied for the post of Professor of Architecture at the newly created Chair of Architecture of the University of Sydney. He was appointed to the position in the same year, but the war was still on and he had to be discharged from Officer Training College.

At the age of 35, he and his family decided to move to the Australian colony. Wilkinson arrived in Sydney on his own on 19 August 1918, followed later by his wife and children. In 1922, the couple welcomed a third child, Elizabeth Mary at their newly built home in Vacluse, *Greenway*.



Figure 2: Professor of Architecture Leslie Wilkinson on the ship Naldora, New South Wales, ca. 1930, National Library of Australia (Fairfax archive of glass plate negatives, PIC Row 14/7/5 #PIC/15611/8409)

2.1.2. Professor of Architecture and University Architect

The welcome Wilkinson received upon his arrival in Sydney was remarkable, greeted by the Premier, the Lord Mayor of Sydney, representatives from the Art Gallery, the State Library of NSW and many others.

His first impressions of Sydney were amazement from the buildings at the University of Sydney, including the Quadrangle designed by Edmund Blacket. The Great Hall, in his own words, was 'as good if not better than any Gothic Revival building in England'. He noted however lots of work to be done to improve Sydney buildings' standards.

In those years, Sydney University consisted mostly of four faculties, Arts, Science, Medicine and Law. Architecture was initially regarded as a part of Arts until 1920, when approval was gained for the creation of a faculty of Architecture, with himself as Dean. Wilkinson retired from the Chair of Architecture at Sydney University in December 1947, holding this academic position for 29 years.

Concerned by the need to provide accommodation for the University spaces and its students, in May 1919 Wilkinson became a member of the University's Buildings and Grounds Committee. However, up until 1919 when he was appointed University Architect, the Government Architect was the Architect for the University and a few tensions arose.

A plan for the University was presented and endorsed by the Senate in early 1920. The first completed buildings from his new plan were the Organic Chemistry building and the Physics building. A number of practicing architects assisted him in the design and construction of the University buildings, given his numerous academic commitments. R. Keith Harris worked on the Physics building, B J Waterhouse on the Union, John D Moore and R Richardson on the Department of Chemistry and Hardy Wilson and John Berry on other buildings. These partnerships lasted well

beyond these early years and continued throughout his career and onto other projects over the following years.



Figure 3: Plan of buildings and grounds as existing in 1919, taken from Keith Harris, *The Work of Leslie Wilkinson Architect*, in 'Art in Australia' No.31, 1 March 1930, Plate 45.



Figure 4: Professor Wilkinson's Plan for the layout of the University of Sydney Grounds in 1919, taken from Keith Harris, *The Work of Leslie Wilkinson Architect*, in 'Art in Australia' No.31, 1 March 1930, Plate 46.

While retaining existing buildings, planting street trees, placing wires underground and providing fences to keep out grazing animals, the new plan considered the University precinct holistically, establishing axes and attractive views in an aesthetical composition that can still today be appreciated by students and visitors.

Establishing an inspiring and attractive setting for students was the primary aim for Wilkinson's University plan. In one of his talks to the Australasian Association for the Advancement of Science given in 1926, he stated:

The peaceful order of good buildings in beautiful surroundings is of paramount importance in creating the right environment for University life (Falkiner, 1982, p 67).

The issue of completing the cloisters in the Main Quadrangle was a heavily contested topic. Wilkinson proposed to use English Gothic in sympathy with Blackett's design rather than the heavy Tudor of the existing part (Lucas, 1990). The result today is a "chaste Gothic whose bones are distinctly Classical and suitably controlled and regular" (Howells, 2006).

Another issue was the budget set aside for the University new plan, which exceeded what had been initially anticipated. Some of the projects had to be restructured, and in 1926 the Government was

approached to fund their finalisation, to be carried out under the supervision of the Government Architect. Thanks to Wilkinson's input, new buildings were finished with a new Palladian taste of cream coloured stucco with an unusual Mediterranean appeal for Sydney.

The legacy Wilkinson left to the University of Sydney is still evident today in the juxtaposition of disparate styles of architecture, particularly in the Quadrangle and Science Road area; the re-alignment and refit of buildings along Science Road; the re-use of historic materials such as the CBC Bank facade and Doric columns; the creation of the Vice-Chancellor's Quadrangle, additions of the Union Building, the new building for Physics and Tropical Medicine and the maintenance of vistas from various parts of the campus, such as from St Paul's College, across the Hockey Square to the Union Refectory; St Paul's College and the main Quadrangle; and views down Science Road (Pearson *et alii*, 2002, p 7).

By 1928, Wilkinson had stepped down from the role of University Architect. This however did not mean he did not continue to be consulted on the development of the University. In 1940, Wilkinson completed the main entrance gates and the Baxter's Lodge on Parramatta Road and in 1939 he designed additions to the Zoology building.

2.1.3. An established career

By stepping down from his public role at University, Wilkinson's private practice started to rapidly grow, carrying out private commissions for private owners or ecclesiastical organisations, either alone or with the assistance of colleagues such as R. Keith Harris, John D Moore, Fowell, Mansfield & Maclurcan, and Eric Lindsay Thompson among others.

Between 1918, the year he arrived in Australia and 1973 – the year of his death, Wilkinson took numerous commissions to design or modify private houses, over forty commissions for the University of Sydney, as well as churches, chapels, flats and a Sydney City Council housing project. This is in addition to his university career, from which he officially retired in 1947.

The majority of Wilkinson's residential commissions were obtained through acquaintances, friends or neighbours of Wilkinson, admirers of his original style and approach to residential design. Much interest was gained from Wilkinson's own house *Greenway* in Vaucluse, and other early works, which provided a template for later works in his career.

Large commissions also came from the remodelling and additions to more grand properties owned by institutions, such as St Michael's Place in Vaucluse (originally a Blacket design), Bishopscourt for the Cathedral chapter, Dunara Gardens in Point Piper and many other religious buildings for the Church of England.

In 1923, Wilkinson was the first person to be registered on the newly established Roll of the Board of Architects of New South Wales (registration no. 1). He was made a President of the Board of Architects in 1934, when the Institute of Architects of New South Wales became a Chapter of Royal Australian Institute of Architects.

Wilkinson was awarded the prestigious Sulman award in 1934 for the house designed in Wiston Gardens for Dr and Mrs Charles Parkinson. A second Sulman award was given to him in 1942 for the alterations and additions to Blacket's St Michael's Church in Vaucluse, occurred between 1931 and 1937. Further additions to the Parish Hall of St Michael's were designed in 1946 and in 1957.

By 1933, Wilkinson was appointed a Diocesan Architect of St Andrew's Cathedral, position he held until 1968. From 1947 he was also regularly consulted by the Department of Main Roads to act as a consultant designer for bridges, to ensure they accorded with aesthetic requirements. Gladesville Bridge, Spit Bridge, Cook's River Bridge are some of the bridges he advised on.

In 1960 Professor Wilkinson was awarded the RAI Gold Medal, the highest honour the Royal Australian Institute of Architects can bestow to recognize architects who have given outstandingly distinguished service to their profession.

The Wilkinson Award was set up in 1961 in his honour, with the aim of recognizing, encouraging and rewarding exemplar domestic architecture. The first winner of the award in 1961 was Don Gazzard. In 1969 Wilkinson was awarded an OBE by the Queen for his services to the architectural profession and in 1970 the University of Sydney conferred on him a honorary degree of Doctor of Letters.

Throughout his career Wilkinson designed numerous buildings, some grand designs for private institutions but also more modest designs for neighbours and friends that still remain largely unknown today.



Figure 5: St Michael's Church in Vacluse (Source: *Decoration and Glass*, Vol.10, no.2, July-August 1944)

2.1.4. Beyond domestic designs

Beside his commissions and his University of Sydney projects, Wilkinson used to take part in competitions, either on a judging panel or as a competitor. He served on the jury for the Sulman Award in 1932, 1933, 1934, 1942, 1946, 1948 and 1952. However, while enjoying participating, he disapproved the way they were run in Sydney.

For example in 1923, Wilkinson was appointed as one of the assessors for the Sydney City Council's Housing Project in Pyrmont. The Lord Mayor subsequently questioned whether a Professor of Architecture would know anything about social housing and made him step down. He then decided to enter the public competition with architect Joseph Fowell of Fowell, Mansfield & Maclurcan Architects and won the first prize.

Completed in 1925, the Ways Terrace is one of the few projects financed by the NSW Housing Act 1912 and enabled from the City of Sydney. This project was appreciated for the enjoyable amenity (especially harbour views) afforded by the 41 flats and for the distinctive "bridge-building" form over a public road on the site which was incorporated into the design. This bridge-building theme features with variations in some of Wilkinson's later projects such as the Sydney University War Memorial Arch (1958) linking the Quadrangle with the Macleay Building over Science Road and the extension to Bishopscourt in Darling Point (1965). The use of archways containing habitable space is a Middle Age motif that is rarely seen in Australia.



Figure 6 Municipal Council of Sydney Housing Project, Ways Terrace, Pyrmont, designed in conjunction with architect Joseph Fowell in 1923, built 1925. (Source: Falkiner, Suzanne (ed.), *op.cit.*, Colour Plate 12).

In the late 1920s to the early 1930s there was lots of debate around building tunnels to relieve traffic on New South Head Road. A Motor Tunnel Scheme was discussed at Woollahra Council on 23 September 1929 (Daily Telegraph, Tuesday 24 September 1929, p.5 and Construction and Real Estate Journal, Tuesday 11 May 1937, p.1). An article published on the Sydney Morning Herald on 3 December 1930 highlighted his concerns in relation to traffic in Sydney and conflicts between cars, tramways and pedestrians.

In 1930 Wilkinson formulated a proposal to by-pass traffic to Rose Bay avoiding Edgecliff (see Figure 7). While this proposal was never implemented, it shows Wilkinson's interest in urban and transport planning for Sydney. It took a few more decades until the Cross City Tunnel was built at Rushcutters Bay.

The Wilkinson papers at the State Library of NSW include numerous housing schemes in Sydney, not all of which were implemented, but also includes public monuments and religious buildings. This highlights his interest in designing not only single residences, but also experimenting with residential flat buildings that were becoming increasingly popular from the Inter-War period onwards and other town planning matters.



Figure 7: Proposed tunnel at Darling Point to bypass traffic to Rose Bay and avoid Edgecliff grades (Source: State Library of NSW, PXD 351, Roll 119, f 1215).

Whilst some of the residential flat buildings he designed have a more traditional character, some are innovative for their time and demonstrate his interest in contemporary architectural debates. The proposed model for the Vacluse Water Tower for example (refer to Figure 9), if built, would have been a quite innovative project.

Wilkinson's appreciation for Australian Colonial Heritage is evident throughout his public life and advocacy work in Sydney (Lucas, 1990). Whilst Apperly notes his connection with William Hardy Wilson who introduced him to the Australian Georgian and Colonial buildings, Wilkinson's interest in historic architecture is apparent from his drawings sketched during his Mediterranean Grand Tour and his early English career.

His respect for historic Australian buildings can be seen in the way he related with the work of previous architects, especially Edmund Blacket's buildings. With the Quadrangle, Wilkinson used a "Modern" Gothic that is less exotic but also complementary in terms of scale, form, materials and finishes with the original building. The Gothic archway connecting to the Macleay Building creates a new vista along Science Road and acts as a visual filter to the simpler Mediterranean buildings along Science Road.

Similar approaches to 'blending in' and conforming to the existing buildings can be seen in the archway addition to Bishopscourt in Darling Point, or in brand new buildings such as Ways Terrace in Pyrmont, where the archway model is successfully use for a multi-residential complex.



Figure 8: design for Windermere flats at the corner of Henrietta Street and New South Head Road, Double Bay in 1938 (Source: State Library of NSW, PXD 351, Roll No.294, ff 2954-80)

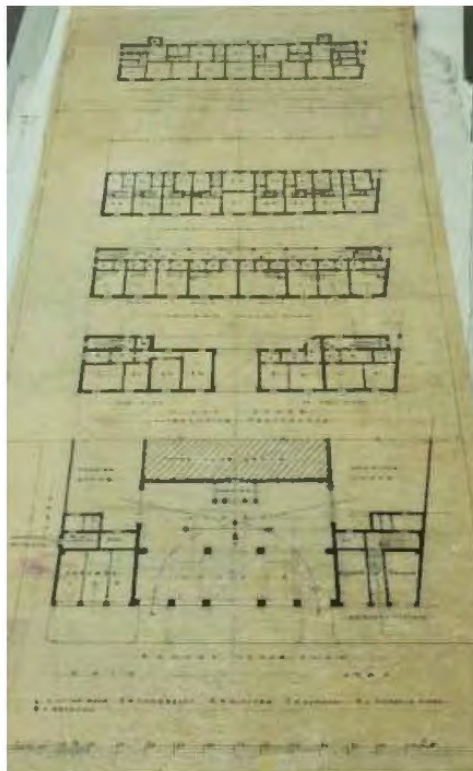


Figure 9: Proposed residential flats at Edgecliff "Rancliff Flats" (Source: State Library of NSW, PXD 351, Roll 292, ff 2937).



Figure 10: Model for proposed residential scheme to surround Water Tower at Vaucluse, 1950 (Source: David Wilkinson, p.5.44).

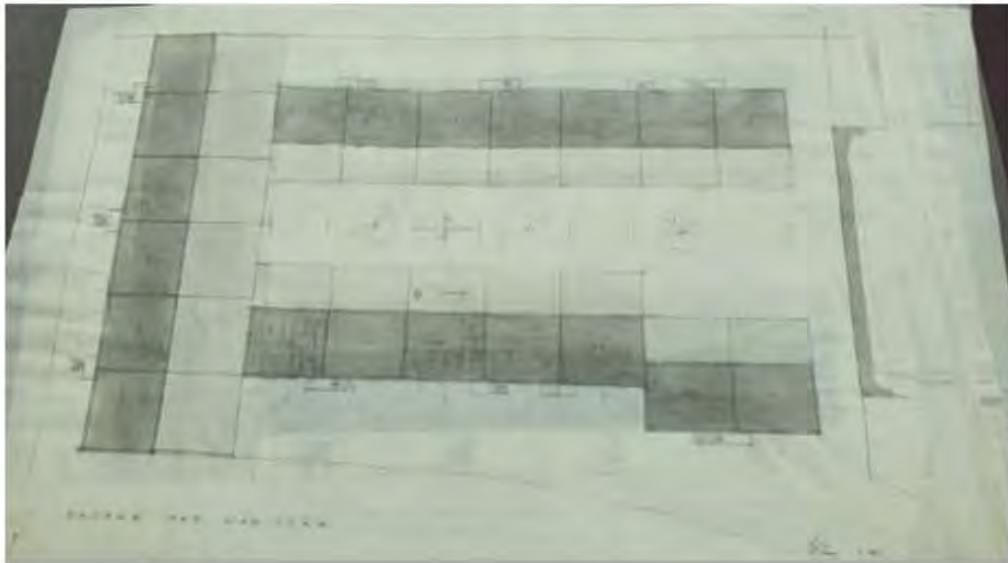


Figure 11: Floor plan for proposed carpark with above residences at Double Bay, Cross Street (Source: State Library of NSW, PXD 351, Roll No.120, ff1216)

As the Dean of the Architecture Faculty, he strongly advocated against the demolition of Sydney buildings and the formation of a “National Trust” similar to the English one (The Sun, Sunday 31 March 1946, p 8). The demolition of Burdekin House in particular defined by him as a “crime and a tragedy” for an Australian historical monument (Sydney Morning Herald, 12 February 1937, p10).

Another pioneering aspect of his work was the reuse and salvage of historic building materials, making him a precursor of reducing carbon footprints and enhancing sustainable practices in Architecture. The Pharmacy and Bank building in Science Road (previously known as Chemistry Building) at the University of Sydney for example, reused the sandstone classical Doric columns from the old Commercial Bank façade in Martin Place (see Figure 13). In addition to this, many notations on his drawings refer to ‘old doors’ or balustrades re-employed from buildings to be demolished, such as in 43 Latimer Road (see Figure 12) or in his own house, *Greenway*.



Figure 12 Extract from BA3/1939 for 43 Latimer Road, Bellevue Hill. Note the notation on the entrance “old door”



Figure 13 Pharmacy and Bank Building in Science Road, University of Sydney which reused the building materials from the CBC Bank being demolished in the CBD (Source: ...)

which exemplifies Wilkinson's approach to salvage building materials.

Keith Harris, *The Work of Leslie Wilkinson Architect, in 'Art in Australia' No.31, 1 March 1930, Plate 44)*

HYDE PARK BARRACKS

Professor Wilkinson Urges Retention.

"BUILDING CAN BE RESTORED."

Professor Leslie Wilkinson, Dean of the Faculty of Architecture, at the University of Sydney, said yesterday that it was ridiculous for the Macquarie-street Replanning Committee to say that the Hyde Park barracks could not be put in a state of repair.

"I am certain that the building can be restored," he said. "It is of more than local interest, and should be looked upon as an Australian historical monument. The Government should realise that they are the trustees of the few remaining historic buildings for the nation.

"There would be no necessity to use the site occupied by the barracks for other purposes," Professor Wilkinson continued. "The actual area they cover would be small if the present ugly encroachments were removed. The scheme suggested by the fine drawing of Mr. R. K. Harris, recently reproduced in the 'Sydney Morning Herald,' showed this to advantage.

"I always compare the old barracks with the State House at Boston, dating back to early American colonial days. This Boston building, which survived the War of Independence, was recently restored. At one time it was in a worse state of repair than the barracks are to-day.

"TOO MANY MISTAKES."

"Macquarie-street used to be a beautiful street. Burdekin House was a stately feature of it, and the demolition of that historic building was a crime and a tragedy, especially as it had been suggested that Burdekin House might have served as a 'No. 10 Downing-street' for Sydney—an official residence for the Premier.

"We have made too many mistakes in removing beauty. The rude, unnecessary direction of the axis of Hyde Park was another. Now, if the barracks are destroyed, half of a brilliantly planned scheme is swept away.

"By the expenditure of a few thousand pounds a dignified, historic structure could be retained, which, at the same time, would provide considerable accommodation for housing increasingly valuable historical relics and records.

"There is no hope of making anything of Macquarie-street so long as the hospital buildings remain where they are," Professor Wilkinson added. "No other city would leave its hospital in such a commanding position. In these days of swift transport the proper place for a hospital is several miles out of a town," said Professor Wilkinson.

Figure 14 Sydney Morning Herald, Friday 12 February 1937, p.10

New trust to fight threats to Sydney's historic buildings

THREATS to Sydney's historic buildings have led to the formation of a "National Trust" which will seek Government backing for the preservation of ancient edifices and beauty spots.

Suggestions by Lord Mayor Barley that the Old Mint and the Queen's-square Barracks, now the District Court, would have to be pulled down to make way for modern structures brought a storm of protest.



London University's Faculty of Architecture will fight, in the event of the destruction of the city's historic buildings. Dean of the Faculty, Professor Leslie Wilkinson, said last night.

It was suggested last night that proposals will soon be submitted to the Premier by a body called the "National Trust", which, as its name implies, will be modelled on a similar organization in England, and will be supported by architects, historians, artists and landscape designers.

Organiser of the Australian National Trust, F. J. Brennan, said last night that the Trust aimed to prevent the kind of destruction suggested by Alderman Barley.

Obviously he hopes to secure places of national interest and to provide for their repair, some would be converted into museums.

Places to preserve

Honorary secretary of the Royal Australian Historical Society, A. E. Stephen, said that the Trust had 200 architectural suggestions.

Mr. Stephen gave a list of some of the buildings where it was considered necessary to preserve in the interests of the nation.

They included:

- Cadogan's Cottage, at Circular Quay.
- "Crescent" - The West's old house at Rozelle Bay.
- St. Peter's Church, Tempe.
- The Queen's Square Barracks.
- The Old Mint.
- St. James' Church, Kingsgrove.
- The NSW Parliament, formerly Governor Macquarie's residence.

The Old Mint is the only specimen of its type of Georgian architecture, apart from Government House, that Sydney possesses, and to which, according to the list, "no stone is left."

Lord Mayor's views

Lord Mayor Barley said last night that he had no intention of pulling down any of our historical buildings, and that the Lord Mayor.

"I had no idea of being preserved. I think it should be decided which parts of the city are to be preserved, and the city can be used to preserve them all."

The Lord Mayor also made it plain that there were no proposals for the demolition of any of the buildings of historical interest.

Figure 15 The Sun, Sunday 31 March 1946, p.8

2.2. The Wilkinson style

2.2.1. Wilkinson's Legacy

Leslie Wilkinson's work in Australia spans from 1918 (date of his arrival in Sydney), until his retirement in the late 1960s before his death in 1973. Many of his commissions were in Sydney's Eastern Suburbs, but other domestic projects can be found in the Upper North Shore and the Southern Highlands. Wilkinson's legacy largely relies on the climate sensitive design innovations he brought to Australia, the establishment and consolidation of the first Australian Architecture Faculty at the University of Sydney and the contribution he provided to religious architecture in Sydney.

The experiences of Mediterranean architecture experienced throughout his grand tour of Italy and Spain, had a profound influence on his buildings' light and colours (Falkiner, 1982, p 14). While clearly against fostering a particular style or design at University – advocating in fact against a National style (Wilkinson, 1919b, p 69), in his domestic practice Wilkinson favoured a 'Mediterranean' idiom, using simple, pitched roofs, lime-washed brickwork, shuttered 12-pane windows and restrained classical details: a timeless and climate sensitive style of design that remained unchanged throughout his career.

Whilst Australian architects and painters were turned to England and Anglosaxon traditions as examples, Wilkinson realised that the hot and dry conditions of Australia (Sydney in particular) were particularly close to the Southern European context. This made his design intent and architectural language seem, in the beginning, somehow foreign to the Australian built tradition, instead closely related to Classical roots. There was nothing wrong in reusing something that had previously worked, and according to Wilkinson, Sydney's climate, weather and proximity to the water were conducive to an architecture of simple forms, with intricate play of light and shade, pastel colours and accents of classical detail (Apperly *et alii*, 1989). This approach was not considered 'copying', rather re-employing the same principles of design and aesthetics adapted to the new circumstances, such as context:

The first test of understanding a principle, it is generally recognised, is the ability to employ it in a new context, and Wilkinson's mastery in this respect is illustrated by the fact that his buildings harmonise with their various environments, whether man-made or natural (Falkiner, 1982, pp 31-2).

Through his teaching and practice, Wilkinson successfully introduced a Mediterranean aesthetics to Australian domestic architecture. Identified by some as a regionalisation of Georgian domestic architecture, which emphasizes modesty, clarity and simplicity of forms and volumes, Mediterranean influences implied and highlighted the use of classical detailing such as loggias, vaulted ceilings, lanterns, voussoir arches, and timber shutter windows.

Savarton defines Wilkinson's approach to architecture somehow 'Romantic' with its emphasis on the study of the landscape and setting of a building, re-employing of vernacular traditional techniques and the aim for a 'picturesque' composition (Savarton, 1971). Asymmetrical plans following the contours of the sites, irregular silhouettes and simple colour palettes derived from the nineteenth century Picturesque theory.

Apperly and OCP Architects also argue that Wilkinson also references Arts and Crafts Architects such as Aston Webb, Morley Horder and Edwin Lutyens known in his early career (Otto Cserhalmi & Partners, 2005). However, Apperly defines an easily recognisable theme of the 1920s and 1930s in both Wilkinson and Wilson, with simple plan shapes based on the rectangle, light-toned walls, shuttered 12-paned windows, and discreetly applied classical ornament and detail as repeating patterns (Apperly, 1989, p 319). This however, is due to the strong Georgian connection of Wilson rather than the search of a new architectural expression.

Through his architecture, teaching and stimulating personality, Wilkinson influenced colleagues, students and a generation of Australian architects. The result of his teachings was an emergence of university-educated architects designing buildings in Wilkinson's Mediterranean style, primarily for the

upper echelons of society. Wilkinson's legacy remained and remains today an unending source of inspiration for architects following his idiom and design principles.

2.2.2. Design principles for Domestic architecture

Wilkinson designed homes holistically, planning the interior, the exterior of the house, the gardens and its relationship to the "broader landscape" for his clients. His design philosophy is discussed in an article he wrote for *Domestic Architecture in Australia*, written in 1919 soon after his arrival in Sydney (Wilkinson, L 1919a). This publication included articles by prominent practitioners at the time who discussed the fundamental principles of designing houses for the Australian climate. The ideas here described are precursors of the idea to design sustainably considering the location and the climate of a site.

Aspect is much more important than prospect. All houses should be Z-shaped – facing north with a little bit of east in it is ideal in Sydney. Then you sit on one side when the westerlies are blowing, on the other when the north-eastern is blowing. It's a mistake to face plate glass windows west into a view; that means pulling down the blinds all day and blotting out everything (copied from Wilkinson, David, 1973, p 5.36).

In this article, Wilkinson focuses on four main general principles to be taken into consideration by the Architect when designing a new house (no matter its location).

1 Climate

Given the hot and dry conditions of Australia (Sydney), the house is viewed as a shelter from the heat, wind and dust, which suggests spacious rooms with thick walls, without large windows but using double hung sashes, verandahs as shelter and a system of protection from insects eager to attack its structure, perhaps a critique of timber weatherboards of the Australian tradition. The insertion of a courtyard for example, would provide shelter from the winds.

2 Topography

The second aspect to consider is the site, its aspect and prospect, including building siting, topography such as a rocky harbour shore, which may suggest some design charm, or the presence of existing trees and vegetation.

All of Wilkinson buildings were designed within their unique context. While Sydney suburbs were being built by replicas of houses whose layout, style and detailing were chosen from a magazine, Wilkinson introduced the concept of the uniqueness of a design onto a particular site. Any design firstly involved the Architect's detailed investigation into the block of land with a focus on both aspect, orientation, ventilation and the ability to reveal or create views.

3 System of land tenure

The third point is the land system, in other words the subdivision and the size of the block of land would motivate the size, typology and orientation of the dwelling. He complained that the prevalence of freehold individual ownership prevented harmonious characteristics of streetscapes and opposed town planning legislation. This was part of a larger consideration of the role of Town Planning that is explained in a later article:

Until owners come to collaborate with each other for their mutual advantage, we shall continue to see the motley collections of buildings side by side of different materials and in different styles mutually destructive of each other's comfort and effect. The acceptance of modern town planning and housing principles should not only make the suburbs of the future better places to live in than those of the past, but should lead to the improvement of existing suburbs by inducing owners to remember that, while they are at perfect liberty to do what they like with the insides of their houses, when it comes to the exterior and the setting of their houses they owe something to the man in street (Wilkinson, Leslie, 1924, pp 15-17).

4 Materials

Wilkinson was opposed to the modern approach of employing multiple materials on a single façade, which may lead to an unattractive aesthetic effect. Wilkinson was impressed by the effects of nature including the play of light and shadows, which he wanted to encourage and emphasise in his buildings by the use of large blank walls with the introduction of minimal colour through painted shutters, pergolas, loggias and porticos.

Something might be done to modify the results of the chaotic use of materials and that restless manner of design by the judicious application of whitewash or distemper, the removal of superfluous features, the co-ordination of the fenestration and the addition of shutters on occasion. These, and some restraint of the painter's palette, might go far to rescue a little order (Wilkinson, Leslie, 1924, pp 15-17).

The overall aspiration of the suburban house was to inspire simplicity through the use of bagged or rendered, light coloured walls (cream-coloured stucco). This follows the Renaissance traditions of Florentine Filippo Brunelleschi but also Andrea Palladio and his Venetian villas. 'White-wash' was a nickname given to Wilkinson when he first came to Sydney, thinking he wanted to paint every building on the harbour weathered pastel colours (Falkiner, 1982, p 40). This neo-Georgian approach to simplicity and beauty, which was also shared by his colleague Hardy Wilson, lies in this statement:

The value of simplicity has been urged and, were examples needed, there stand in all the older settlements and in Macquarie Street, Sydney, airy, roomy, comfortable houses, full of dignity and tasteful charm. And of more recent building, but of the same good family, up the Mountains and the North Shore line and nearer the Harbour too, the seed is sown. Simplicity! (Wilkinson, Leslie, 1919a, p 8)

The importance of a garden setting for a dwelling is stressed in various publications. Unlevelled sites were far more interesting than flat ones, with the adjustment of levels, terracing, steps or ramps giving great scope for attractive effects. Enclosed gardens or courtyards were essential to provide shelter from the winds, either in L, U or T shapes. Pergolas, gazebos and trees were essential features to provide shade but also space for meditation and enjoyment (Wilkinson, Leslie, 1927).

The role of natural light in interiors and in the contribution it made to the architectural quality of a building was also emphasized by the need to cut excessive light fittings in lieu of opening windows up and orienting the building properly. He advised his students that, if they had to use electrical engineers, they should cut down their proposals by half by redesigning the building (Falkiner, 1982, p 86). Nevertheless, he never abandoned the tradition of the multi-pane glazing bars from the Georgian tradition. The glazing bars acted as frames to the external landscaped setting, and this feature will be employed throughout his career.

These were the main approaches Wilkinson used throughout his career in Australia and were tested for the first time in his own residence, *Greenway* at 24 Wentworth Road, Vaucluse.

2.2.3. Greenway

The first house Wilkinson introduced his design principles to in Australia was his own residence, *Greenway*, in Wentworth Road, Vaucluse, clearly at the convergence of a Mediterranean and Neo-Georgian Revival style in an established bushland. Built five years after his arrival in Sydney, Wilkinson had been able to absorb and understand the area's climate, landscape and topography and elaborate a distinctive approach, influenced by Hardy Wilson's Neo Georgian houses and his own Mediterranean reminiscences.

Named after convict architect Francis Greenway, this house embodies all of Wilkinson's design principles and philosophy for domestic architecture. *Greenway* is a house in harmony with its setting, with the rocks and trees of the original site left almost undisturbed. With an L-shaped layout, *Greenway* almost sits on the southern boundary of the block in order to retain and enhance views to the house through the established *angophora costata* trees. The house has a close and distinct relationship with the *Angophora* already present on the site prior to its development. The pink-red of

their trunks inspired the colour of the exterior walls. The arched walls, loggias and the garden complement each other in search for shade, coolness and simplicity of colours and ornament in every detail, from the flowerbeds to the Delft ceramic of the fountain head.

The simple use of volumes, proportion, contrast of light and shade offered by the pastel walls and the loggias and arcades opposed to the gloomy atmosphere of contemporary houses made *Greenway* a memorable house since its construction. Apperly interviewed Wilkinson on *Greenway* in 1967 and notes that, when approved, Wilkinson managed to convince (the then) Vaucluse Council to depart from local provisions of maintaining a three-foot setback from boundaries by employing a windowless wall built right over the western boundary (Hickey, Denise, 1972).

The orientation of the rooms was unrivalled in Sydney at the time. The living room, dining room, study, verandah, three bedrooms and two sleep-outs all faced north, with only a bedroom, bathroom and kitchen facing east. This approach was in contrast with the contemporary bungalows of the time or with 1913 house *Purulia* designed by Hardy Wilson which has a deeper connection with English Georgian architecture.

Wilkinson obtained the joinery for his own house from a Macquarie street town house being demolished at the time to open up the east end of Martin Place. This included windows, the paneled front door, the stair balusters, internal doors, skirting, fireplace surrounds etc. Additions to *Greenway* were made in 1951, when Wilkinson designed a three-storey wing to provide accommodation for his son and daughter-in-law. This tower-like wing has one room on each floor with similar but more restrained finishes due to materials shortage, referencing the main wing's design. Wilkinson said of his own house:

Houses should look old and weathered. They should embrace the site. The few people who lived in Vaucluse when I built this house called it 'the old house' even then, right from the start. But they were amazed at the two storeys, which were unusual in domestic architecture at the time (Falkiner, 1982, p 40).

The idea of a 'patina' of an ancient Italian palazzo was present on the stuccoed walls of his house almost before it was finished and was achieved through a special wash that was a special recipe of the Professor. *Greenway* was described with these words in 1976:

The house is Mediterranean in feeling, and with its walled entrance, flagged terrace and leafy garden, achieves a great sense of peaceful enclosure. The house beautifully lays on its difficult site, but the relationship of house and garden is so natural that it is hard to conceive that the site ever had any problems. It will be seen how perfectly the faded terracotta pink walls accord to the angophora gums in the garden. The colour wash is a particular recipe of the Professor's, a preparation involving salt water and tallow and lime. It is intended to look faded, as are the blue-green shutters. Not so the door, which has always been lacquer red. This colour perhaps reflects the occasional oriental touches elsewhere – such as the amusing Chinese dragon heads carved on the beam at the end of the garage – source of some perplexity to the builders. Altogether the house is a charming expression of individual taste, in which gum trees, Chinese dragons, baronial fireplace, Georgian windows and Colonial furniture all live in harmony together. When one remembers that the house was built in 1923 and compares it with the generality of houses of that period, one realizes what pioneering work the Professor has done (Parker, 1976).

The philosophies adopted at *Greenway* have been carried throughout his career well into the late 1960s. Most of the patterns and detailing experimented at *Greenway* were reused and employed in later buildings.

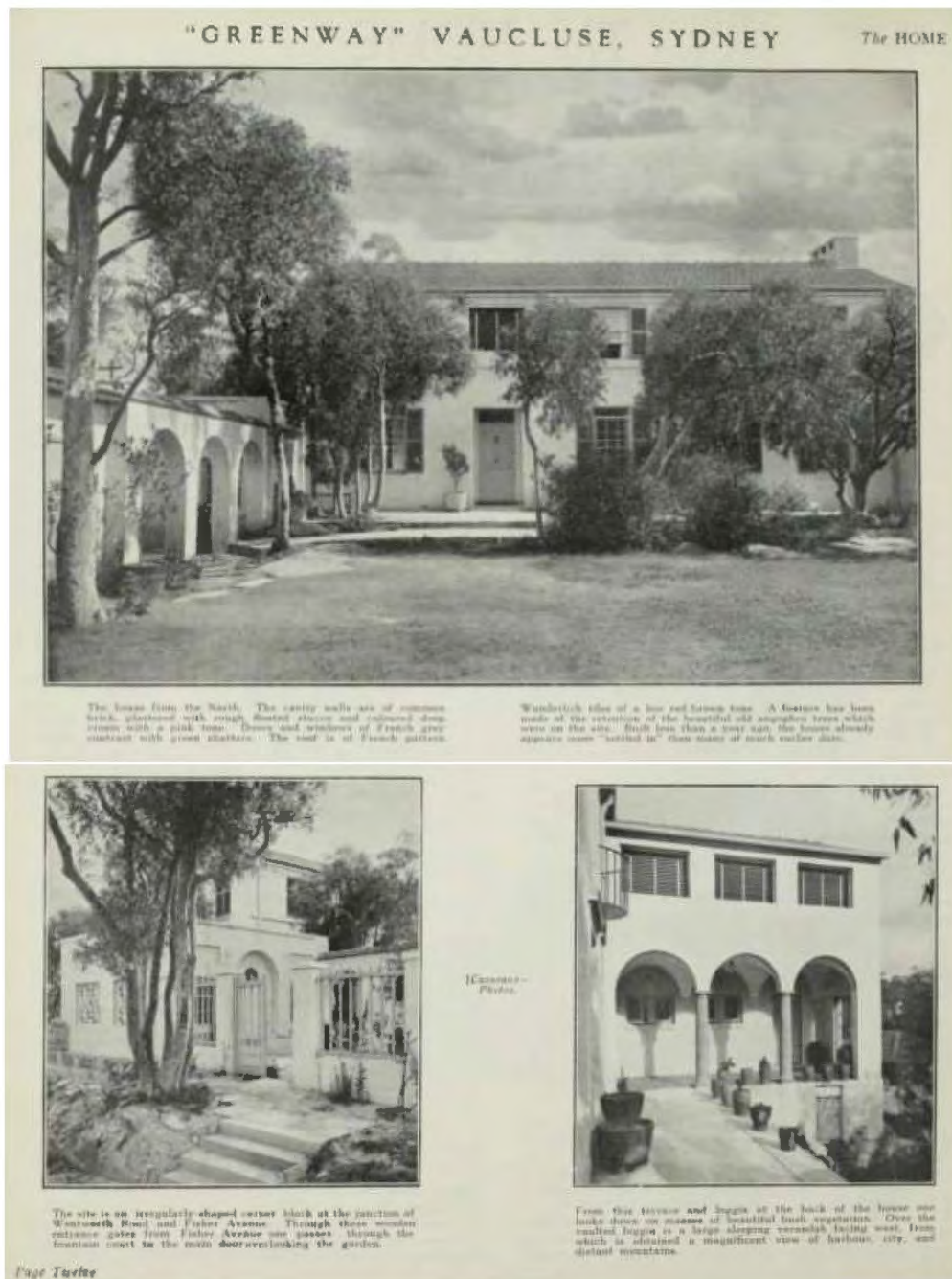


Figure 16: Extract from page 12 of *The Home*, 1 March 1924, p.12



Figure 17: Extract from page 12 of *The Home*, 1 March 1924, p.12

2.2.4. The Professor and his lectures

Wilkinson considered Architecture, co-ordinator of all Arts, as a subject capable of adding to the pleasures of life, vitally affecting people's conditions. In his inaugural speech at the University of Sydney in 1919 he stated that Architecture was an art, a science, a profession and a business, combining science with imaginative skills (Wilkinson, Leslie, 1919b, p 68). It was however the only art where the artists have to work to regulations (Wilkinson, David, 1973, p 5-41).

In a series of lectures published between 1920 and 1921, Wilkinson describes the essential qualities of Architecture that are observable in all good examples of Architecture. A firm advocate of the

Vitruvian triad, (utility, strength and beauty), the Architect's aim was to bring all these into play simultaneously (Wilkinson, Leslie, 1921a, p 74).

These are summarised below:

1. Truth

A building must look what it is and declare its functions, leaving no doubt as to its ministry. [...] The enemy of Truth is deception, and, therefore, each material must be used truthfully and logically.

2. Beauty

[Beauty] is always impossible to analyse. It may result from the combined effects of perfect proportion, of balance, grace, refinement, or it may even exist in spite of all of them.

3. Strength

All great buildings should appear enduring, for Strength is certainly essential to good work, hence the building should sit firmly on the ground.

4. Vitality

This is generally noticeable in all fine examples, such as, organic representation of growth, order and symmetry, These all help to express affinity to animal structure. [...] This living character of the building will help it to speak to us of its purpose and tell us its story.

5. Restraint

The language of Architecture should be direct and simple. Unnecessary ornamentation, unnecessary features or other elements are defects like verbosity in speech. [...] Ornament should only be there if it is useful in a broader sense.

6. Refinement

Refinement means restraint – and more, the inclusion of absolute purity of form. Extravagance is opposed to Refinement.

7. Repose

Another essential quality is Repose, but rather Repose of sleep than of death.

8. Grace

[...] Grace is akin to courtesy and commerce, which is the element that gives charm and attractiveness, a perfect whole, and always perfect in execution, which may be the means of imparting Grace to a building.

9. Breadth

Breadth standing for sense of unity, a firm control that is noticeable in the best examples.[...] Breadth means subordination of the whole detail to the more important features. Breadth is possible in the smallest work, and its absence in a large building may spoil it.

10. Scale

Scale refers to relative size. The building may be large in Scale or small in Scale. It may be in Scale of our of Scale with its surroundings, or in or out of scale with itself.

11. Proportion

Proportion and these other factors (light and shade, color, texture, solids and voids, balance and symmetry) are the architects' materials, they are no tangible materials, but if they are omitted from designs, the work will suffer very seriously; in fact they correspond to what the cook adds to the recipes in the cookery books.

12. Character and Style, Colour and Texture

If Character and Style are absent, the work is commonplace. [...] Character is the chief essential in all good architecture.

13. Light and Shade

Light and Shade are brought into play in the emphasizing of solid and voids; [...]. Solid should come over solid and void over void. [...] Generally we obtain our lights by solids and our darks by voids, and the darks, obtained by glazed openings or recesses, will be in increasing order.

14. Balance and Symmetry

All good architectural designs should show balance and, unless there is reason against it, Symmetry. Balance and Symmetry are essential to Repose.

The above essential qualities mostly refer to the external appearance of a building visible from public streets. The exterior was considered to be more important than the internal arrangements, which were given little attention in Wilkinson's lectures. Of most interest to the community is the building's appearance from the outside, whilst the interiors are only viewed by the owners and a small group.

He believed that if all buildings were designed by good architects, there would be no need for building regulations. He complained of the fact that local Councils accepted building applications not necessarily signed by architects; and regretted that building regulations, under which applications

were assessed, inevitably always stayed behind the new trends in buildings knowledge and technologies (Hickey, 1972).

The harmonious character of a streetscape needed some form of control for architects to ensure good street architecture, and the role of Town Planning and a sound building tradition were advocated by Wilkinson.'

Control of architecture, as opposed to the trend of freedom, was able to make Sydney a world-famous example of a beautiful city, if more control was enforced in development (Wilkinson, Leslie, 1929a).

2.2.5. Typical detailing

Apperly argues that the Inter-War Mediterranean style is a regionalization derived from other Inter-War variations such as the Spanish Mission or Georgian Revival, and Wilkinson's characteristic approach, displayed in his domestic commissions, reflect a combination of Classical, Mediterranean and Georgian influences.

This new style was employed to distinguish upper class residences from common bungalows sprawling in metropolitan Sydney and Melbourne and was also influenced from the work of other contemporary colleagues such as William Hardy Wilson, John D. Moore and Frederick Glynn Gilling to name a few. Hardy Wilson in particular "awakened" him to the quality of Australian light and local heritage of early colonial houses (Apperly, 1972), while Gilling was clearly influenced by the early work of Wilkinson and Spanish Hollywood architecture.

While Wilkinson motifs were borrowed from Classical architecture and were a reminiscence of his Italian and Spanish grand tour, they are repurposed in New South Wales in a domestic context, with tendency to informality of siting, being simplified versions of classical and Georgian motifs. Some of these typical motifs include:

- Asymmetrical form with informal massing and fenestration;
- Lightly bagged or cement rendered brick walls lime washed in pastel colours;
- Vertically proportioned timber framed double hung sash windows, often further divided into small panes by glazing bars;
- Louvred shutters often painted in a dark green or blue colour, contrasting with the light pastel walls;
- Perforated masonry screens reminiscent of Italian vernacular architecture;
- Classical motifs such as:
 - arcades and loggias,
 - voussoir arches (or Florentine doorway),
 - roof lantern (or topknot or fleche),
 - balconies with balustrade
 - classical windows (bull's eyes, Diocletian windows, serlian windows)
 - vaulted ceilings
- Hipped or gabled roofs tiled with Roman, Spanish or Marseilles terracotta roof with exposed rafter ends;
- Courtyard created by plan layout;
- Prominent chimneys breaking the roofs and elevations;
- Formal entrance treatments;
- Fanlight arched openings;
- Circular or prominent staircase
- North facing terraces with or without pergolas

The following illustrations describe some of the detailing listed above and their sources.

Fanlight arched openings



Figure 18 Front door of 45 New South Head Road, Vaucluse with fanlight and sidelights. Leslie Wilkinson designed alterations and additions to this house in 1937.



Figure 19 Main entry door and sidelights from Neo Georgian Old Government House, Parramatta (Flickr)

Shuttered timber sash paned windows



Figure 20 Carinya flats, Double Bay, designed by Leslie Wilkinson in 1934



Figure 21 Georgian house in Millers Point (Source: www.realestate.com.au)

Loggias and Vaulted ceilings



Figure 22 Leslie Wilkinson's own house, Greenway at 24 Wentworth Road Vaucluse (David Wilkinson thesis)



Figure 23 14 Ginahgulla Road Bellevue Hill, also designed by Leslie Wilkinson in 1935.



HOSPITAL OF THE INNOCENTS, FLORENCE.
This building was built 1421-1445, and is noted for the simple and graceful colonnade which supports the solid superstructure; yet an appearance of weakness is not presented. The colonnade, with its vaulting, became the universal form for cloisters, and for courts of private palaces.

Figure 24 Brunelleschi's Hospital of the Innocents in Florence (Source: Wilkinson, 1920b, p 72)

Vousoir Arches



Figure 25: Detail of Rona Estate at 14 Ginahgulla Road, Bellevue Hill (Source: "The Florentine Doorway". The Home, Vol.19, No.6, 1 June 1938, p 60, photographed by Harold Cazneaux.)



Figure 26: Villa Medici in Cafaggiolo, Barberino di Mugello, Tuscany (www.villegiardinimedicei.it)

Roof lanterns

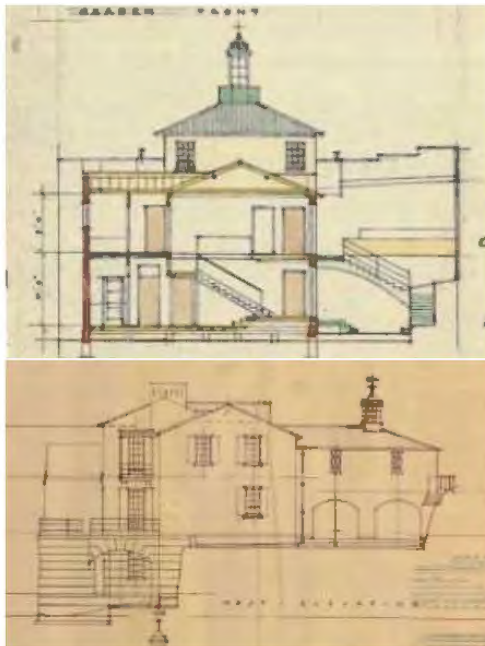


Figure 27: Lanterns over 21 Wentworth Street Point Piper (BA880/1963) and 327D Edgecliff Road Edgecliff, both designed by Leslie Wilkinson, the latter never built (BA23/1934 Woollahra Records)



Figure 28: Roof lantern of the Florence Baptistery (Wikipedia)

Grilled openings



Figure 29 Spanish Mission detailing (grilled openings) for ventilation from Silchester Flat, designed by Leslie Wilkinson in 1929 at 4 Trahlee Road, Bellevue Hill



Figure 30 Vernacular grilled openings in rural building at Greve in Chianti, Firenze (Source: www.ilcapochiave.it)

Diocletian or thermal windows



Figure 31 Carinya at 470-472 New South Head Road, Double Bay, designed by Leslie Wilkinson in 1934 - This is a simplified version of a classical detail fairly used in the Renaissance.



Figure 32 Diocletian window: a semi-circular arch shaped opening segmented into thirds with two vertical dividers. So called after the Diocletian Baths in Rome (www.orizzontecultura.com)



Figure 33 Diocletian Baths in a 1756 etching by G B Piranesi showing the typical thermal windows to the top (Source: Collections Arts Mia, Gift of the Estate of Kemper Kirkpatrick)



Figure 34 Another example of Diocletian or thermal window in Villa Foscari by A. Palladio (Source: WikiWand)

North facing terraces with balustrades



Figure 35 Terrace with balustrade designed by Leslie Wilkinson at Rona Estate, 14 Ginahgulla Road, Bellevue Hill (www.realestate.com.au)



Figure 36 Stone balustrade from Villa D'Este, Tivoli (www.visite-guidate-roma.com)

Prominent chimneys



Figure 37 eastern elevation of Greenway, designed by Leslie Wilkinson as his own house in 1922.



Figure 38 western elevation of 43 Latimer Road, Bellevue Hill, altered by Leslie Wilkinson in 1939.



Figure 39 Anne Hathaway's Cottage, Shottery, Warwickshire (Source: Wikimedia.org)



Figure 40 Picturesque Country Cottage in Somersent (source: www.architeturstyles.com)

Circular and prominent staircase

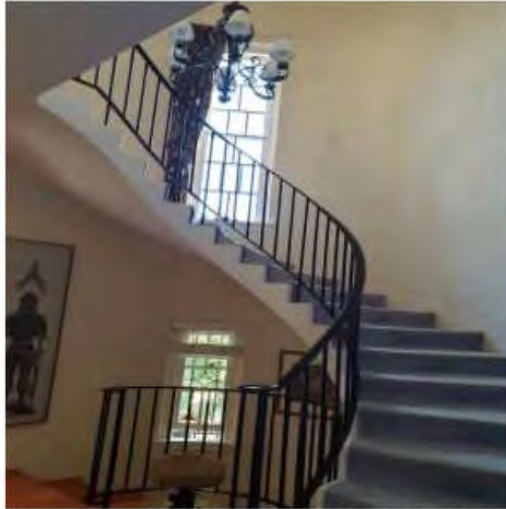


Figure 41 Circular staircase from Leslie Wilkinson designed house at 80A Hopetoun Avenue, Vaucluse



Figure 42 Entry way tower incorporating the main staircase from Leslie Wilkinson designed house at 80A Hopetoun Avenue, Vaucluse



Figure 43 Helicoidal staircase of Urbino, Montefeltro Palace (www.edilcoscale.it)



Figure 44 The tower of the Montefeltro Palace in Urbino (www.tripadvisor.it)

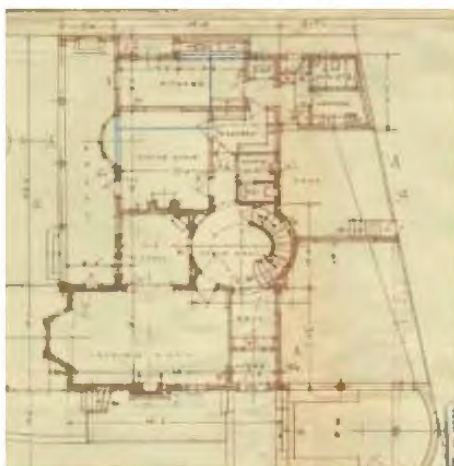


Figure 45 Circular staircase from 5-7 Trahlee Road Bellevue Hill (BA232/1936, Woollahra Records)



Figure 46 Floor plan of 69 Hopetoun Avenue Vaucluse (State Library of NSW)

The courtyard

The C layout



Figure 47 1 Rose Bay Avenue, Bellevue Hill, designed by Leslie Wilkinson in association with Architect John D Moore. (www.realestate.com.au)



Figure 48 Silchester Flats, Bellevue Hill, designed by Leslie Wilkinson in 1929(www.realestate.com.au)

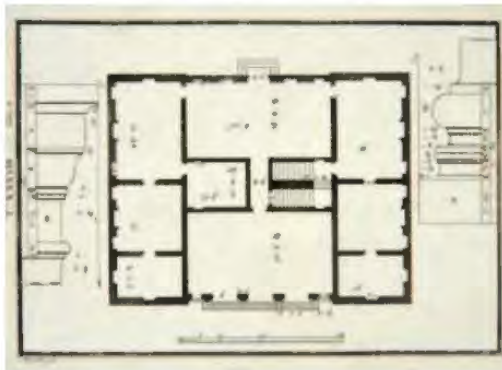


Figure 49 Villa Trissino in Cricoli (Vicenza), Architect Andrea Palladio (www.comune.vicenza.it).



Figure 50 Villa Farnesina in Rome, Architect Baldassarre Peruzzi (www.pinterest.com)



Figure 51 Villa Trissino in Cricoli (Vicenza), Architect Andrea Palladio (www.wikimedia.com).



Figure 52 Villa Farnesina in Rome, Architect Baldassarre Peruzzi (www.viator.com)

Layout plans forming a courtyard



Figure 53 Greenway at 24 Wentworth Road, Vaucluse, by Leslie Wilkinson (Source: State Library of NSW PXD 351, Roll No.419, f 4273)



Figure 54 82 Wentworth Road, by Leslie Wilkinson (Woollahra Records BA(90)69/1938, former Vaucluse Council)



Figure 55 Rona Estate at 14 Ginahgulla Road Bellevue Hill – L shape with annexed courtyard, by Leslie Wilkinson (Source: Woollahra Records BA4/1935)



Figure 56 80A Hopetoun Avenue, by Leslie Wilkinson (Source: Woollahra Records BA(900)7/1934 former Vaucluse Council)



Figure 57 9-11 Wellington Street, designed by Leslie Wilkinson (Source: Woollahra Records BA228/1958)



Figure 58 Floor plan of 327D Edgecliff Road by Leslie Wilkinson, never built. (Source: Woollahra Records, BA23/1934)

3. Leslie Wilkinson in Woollahra

During the course of this study, all buildings that are known to have an association with Leslie Wilkinson were reviewed, and their contribution as part of Wilkinson's body of work further assessed and considered as part of the heritage assessment process. However, this list is not exhaustive and more Wilkinson designs in Woollahra may be discovered in the future.

A full list of items currently listed buildings in the Woollahra LEP 2014 is contained in **Appendix A.1**. Wilkinson buildings outside of Woollahra can be found at **Appendix A.2**.

3.1. Wilkinson designs in Woollahra not currently listed

Monument to Robert Watson at Robertson Park, Watsons Bay



Figure 59 photo of the Monument to Robert Watson

Upon request from the Royal Historical Australian Society, in 1929 Vaucluse Council commissioned Leslie Wilkinson to build a monument for £70 to commemorate Robert Watson, after whom the area was named (Vaucluse Council Minutes, 2 July 1929, Item 10, 18 September 1929, Item 12 and 2 October 1929, Robertson Park).

Robert Watson was quartermaster of HMAS Sirius, signal man at South Head, pilot and harbor master and superintendent of Macquarie lighthouse who died on 1 November 1819. Tenders for building the monument were called in September 1929. The monument was unveiled on 2 November 1929 by Mr K R Cramp, President of the Royal Australian Historical Society (Daily Telegraph, 1929).

This site is intact and a full heritage assessment is contained in Section 5 of this report.

Sources:

State Library of NSW, PXD 351, Roll No 141, ff1279-81

Other sources listed in the Bibliography



Figure 60 1929 plans from PXD 351, Roll 141, f.1280 (Source: State Library of NSW, PXD 351, Roll No.149, ff1277-1280, 3 drawings, 1 print dated 1929)

Monument to Robert Watson at Robertson Park, Watsons Bay



Figure 61 1929 plans by Leslie Wilkinson (Source: State Library of NSW, PXD 351, Roll No. 141, f.1279)



Figure 62 Detail of the carvings of the monument



Figure 63 Detail of the carvings of the monument

Monument to Robert Watson at Robertson Park, Watsons Bay

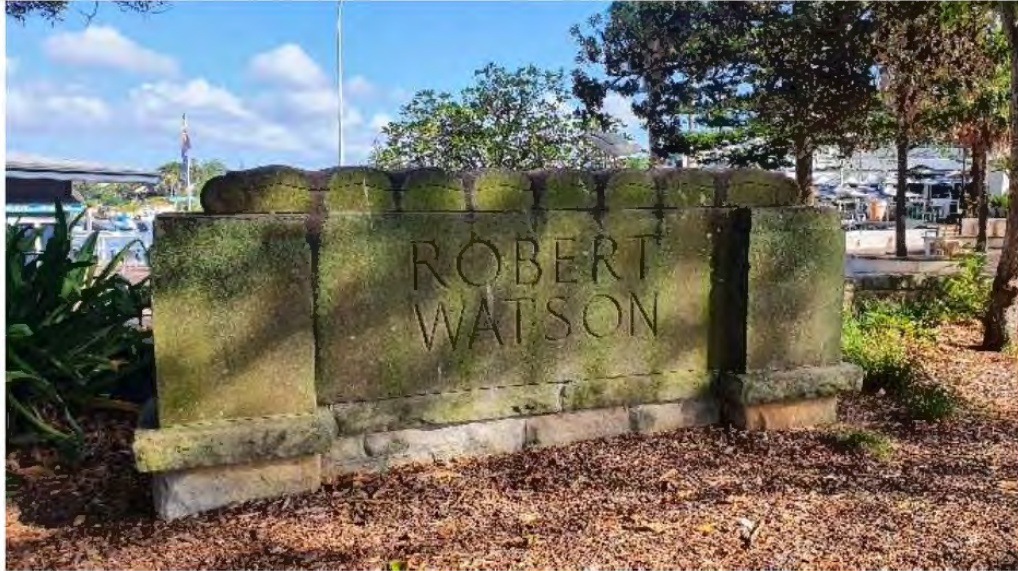


Figure 64 southern side of the Monument to Robert Watson



Figure 65 Photograph of the monument by Bruce Crosson, 1987 (Source: Woollahra Local History Centre)

Wistonville, 10 Wiston Gardens Double Bay



Figure 66 10 Wiston Gardens from the street

Sources:

State Library of NSW, PXD 351, Roll No.288, ff 2817-22, 1 rough sketch, 2 sketch plan, 1 linen, 2 prints, dated 1929-33, House 'Wistonville' remodelling Wiston Gardens, Double Bay for Mrs Wymark.

State Library of NSW, PXD 351, Roll No.291, ff 2900-20, 5 sketch plans, 1 plan, 7 drawings, 8 prints dated 1962-3, House – additions and alterations No.10 Wiston Gardens, Double Bay for W Fesq. Esq.

Falkiner, Suzanne (ed), *op.cit.*, 1963, *W Fesq, 10 Wiston Gardens, Double Bay (Alts & Adds)*, £6,200, Carroll.

Woollahra Records, BA233/1929 and BA606/1963.

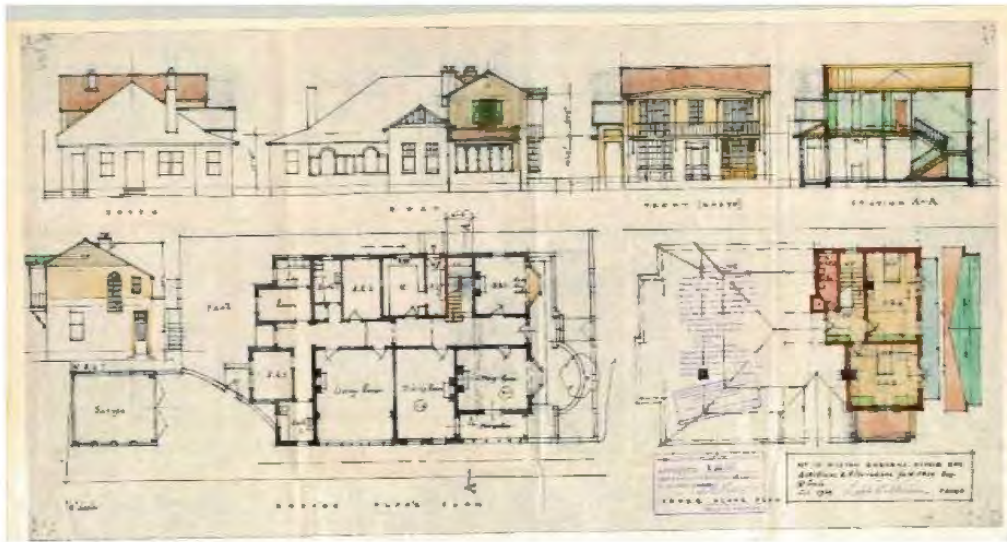


Figure 67 Plans from BA606/1963 for W Fesq (Woollahra Records)

52 Kings Road Vaucluse



Professor Wilkinson was engaged to design a new house on Lot 95 in Kings Road, Vaucluse for Mr C A Holmes in 1930 (BA(90)32/1930, approved by former Vaucluse Council). It was built by J M Robertson for a cost of works of £2,786.

In 1961, internal alterations were undertaken by Wilkinson, mostly reconfiguration of the interiors, new rear addition and modifications of two ground floor doors (BA1023/1961).

From a review of available information, this house appears to have been substantially altered and added in recent times and Wilkinson's design has been irreversibly modified.

An internal site inspection and further research is recommended should the opportunity arise in the future.

Figure 68 House at 52 Kings Road, Vaucluse

Sources:

State Library of NSW, PXD 351, Roll No 411, ff 4179-84, 2 rough sketches, 2 plans, 2 prints dated 1961-2, House No.52 Kings Road, Vaucluse for Mrs C A Holmes.

State Library of NSW, PXD 351, Roll No 412, ff 4185-95, 2 rough sketches, 2 sketch plans, 3 plans, 4 prints dated 1930, 1938 for C A Holmes.

Falkiner, Suzanne (ed.), *op.cit.* 1938, *C A Holmes, House, Kings Road, Vaucluse (Alterations)*.

Woollahra Records, BA32/1938 and BA1023/1961

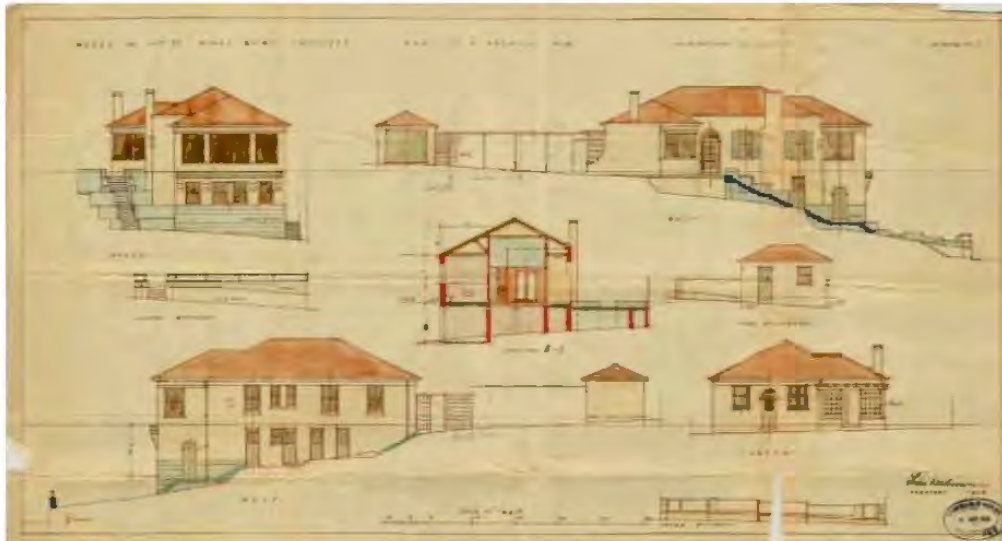


Figure 69 Plans by Wilkinson for Mr Holmes from BA(90)32/1930 (Source: Woollahra Council, former Vaucluse Council)

52 Kings Road Vaucluse

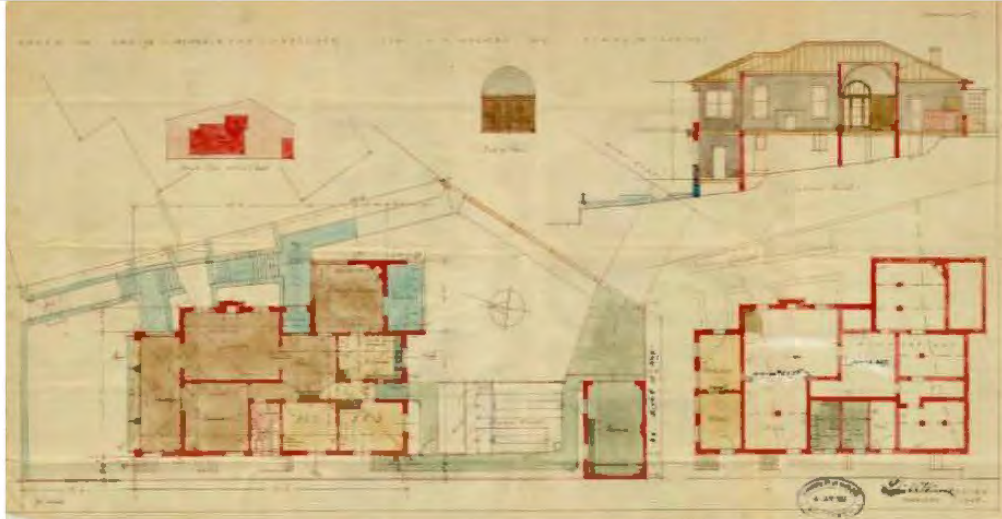


Figure 70 Plans by Wilkinson for Mr Holmes from BA(90)32/1930 (Source: Woollahra Council, former Vaucluse Council)

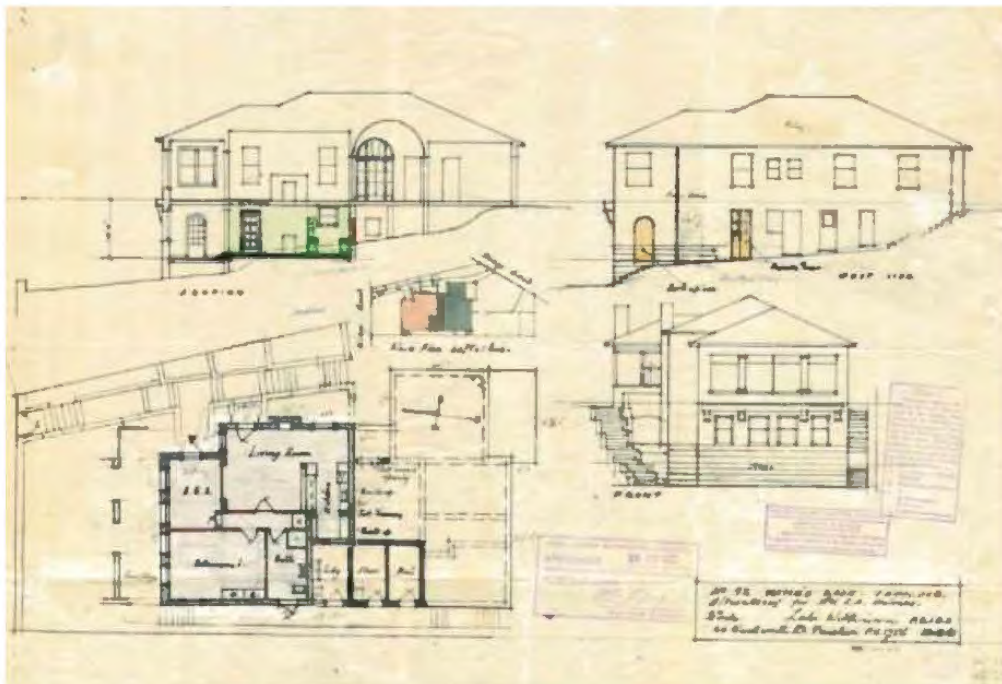


Figure 71 Plans by Wilkinson for Mr Holmes from BA1023/1961 (Source: Woollahra Council)

Balviag (Balraig), 770 New South Head Road, Rose Bay



Figure 72 Photo: Google Streetview

Sources:

State Library of NSW, PXD 351, Roll No.379, ff 3938-57, 1 rough sketch, 2 sketch plans, 3 drawings, 14 prints dated 1930, House 'Balraig' Conversion into two flats for Mrs Charles Maclarein.

State Library of NSW, PXD 351, Roll No.375, ff 3917-9, 3 sketch plans dated 1912 House Rose Bay by Wardell and Denning Architects for Dr Maclarein.

Falkiner, Suzanne (ed), *op.cit.*, 1930 *McLauren, Balvaig (Flats), Rose Bay (Alterations)*, \$97, S P Walsh.

Woollahra Records, BA72/1930

In 1930, Wilkinson provided plans to convert the existing 1912 house originally designed by Wardell and Denning Architects into two flats for Mr McLauren (BA72/1930).

From a review of available information, this property is not an exemplar of Wilkinson's design, being minor changes to adapt a house into two flats. However, a full heritage assessment may be required to assess the intactness of this historic house.

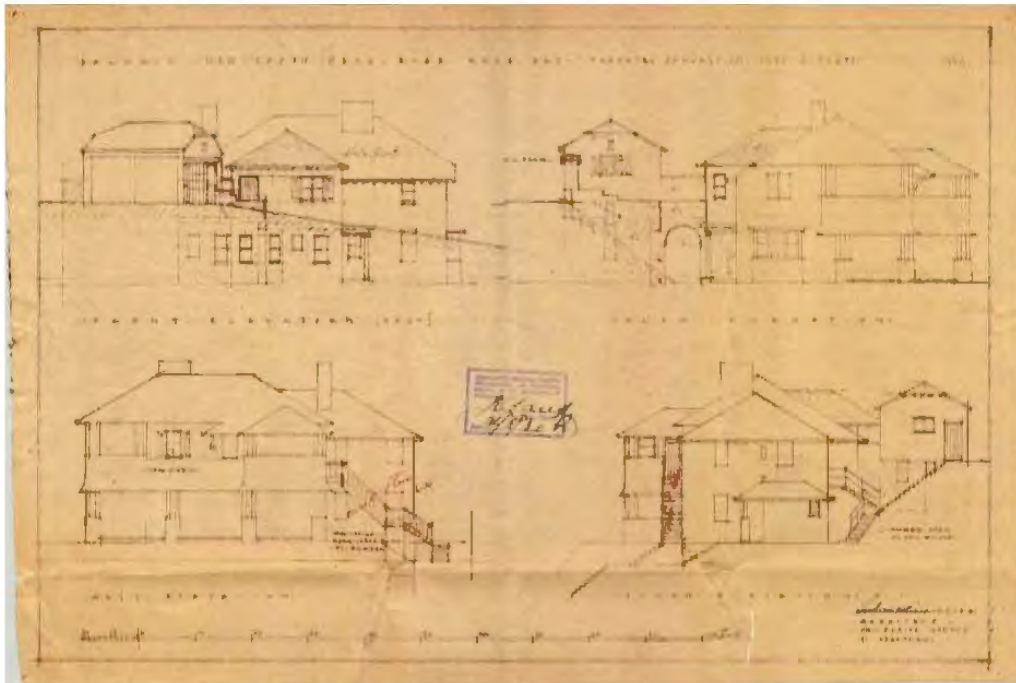


Figure 73 Plans from BA72/1930 for Mr Maclarein (Source: Woollahra Records)

Balviag (Balraig), 770 New South Head Road, Rose Bay

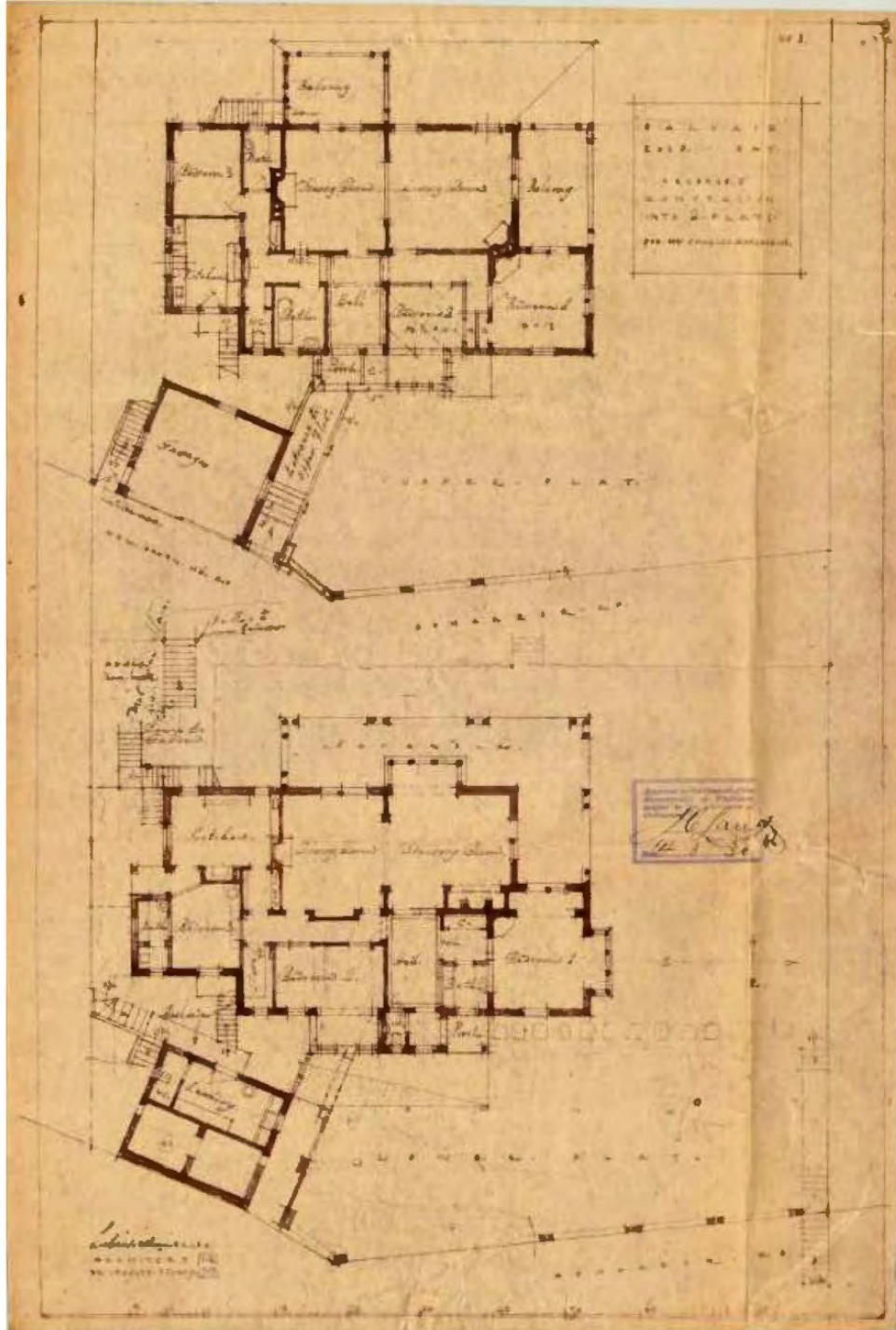


Figure 74 Plans from BA72/1930 for Mr Mclarein (Source: Woollahra Records)

Northern Grandstand at White City, 30 Alma Street, Paddington



The Northern Grandstand at White City was designed by Wilkinson in 1932 for Lawn Tennis Association of Australia. Builder of this stand was Thompson for a cost of works of £1,475.

A conservation management plan was prepared by Conybeare Morrison in 2004 (updated in 2008).

The northern grandstand was originally constructed in 1932 to replace an earlier (1927) temporary stand whose drawings and specifications can be viewed at City of Sydney Archives (BA1263/1927). Only parts of the original Northern Grandstand remains today, and it appears to be vacant. The Northern Grandstand has been partly demolished when the new Clubhouse was built, however Wilkinson's distinctive row of arches have remained in a highly modified form.



On 28 September 2015, Council resolved to defer any consideration of the heritage listing of White City to allow consideration of an already lodged Development Application (DA). Following this, the DA was approved.

Various DAs have been approved between 2015 and 2020, mostly highlighting the low degree of intactness and poor condition of the structure. Conservation works to reopen and reuse some of Wilkinson's arches were approved in 2019 and 2020.



The White City site is currently considered a contributory item during the assessment of the various DAs. Adaptive re-use and reconstruction of the stand was proposed by the Applicant and supported by Council staff in the new design.

Heritage Interpretation Strategies have been put in place to ensure the heritage contribution of the site to the Paddington Heritage Conservation Area remains legible.

White City is listed on the National Trust of Australia (NSW) Register (S11655).



From a review of available information and based on the site inspection undertaken in 2020, the Northern Grandstand exhibits poor condition and a poor level of intactness and integrity. As such, it does not meet the threshold for local heritage listing.

Figure 75 Photos of the arches of the Northern Grandstand undertaken during the writing of the heritage referral for White City redevelopment.

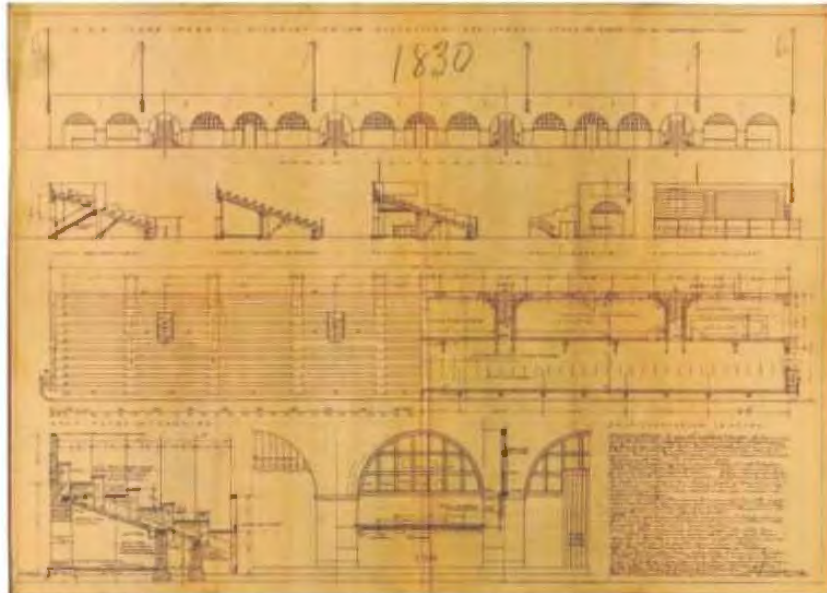
Sources:

State Library of NSW, PXD 351, Roll No. 194A and 194B, ff1587-1639, 1 sketch, 2 sketch plans, 24 drawings, 6 linen, 13 rints, 7 blueprints dated 1921, 1927-33, 1937 for the NSW Lawn Tennis Association, Rushcutters Bay; E I Norman Consulting Structural Engineer, 1 drawing.

Falkiner, Suzanne (ed), *op.cit.*, 1932 Lawn Tennis Association of Australia, Grandstand, White City, Rushcutters Bay, \$1,475 Thompson.

City of Sydney Archives, BA1830/1932

Northern Grandstand at White City, 30 Alma Street, Paddington



CITY OF SYDNEY

CITY OF SYDNEY ARCHIVES
 1830 Local Tenancy Association and Municipalities Act, Paddington, White City, State of New South Wales of the mid-nineteenth century.
 Page 2 of 2

Figure 76 Plans from BA1830/1932 (Source: City of Sydney Archives)



Figure 77 1943 aerial of White City. The area circled in red is the northern grandstand (Source: Six Maps)

109 O'Sullivan Road Bellevue Hill



Figure 78 109 'O'Sullivan Road, Bellevue Hill (Source: www.realestate.com.au)

The subject house was approved as a single storey bungalow in 1919 for Dr Stewart on lot 4 of the Belgravia Estate (BA377/1919). In 1926, Scott, Green & Scott architects designed a new garage and other alterations to the house (BA194/1926). In 1932, Fowell & McConnel Architects designed a first floor addition. In 1935, the front verandah was enclosed (BA42/1935).

In 1940, Leslie Wilkinson designed a first floor addition and a new laundry to the ground floor level (BA176/1940). A few years later, Leslie Wilkinson designed a minor extension to the front of the house (BA58/1947).

This house was inspected on 27 July 2022, including the interiors. From a review of available information, this house is not an exemplar of Wilkinson's design.

Sources:

State Library of NSW, PXD 351, Roll. No.229, 1 rough sketch, 2 sketches, 4 sketch plans, 3 drawings, 2 prints dated 1932 and 1940 for Dr Cotter Harvey ; 1 print by Rowell & McConnel Chartered Architects, Roll No.229A, f.1935A.

Woollahra Records, BA176/1940 and BA58/1947



Figure 79 Front elevation of 109 O'Sullivan Road, Bellevue Hill



Figure 80 Rear elevation of 109 O'Sullivan Road, Bellevue Hill

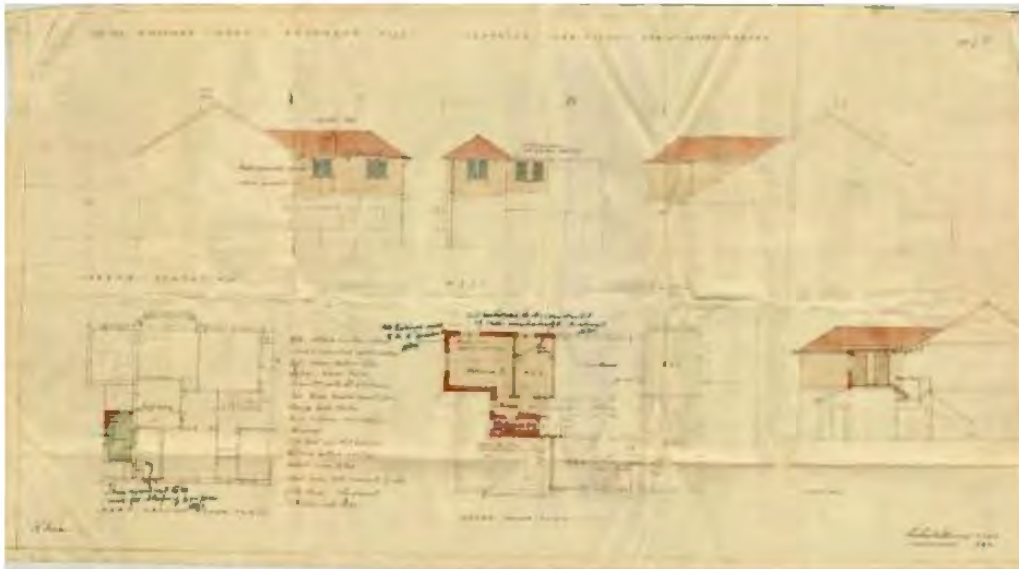


Figure 81 Plans by Leslie Wilkinson from BA176/1940 (Woollahra Records)

Ercildourne, Atui or Atoi at 69 Hopetoun Avenue, Vaucluse



Wilkinson was responsible for substantial alterations and additions to the building (originally built as a bungalow) for Prof. Dakin (BA(900)7/1934 former Vaucluse Council). His design was executed by S P Walsh for a cost of works of £1,010.

The alterations and additions, while having removed almost all evidence of the original bungalow dwelling, represent characteristic features typical of Wilkinson's domestic architecture.

Site inspection was not granted during the undertaking of this study.

From a review of available information, this property may demonstrate creative endeavor of Wilkinson's design. However, this will need to be confirmed via additional research and an internal site inspection.

Figure 82 69 Hopetoun Avenue, Vaucluse from the public domain

Sources:

State Library of NSW, PXD 351, Roll No 409, ff 4165-72, 5 sketch, 1 plan, 2 prints dated 1930-3, 1934 House – No.69 Hopetoun Avenue, Vaucluse.

Falkiner, Suzanne (ed.), *op.cit.*, 1935: *Prof. Dakin, Hopetoun Avenue, Vaucluse (Alts & Adds), £1,010, S.P. Walsh*

Woollahra Records, BA(900)7/1934 (former Vaucluse Council)



Figure 83 architectural plans drawn by Wilkinson (Source: State Library of NSW, PXD 351, Roll No.409, f 4175)

Hampden Lodge, 12 Hampden Avenue, Darling Point



Figure 84 Hampden Lodge, view to the Voissor Arch



Figure 85 Hampden Lodge, view from Hampden Avenue

Originally built as stables for Winslow mansion between 1902 and 1909, Hampden Lodge was adaptively reused as a residence by Sydney Gilchrist in 1922 (BA51/1922).

Owned by Florence Emily Nesbitt from March 1930, Wilkinson was engaged to design various alterations and additions including arched entryway, garage, south addition with ensuite, wardrobe and loft addition (BA98/1936, BA113/1941 and BA55/1947) built by Bent Bros for £804, respectively.

Inspected on 22 June 2022, this house exhibits some of Wilkinson's typical detailing and is relatively intact. Internal windows opening onto the current hall show the extent of the original stables of Winslow. The original Inter-War bathroom maintains the original layout, however fittings have been replaced.

Intact Wilkinson fabric include the Voussoir arch and iron gate, front door with entablature, stone carved fireplace and wrought iron work to the windows.

This site is considered to be intact and a full heritage assessment is contained in Section 5 of this report.

Sources:

State Library of NSW, PXD 351, Roll No.274 and 274A, ff 2654-72, f 2672A, 3 rough sketches, 1 sketch plan, 13 drawings, 1 print, 1 blueprint, House, Hampden Lodge, Hampden Avenue, dated 1930-3, 1936, 1941, 1947 for Mrs Nesbit.

Falkiner, Suzanne (ed). 1936, *Nesbit, Hampden Lodge, Hampden Ave, Darling Point (Alts & Adds)*, £804, Bent Bros.

Woollahra Records, BA98/1936, BA113/1941 and BA55/1947

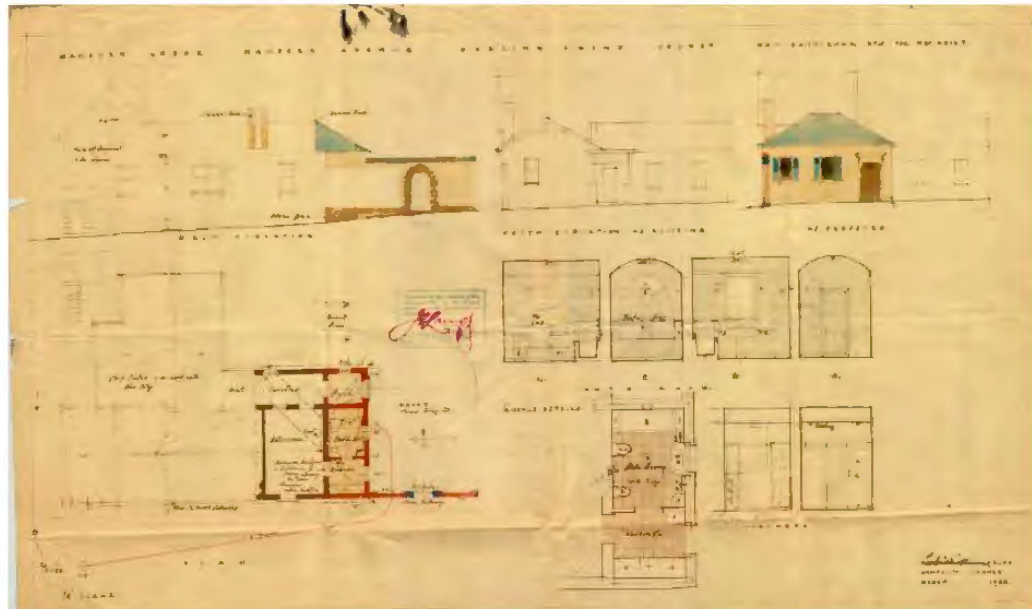


Figure 86 Plans from BA98/1936 (Source: Woollahra Records)

Hampden Lodge, 12 Hampden Avenue, Darling Point

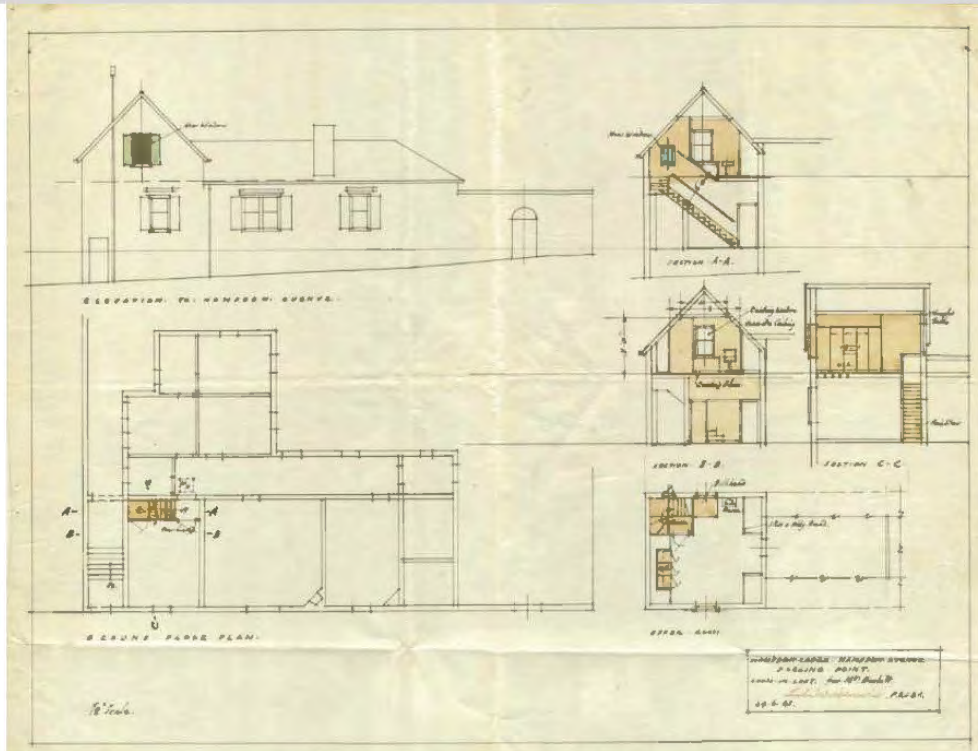


Figure 87 Plans from BA113/1941 (Source: Woollahra Records)

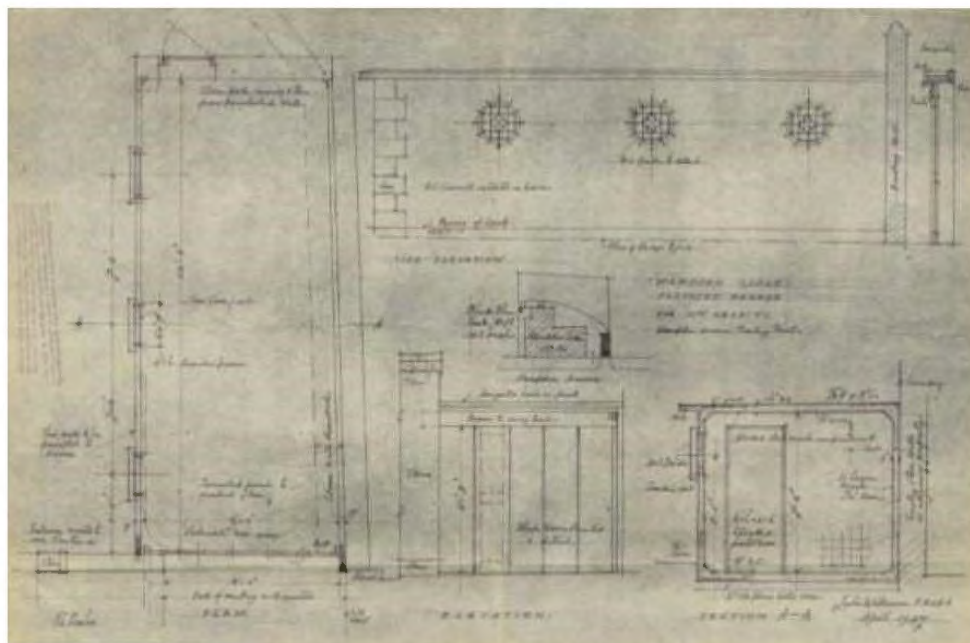


Figure 88 Plans from BA55/1947 (Source: Woollahra Records)

Hampden Lodge, 12 Hampden Avenue, Darling Point

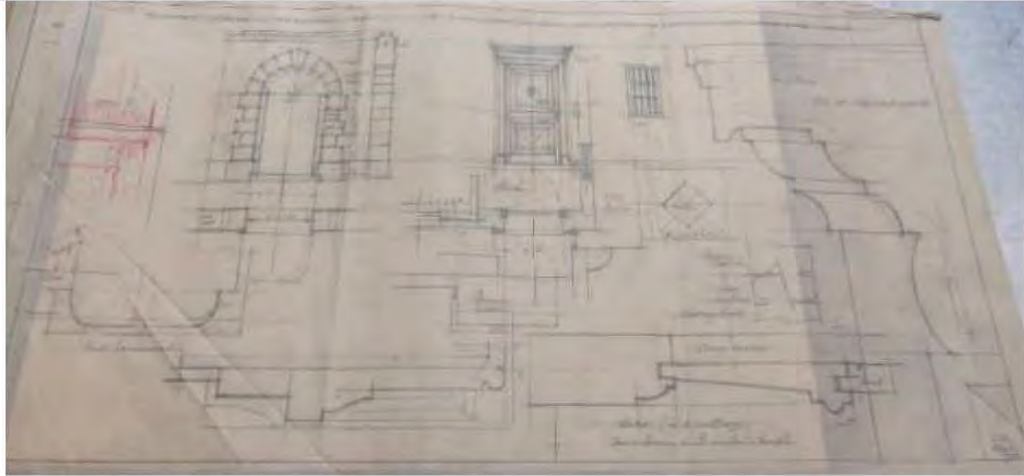


Figure 89 (Source: State Library of NSW, PXD 351 Roll No. 274, f 2664)

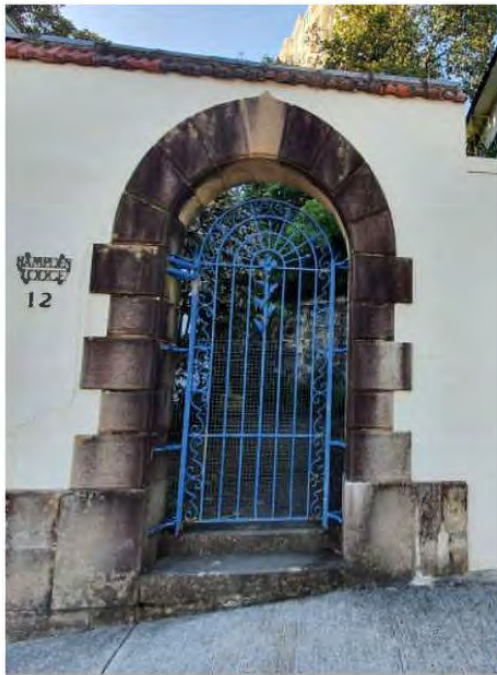


Figure 90 Voussoir arch accessing the property with wrought iron gate



Figure 91 front door with entablature above matching the drawings above

Hampden Lodge, 12 Hampden Avenue, Darling Point

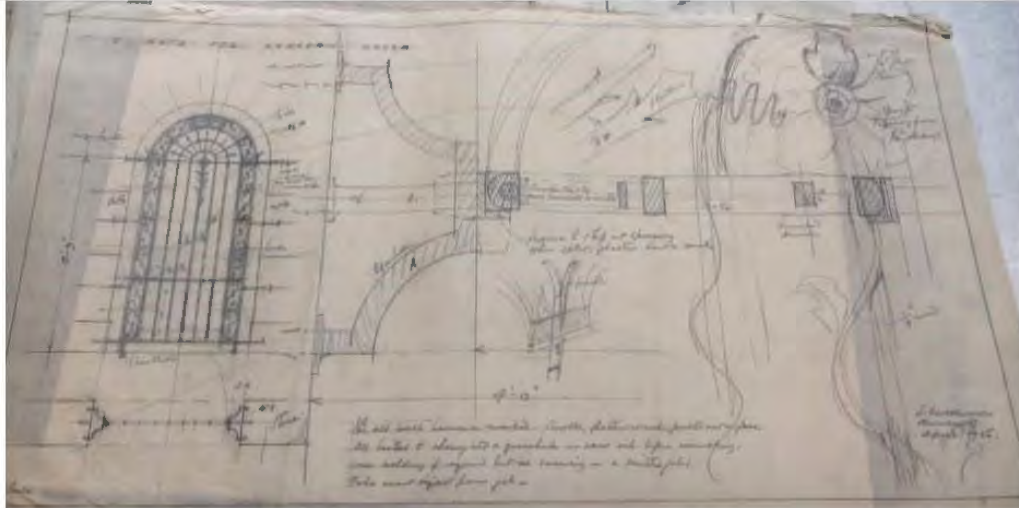


Figure 92 detail of the wrought iron gate (Source: State Library of NSW, PXD 351 Roll No. 274, f 2663)



Figure 93 detail of the wrought iron gate



Figure 94 Corner fireplace in the living room

Hampden Lodge, 12 Hampden Avenue, Darling Point

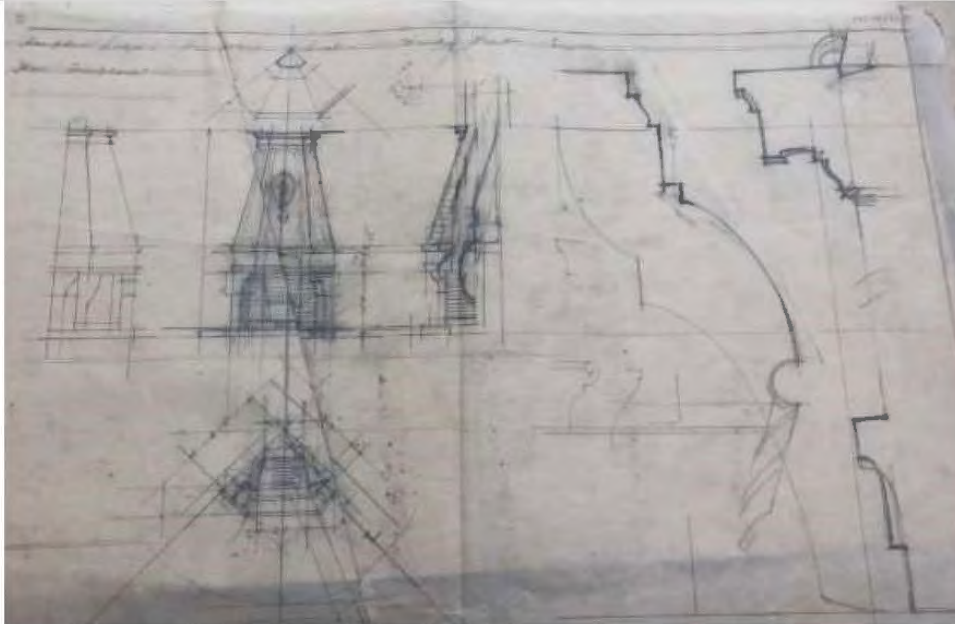


Figure 95 New corner fireplace (Source: State Library of NSW, PXD 351 Roll No. 274, f 2661)

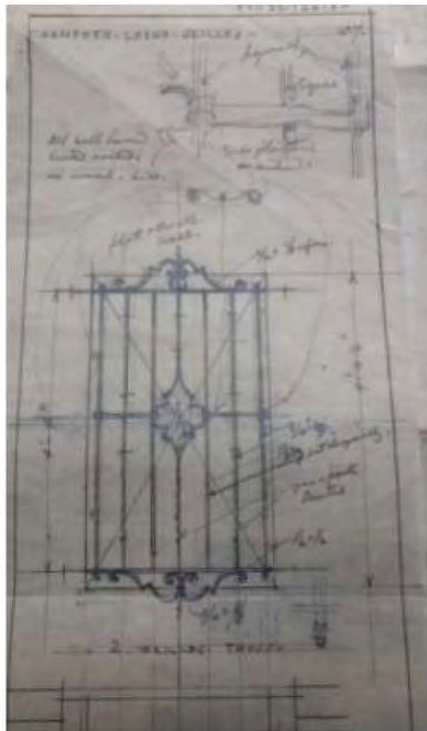


Figure 96 Hampden Lodge window Grilles (Source: State Library of NSW PXD 351 Roll No.274, f 2672A)

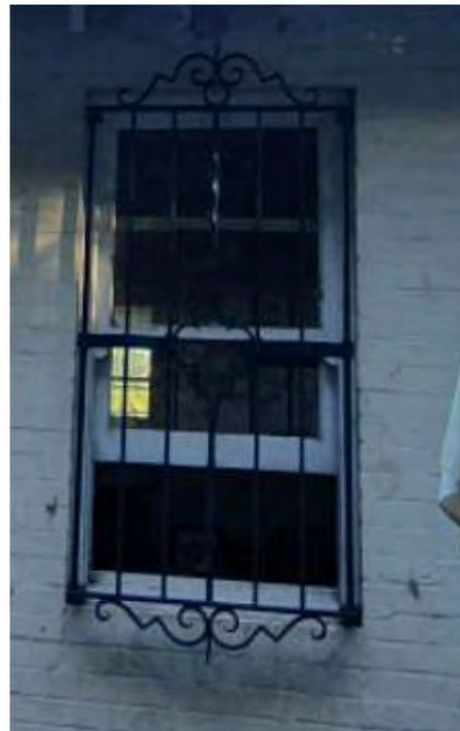


Figure 97 wrought iron window grill noted during site inspection

82 Wentworth Road, Vaucluse



Figure 98 Photo: Google MAPS

Sources:

State Library of NSW, PXD 351, Roll No. 430, ff 4397-4411, 1 sketch, 4 sketch plans, 5 drawings, 5 prints dated 1938, House No.82 Wentworth Road, Vaucluse.

Falkiner, Suzanne (ed.), *op.cit.*, 1939, *Mme Remond, 82 Wentworth Road, Vaucluse (Alts & Adds), £3,841, F. Palmer*

Woollahra Records, BA(90)69/1938 former Vaucluse Council

In 1938, Wilkinson designed alterations and additions for Mme Remond, built by F Palmer (BA(90)69/1938 former Vaucluse Council) for £3,841.

This house was the recipient of a Woollahra Excellence Award in 2008. Site inspection to this property was not granted during the undertaking of the study.

From a review of available information, this house appears to have been substantially altered and added in recent times. An internal site inspection and further research is recommended, should the opportunity arise in the future.



Figure 99 Northern elevation prior to the 2008 alterations and additions



Figure 100 Northern elevation after to the 2008 alterations and additions



Figure 101 View from entry path prior to the 2008 alterations and additions



Figure 102 View from entry path after to the 2008 alterations and additions

Tarrison, 17 Etham Avenue, Darling Point



Figure 103 17 Etham Avenue, Darling Point (Source: www.realestateview.com.au)

Wilkinson undertook alterations and additions to a Federation house in Etham Avenue for Mr Alexander in 1938 (BA103/1938). These were built by W Bilson for a cost of work of £1,434.

Since the 1938 alterations, the property has been altered in 1957 by Robertson & Marks, 1974, 1985, 1996 and 1999.

Site inspection to this property was undertaken on 28 March 2022.

Some original Federation interiors were noted, such as ornated ceilings to the ground floor and a fireplace to the first floor. However, Wilkinson's simple design shown on the 1938 architectural plans, which has been considerably remodeled though later alterations, do not provide enough evidence to elevate the protection of this house, which is already a contributory item of the Etham Avenue heritage conservation area in the *Woollahra Development Control Plan 2015*.

Sources:

State Library of NSW, PXD 351, Roll. No.271, ff 2631-2638, 2 sketch plans, 6 prints, House – Additions and alterations No.17 Etham Avenue Darling Point, 1958.

Falkiner, Suzanne (ed), *op.cit.* 1939, C.G.Alexander, 17 Etham Avenue Darling Point (Alts & Adds), £1,434, W. Bilson

Woollahra Records, BA103/1938

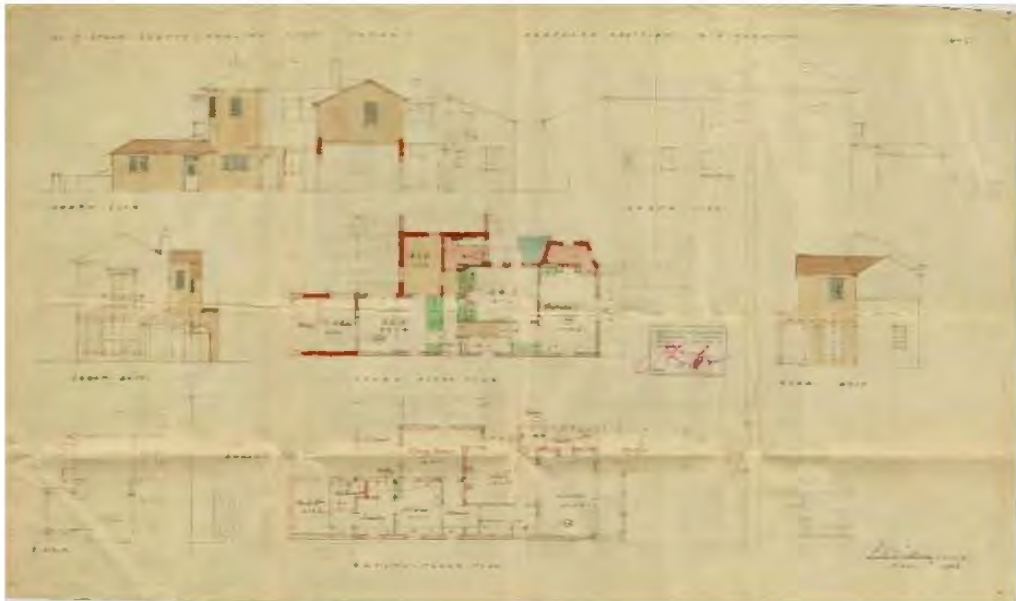


Figure 104 Plans from BA103/1948 for Mr Alexander (Source: Woollahra Records)

Torri, 45 New South Head Road, Vaucluse



Figure 105 Front elevation of 45 New South Head Road, Vaucluse

Initially built as a Bungalow in 1926, this house was completely remodelled in the Inter-War Mediterranean style by Leslie Wilkinson in 1937 (BA7/1937) for Mr J C Buckingham (builder H Mott, cost of works £2,420). In 1951, Wilkinson designed alterations and additions to convert it into two flats.

Further alterations, not associated with Wilkinson, have been carried out more recently, especially to the front elevation, which has been modified. The façade appears to have a deeper front verandah and balcony and different fenestration.

Some original fabric was noted during the internal site inspection which occurred on 28 March 2022, paired with numerous changes noted internally and to the rear. *Note: Permission was not granted to take internal photographs during the site inspection.*

Several alterations and modifications have impacted the house's association with Leslie Wilkinson. This property does not meet the threshold for individual heritage listing.

Sources:

State Library of NSW, PXD 351, Roll No.413, ff 4196-4223, 4 rough sketches, 6 sketch plans, 4 plans, 11 drawings, 2 prints (and 1 blueprint from McMillan Consulting Civil Engineers) dated 1936-7, 1949-51 for J Campbell Buckingham.

Falkiner, Suzanne (ed.), *op.cit.* 1937, J.C. Buckingham, 45 New South Head Road Vaucluse (Alts & Adds), £2,420, H. Mott.

Woollahra Records, BA(900)7/1937 (former Vaucluse Council)



Figure 106 Rear elevation of 45 New South Head Road, Vaucluse (Source: www.realestate.com.au 2016)



Figure 107 Internal view of the staircase and the Neo Georgian front door with sidelight and arched fanlight. (Source: www.realestate.com.au 2016)

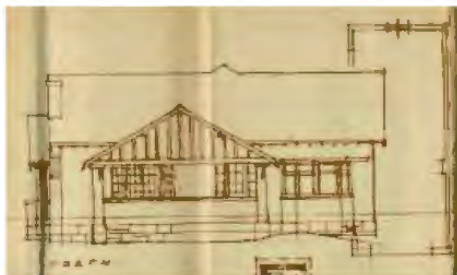


Figure 108 North elevation prior to Wilkinson's renovation from BA(900)7/1937 (former Vaucluse Council, Woollahra Records)

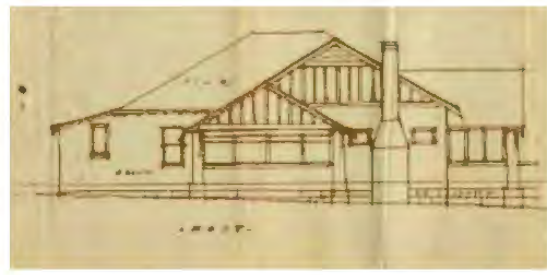


Figure 109 North elevation prior to Wilkinson's renovation from BA(900)7/1937 (former Vaucluse Council, Woollahra Records)

Torri, 45 New South Head Road, Vaucluse

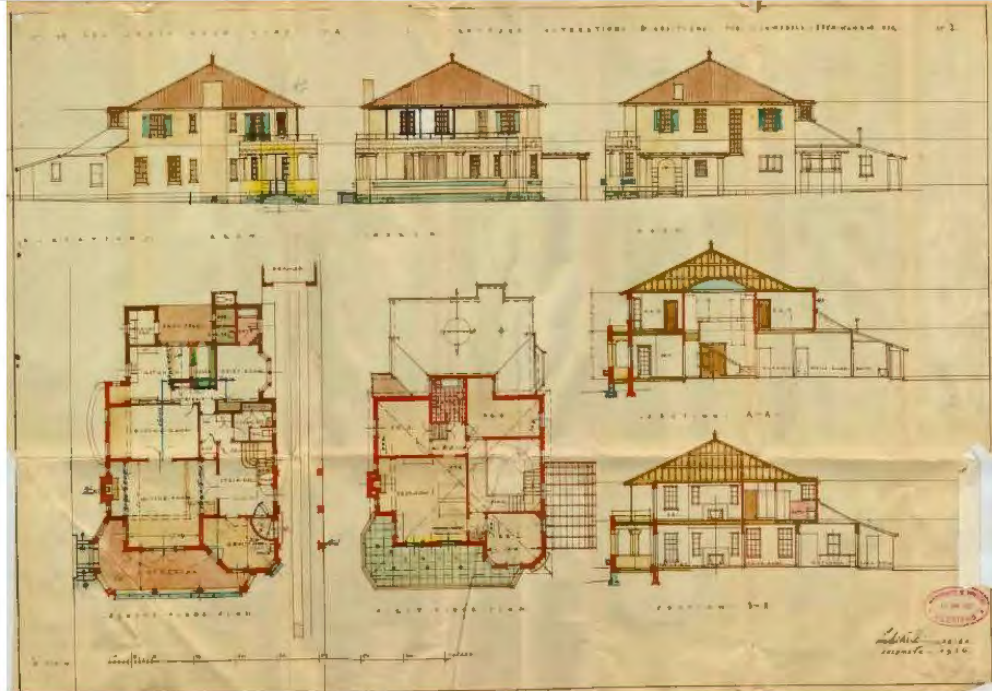


Figure 110 Plans from BA(900)7/1937 (former Vaucluse Council) drawn by Leslie Wilkinson (Source: Woollahra Records)

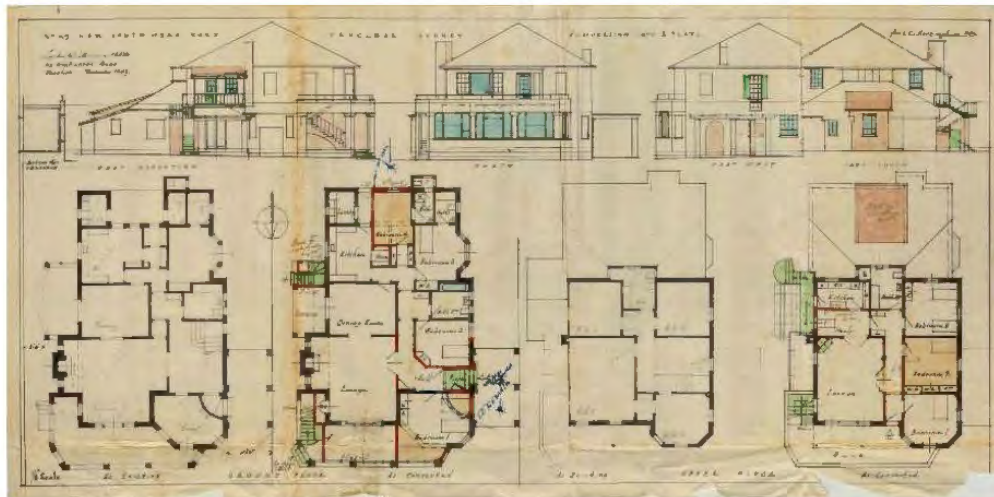


Figure 111 Plans from BA128/1951 for J. Buckingham (Source: Woollahra Records)

43 Latimer Road Bellevue Hill



Figure 112 North elevation of 43 Latimer Road

In 1939, Wilkinson was commissioned by Mr Gordon Russell, Company Director, to undertake alterations and additions to his house at 43 Latimer Road (BA3/1939).

Built by Coleman & Kirk for a cost of £1,274, Wilkinson designed a whole new second storey to the house, transforming it into an Inter-War Mediterranean/Neo-Georgian style house.

The house appears to be very intact, with some of the internal finishes having been refreshed through the years.

Other than a swimming pool approved in 1973 (but never built), no other development consent has been recorded since 1939.

A full heritage assessment is contained in Section 5 of this report.

Sources:

State Library of NSW, PXD 351, Roll. No.228, ff.1916-1923, 3 sketch plans, 3 prints, 1 blueprint; John D Moore Architect 1 print for G. Gordon Russell, Esq., dated 1937-38.

Woollahra Records, BA3/1939

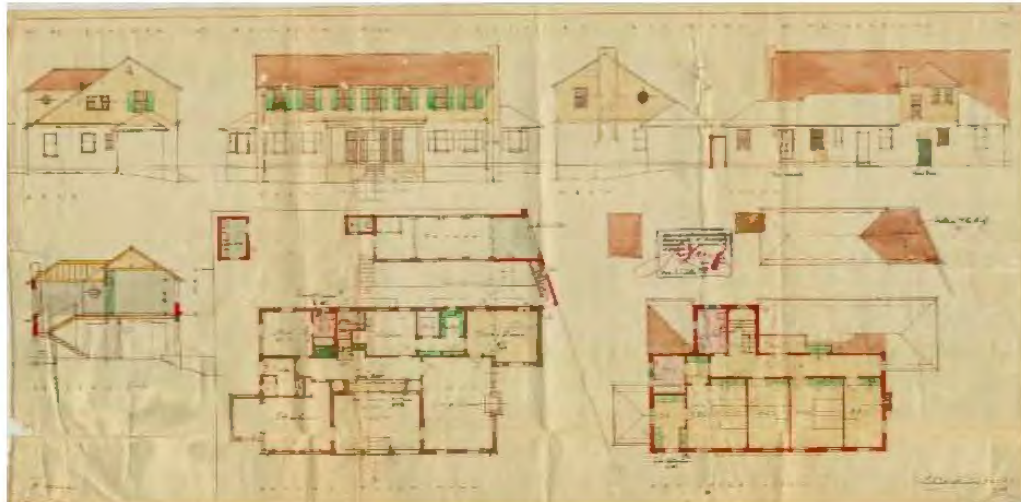


Figure 113 Plans from BA3/1939 for Mrs Russell



Figure 114 Historic photo of 43 Latimer Road Bellevue Hill (Source: owner of the property).



Figure 115 43 Latimer Road within its terraced landscaped garden.

Southmoor, 1 Wentworth Road, Vaucluse



Figure 116 Aerial view of Southmoor (Source: www.realestate.com.au)



Figures 117 and Figure 118 Views to Southmoor

Built in 1912 to the design of Power & Adam Architects (builder J H Wilson) for J H Richards (BA(90)41/1912 former Vaucluse Council), this house was altered and added by L Clatworthy Architect in 1937 (BA(9)130/1937) and then by Leslie Wilkinson for Mrs Robinson in at least three occasions.

In 1940, a new northern-western wing was added with a ground floor loggia and a north-facing terrace obtained through a new sandstone circular addition in the basement level. This was built by Coleman & Kirk (BA(90)66/1940 former Vaucluse Council) for £1,033. The plans also included a garden shelter.

In 1947, additional internal alterations and additions by Wilkinson were refused by Council (BA(90)45/1947 former Vaucluse Council) because they would make the premises 'adaptable for separate occupation as two flats', with premises 'being in a non-flat area' (Vaucluse Council Minutes, 14 July 1947, Building Surveyor's Report Item 1).

In 1950, another application by Wilkinson to convert the house into two units was approved by Woollahra Council (BA174/1950). A second garage by Wilkinson was approved in 1950 (BA274/1950) for the same owner.

From a review of information, and having inspected the house internally on 25 March 2022, this site is not an exemplar of Wilkinson's design and due to its condition and limited architectural creativity, it does not meet the threshold for individual heritage listing.

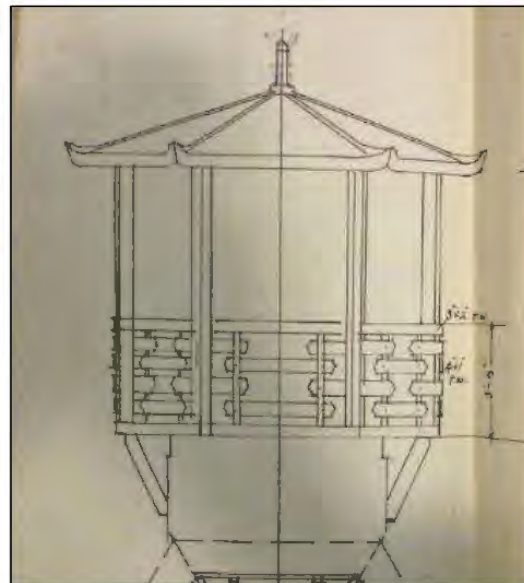


Figure 119 Wilkinson drawing for a gazebo for Mrs Robinson from BA(90)66/1940 (former Vaucluse Council, Woollahra Records). This gazebo no longer exists.

Sources:

State Library of NSW, PXD 351, Roll No.421, ff 4276-4309, 5 rough sketches, 16 sketch plans, 4 plans, 4 drawings, 3 prints dated 1940-1, 1945, 1947, 1950 House – Additions & Alterations No. 1 Wentworth Road, Vaucluse for Mrs D E Robinson.

Falkiner, Suzanne (ed.), *op.cit.* 1940, *Mrs Robinson, 1 Wentworth Road Vaucluse (Additions)*, £1,033, Coleman & Kirk.

Woollahra Records, BA(90)66/1940 (former Vaucluse Council), BA(90)45/1947 (refused former Vaucluse Council), BA174/1950 and BA274/1950

Southmoor, 1 Wentworth Road, Vaucluse

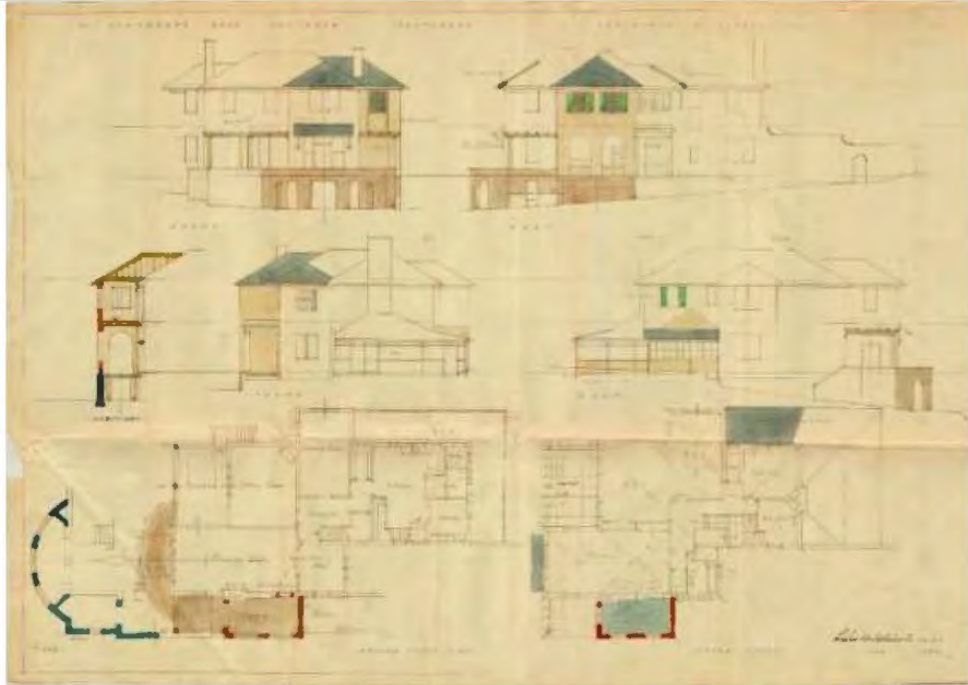


Figure 120 Plans from BA(90)66/1940 (former Vaucluse Council) for Mrs Robinson (Source: Woollahra Records)

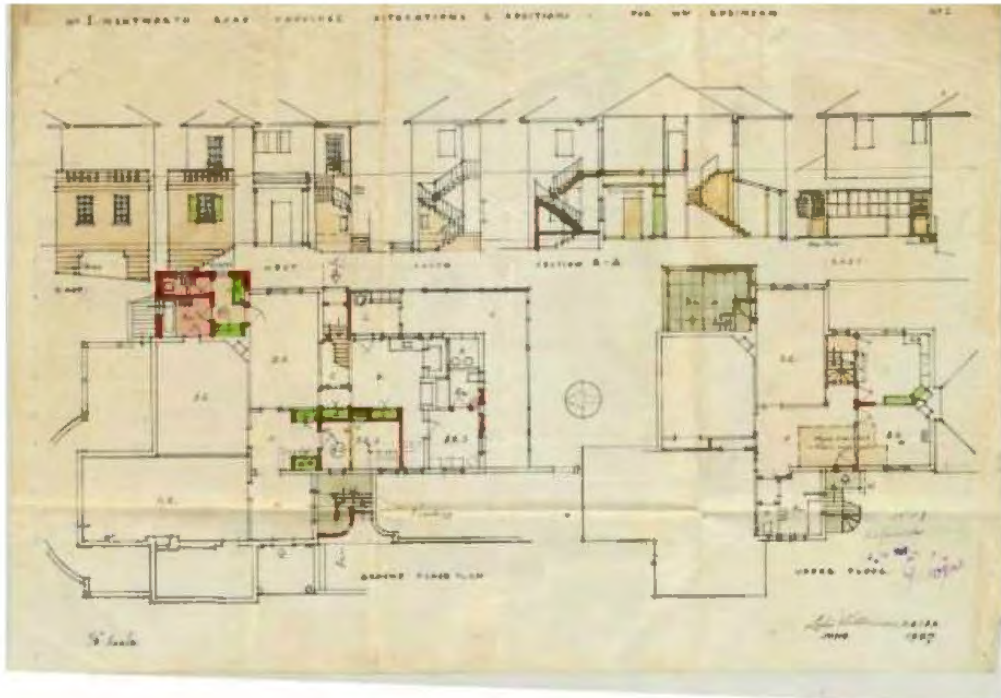


Figure 121 Refused plans from BA(90)45/1947 (former Vaucluse Council) for Mrs Robinson (Source: Woollahra Records)

8 Magney Street, Woollahra



Figure 122 View of 8 Magney Street from Harbourview Park (Source: www.realestateview.com.au)



Left: Figure 123 Main elevation of 8 Magney Street Woollahra

This cottage was built around 1899-1900 a cottage was built on lot 1 of the Harbour View Estate by E K Harkness. It was initially called 'Lawrence', then 'Llawanee' from 1902, then 'The Bungalow' from 1914.

In 1941, Wilkinson was commissioned to undertake alterations and additions to an existing house for Mr Mackenzie Lees (BA87/1941). These were executed by builder Roseweare for a cost of £692.

Wilkinson was responsible for a new front elevation with streetfacing gable and verandah, a new north-facing balcony with pergola, new internal bathrooms and a minor extension to the rear.

From a review of information, this property is not exemplar of Wilkinson's design and, while confirming its contributory assessment to the Woollahra HCA, it does not meet the threshold for individual heritage listing.

Sources:

State Library of NSW, PXD 351, Roll No. 448, ff 4708-20, 1 sketch, 3 sketch plans, 1 drawing, 8 prints dated 1940, House – Alterations No.8 Magney Street, Woollahra.

Falkiner, Suzanne (ed.), *op.cit.* 1941, A. Mackenzie Lees, 8 Magney Street, Woollahra (Alterations), £692, Roseweare.

Woollahra Records, BA87/1941.



Figure 124 Plans from BA87/1941 for Mr Mackenzie Lees (Source: Woollahra Records)

6 Princes Avenue Vaucluse



Figure 125 Front elevation of 6 Princes Avenue, Vaucluse (Source: Photo: Google streetview)

Designed in 1947 for Prof. MacDonald-Holmes, this house has a modest unadorned presentation to the streetfront and a rare Wilkinson employment of a flat roof (BA(90)55/1947 former Vaucluse Council).

A section in the drawings show an outline of a future first floor with pitched roof that was never built. Perhaps to indicate a future stage of the project or perhaps a way to gain approval through Council in a period where flat roofs were not typical.

This house is a rare Wilkinson's experiment to design a Modern building, which evidences his interest for contemporary architectural language after the Second World War.

It is unclear whether the house was effectively built as the approved drawings or if some changes were implemented later. For example, the north elevation arches are no longer visible to the north elevation. However the Functionalist front porch on steel column is still present. This is an Inter-War Mediterranean house showing some interesting Modern influences.

A site inspection was not granted during the preparation of this study.

From a review of available information, this property may demonstrate creative endeavor of Wilkinson's design. However, this will require additional research and an internal site inspection.

Sources:

State Library of NSW, PXD 351, Roll. No.418, ff 4249-71, 9 rough sketches, 3 sketch plans, 2 plans, 1 drawing, 7 prints dated 1947 for Professor Macdonald Holmes.

Falkiner, Suzanne (ed.), *op.cit.*, 1947 Prof. MacDonald-Holmes, 6 Princes Avenue, Vaucluse (alts & Adds).

Woollahra Records, BA55/1947



Figure 126 View of the house and its north garden from Princes Avenue, Vaucluse



Figure 127 Front elevation of 6 Princes Avenue, Vaucluse

6 Princes Avenue Vaucluse

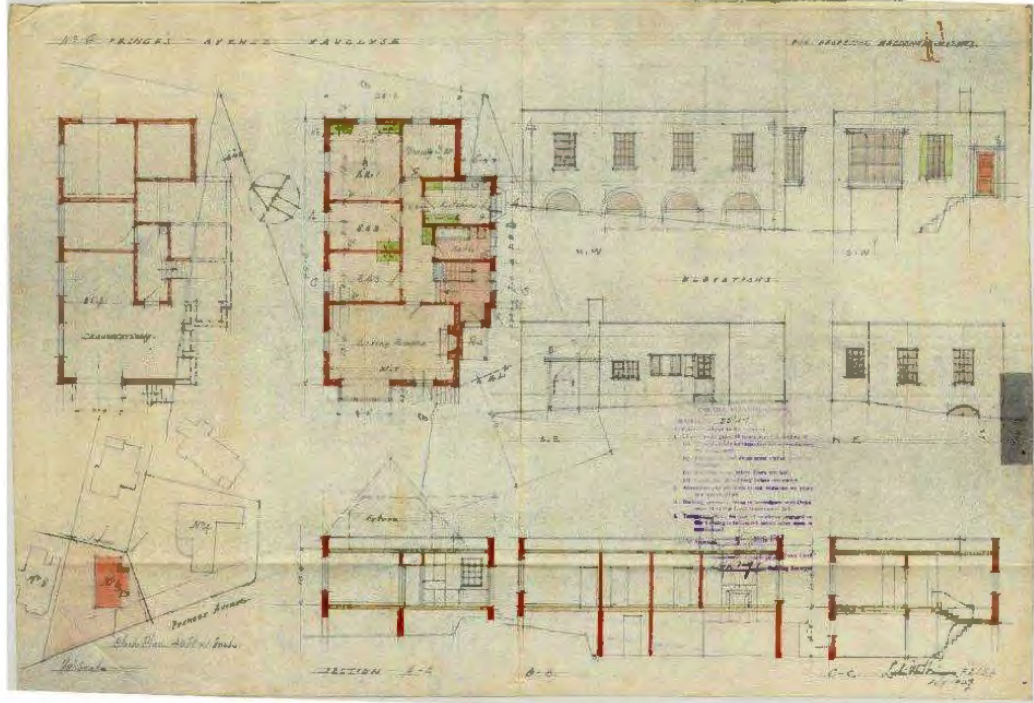


Figure 128 Plans from BA(90)55/1947 (former Vaucluse Council) for Prof. MacDonald-Holmes (Source: Woollahra Records)

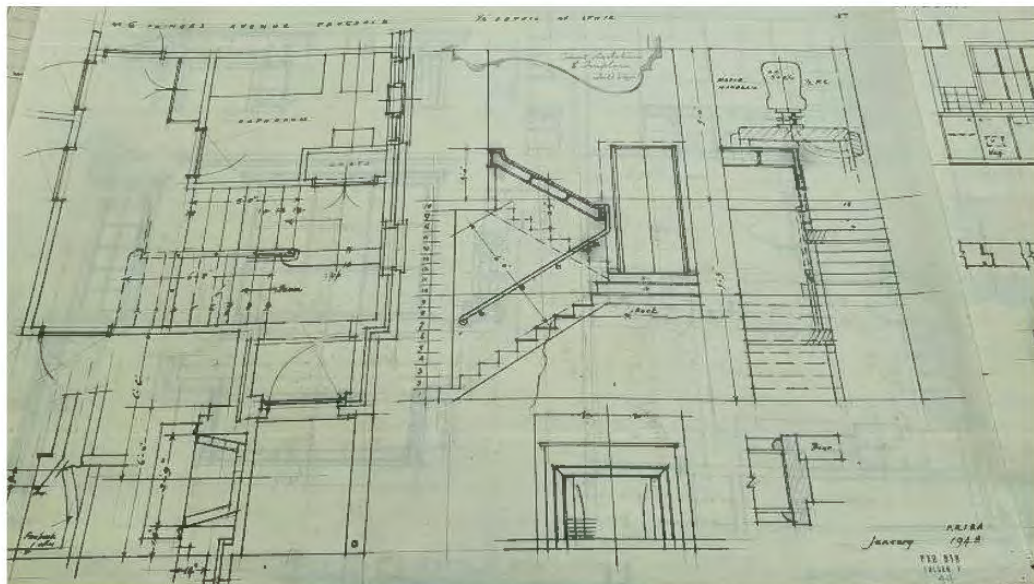


Figure 129 Drawings of interior details (Source: State Library of NSW, PXD 351, Roll No.418, f 4249)

83A Drumalbyn Road, Bellevue Hill



Originally designed by Wilkinson as a pair with 83B Drumalbyn Road, however 83B was never built (BA9/1950 and BA13/1950).

The two town houses were designed as a subdivision of 125 Victoria Road for Mrs Ryrie and Mr Godsall, a previous client.

This house was built by C J Axtell for a cost of works of £10,171.

This house is an Inter-War Mediterranean house showing the influence of Modernism, evident in its more simple detailing. This house evidences Wilkinson's interest for contemporary architectural language in the Second Post World War period.

Site inspection was not granted during the undertaking of this study.

Figure 130 Front elevation of 83A Drumalbyn Road
(Source: www.sydneysothebysrealty.com.au)

From a review of available information, this property may demonstrate creative endeavor of Wilkinson's design, subject to additional research and inspection.

Source:

State Library of NSW, PXD 351, Roll No.237, ff 2255-2280, 1 rough sketch, 3 rough sketch plans, 2 sketch plans, 1 plan, 16 drawings, 3 prints dated 1948-51, 1960, Two houses on Lot A & B, 125 Victoria Road, off Drumalbyn Road, Bellevue Hill, for Mrs Ryrie.

State Library of NSW, PXD 351, Roll No.225, ff 1820-22, 1 sketch, 1 plan, 1 drawing dated 1962, 1966 (House – Addition No.83A Drumalbyn Road, Bellevue Hill).

Falkiner, Suzanne (ed), *op.cit.*, 1951, *Mrs Ryrie, House, Drumalbyn Road, Bellevue Hill, £10,171, C J Axtell.*

Woollahra Records, BA9/1950 and BA13/1950

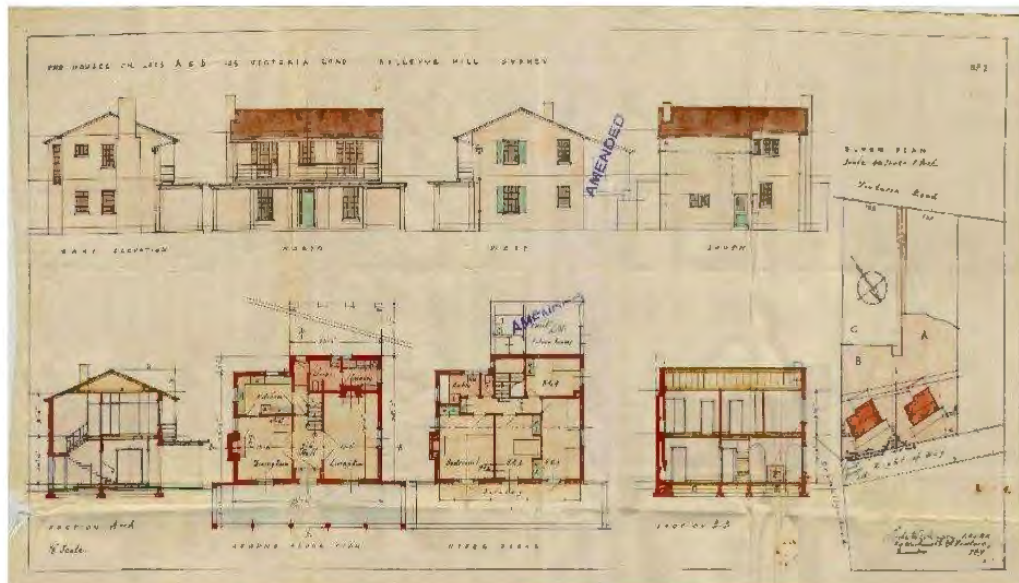


Figure 131 Plans from BA9/1950 and BA13/1950 for Mrs Ryrie

3 Olola Avenue Vaucluse



In 1950, Wilkinson designed alterations and additions for Mr J H Beaumont, built by H Foster for a cost of £6,912.

In 1952, the front garage was enlarged under the same application by H Foster for a cost of £585 (BA123/1950).

Site inspection was not granted during the undertaking of this study.

From a review of available information, this property may demonstrate creative endeavor of Wilkinson's design, however a site inspection is required to ascertain the quality of Wilkinson's design and its level of intactness.

Figure 132 Photo: Google streetview

Sources:

State Library of NSW, PXD 351, Roll. No.415, ff 42248-41, Pete Lean Surveyor; 1 rough sketch, 1 sketch, 2 plans, 2 drawings, 7 prints, 1 plan, dated 1949-50 House – Additions & alterations No.3 Olola Avenue Vaucluse for J H Beaumont.

Falkiner, Suzanne (ed.), *op.cit.*, 1951, J H Beaumont, 3 Olola Avenue, Vaucluse (Additions), £ 6,912, H. Foster.

Falkiner, Suzanne (ed.), *op.cit.*, 1952, J H Beaumont, 3 Olola Avenue Vaucluse (garage), £585, H Foster.

Woollahra Records, BA123/1950

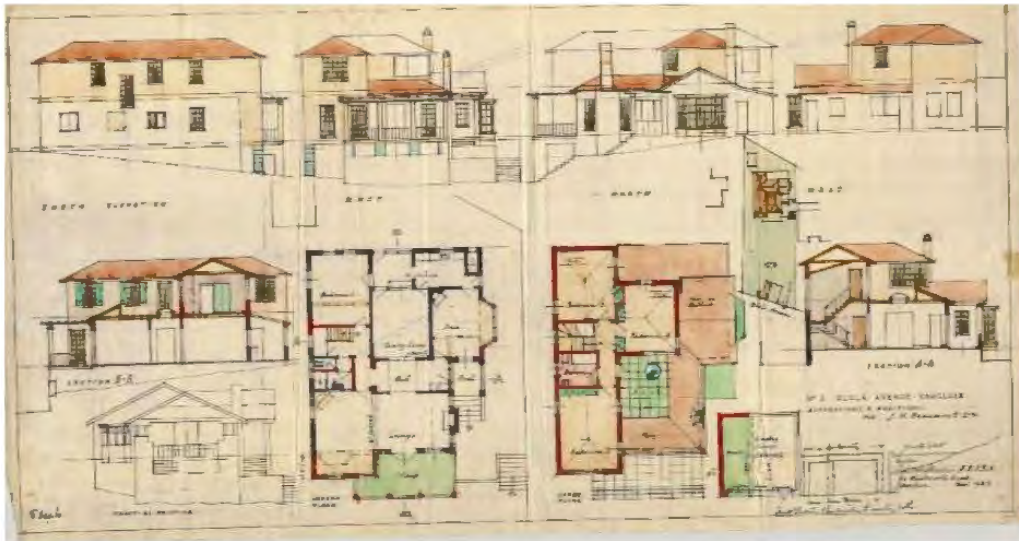


Figure 133 Plans from BA123/1950 for Mr Beaumont (Source: Woollahra Records)

56 Wallaroy Road Woollahra



Figure 134 the house from an old real estate brochure by Laing + Simmons

This is an Inter-War Mediterranean house designed by Frederic George Leslie Allen Architect in 1932 for W P Gunning on the Glencoe Estate (BA3/1932).

In 1953, Leslie Wilkinson was asked to design a second garage to the house (BA139/1953). Whilst Wilkinson's input into the design of this house is relatively minor, this is an aesthetically distinctive house showing Inter-War Mediterranean influences.

Rather informal and domestic in its siting, it is a pastel rendered house with a hipped terracotta tiled roof. The interiors are rich of restrained classical and late Federation detailing. The entrance to Wallaroy Road is emphasised through a formal gabled porch leading to a circular staircase with lancet window.

This site is considered to be a relatively intact example of an Inter-War Mediterranean house and will be investigated for heritage significance in Section 5 of this report.

Sources:

State Library of NSW, PXD 351, Roll No.452, f 4739, 1 plan dated 1953, Garage No.56 Wallaroy Road, Woollahra for D H Marsden.

Woollahra Records, BA139/1953 and BA3/1932

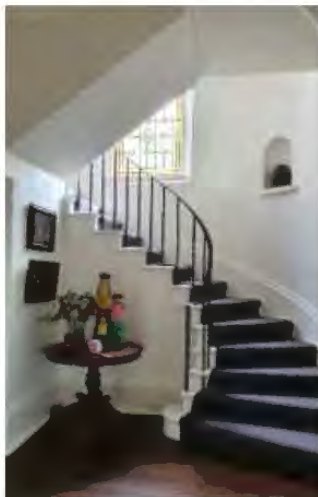


Figure 135 circular staircase with classical niche



Figure 136 Original front door with vaulted hall



Figure 137 Decorative stained glass window above the staircase



Figure 138 View of the house from the corner of Wallaroy and Glencoe Road.



Figure 139 View of the second floor addition to the rear wing (Source: www.realestate.com.au, 2011)

56 Wallaroy Road Woollahra



Figure 140 View of internal fireplace, and decorative cornices.



Figure 141 View of internal decorative cornices and stained glass windows.

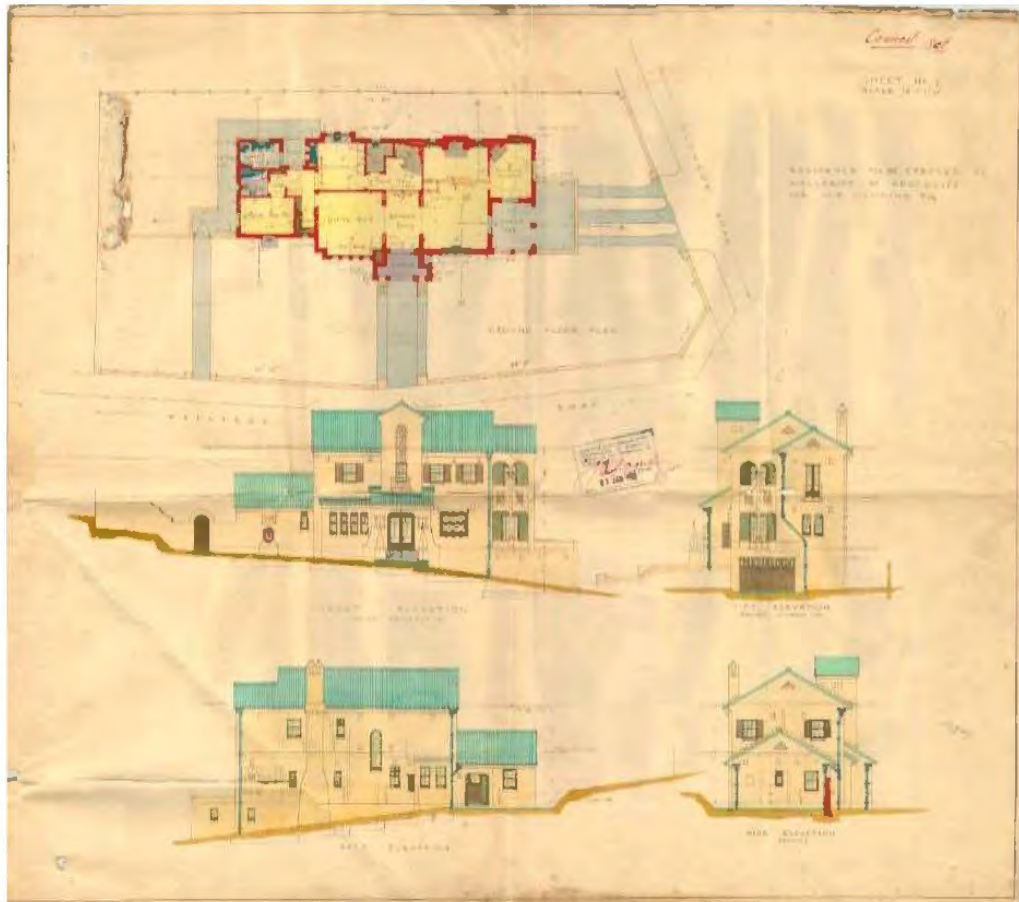


Figure 142 plans by Frederick George Leslie Allen from BA3/1932 (Source: Woollahra Records)

36 Wentworth Road Vaucluse



Figure 143 View of 26 Wentworth Road, Vaucluse
(Source: www.realestate.com.au)

Sources:

State Library of NSW, PXD 351, Roll No.429, ff 4393-6, 2 sketches, 2 drawings dated 1956, House 36 Wentworth Road, Vaucluse for C Manion.

Woollahra Records, BA166/1956

In 1956, Wilkinson was engaged to undertake alterations and additions to this existing house for C Manion.

The approved changes included a single storey wing accommodating a new kitchen, laundry and shower room to the rear of the house (BA166/1956).

From a review of available information, this property is not an exemplar of Wilkinson's design. An internal site inspection and further research is recommended should the opportunity arise in the future.

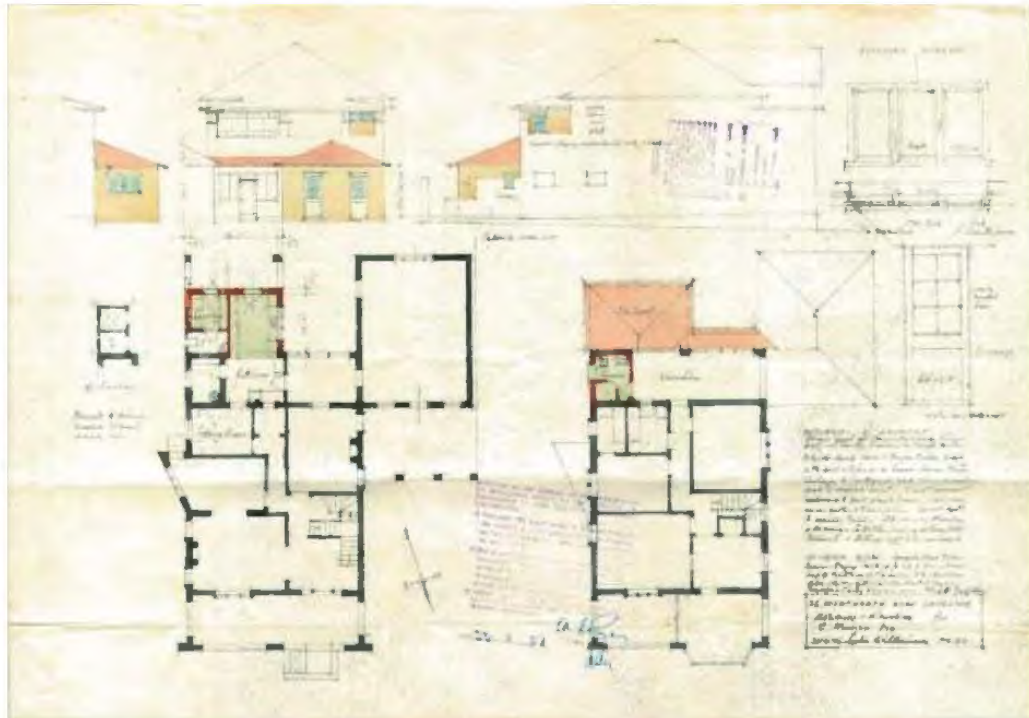


Figure 144 Plans from BA166/1956 (Woollahra Records)

26 Wentworth Road Vaucluse



Figure 145 Photo: Google streetview

In 1956 Wilkinson was engaged to undertake alterations and additions for Mr Carr (BA12/1956) to this house built to the western block of *Greenway*.

Wilkinson's alterations and additions transformed this Federation bungalow to improve its amenity and floor space. He added a new terrace and sunroom, completely remodelled the internal layout and the front verandah.

From a review of available information, this property is not an exemplar of Wilkinson's design. An internal site inspection and further research is recommended should the opportunity arise in the future.

Sources:

State Library of NSW, PXD 351, Roll No.424, f 4339 dated 1955, House No.26 Wentworth Road, Vaucluse.

Woollahra Records, BA12/1956

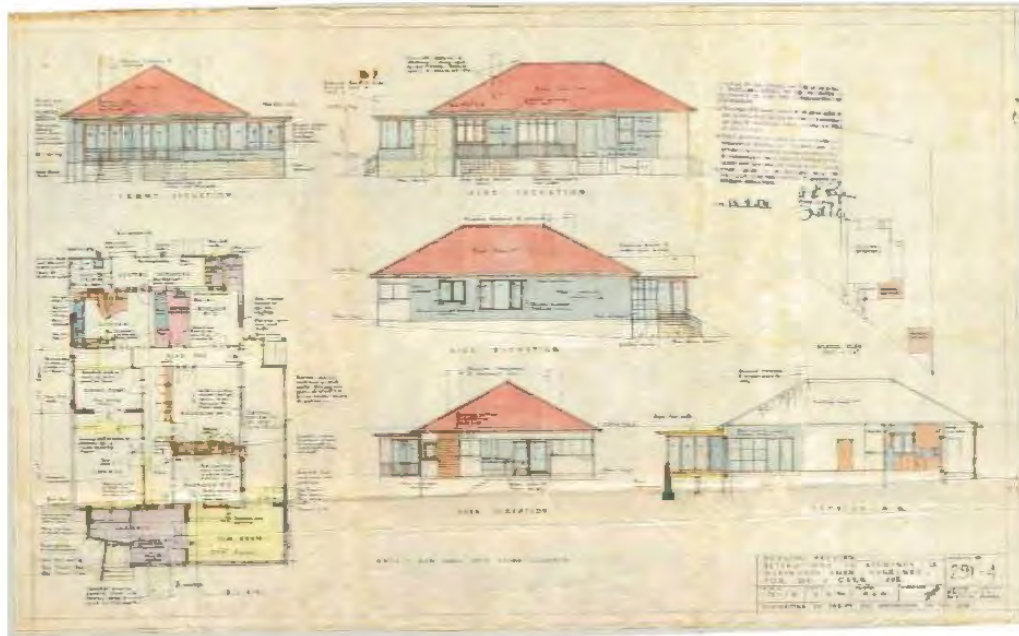


Figure 146 from BA12/1956 for Mr J Carr (Source: Woollahra Records)

24 Cranbrook Road, Bellevue Hill



Figure 147 24 Cranbrook Road, Bellevue Hill (Source: Google Maps)

In 1956 Wilkinson designed alterations and additions (new garage and a bay window) to this existing Federation house for Dr John Dowling (BA167/1956).

Wilkinson changes involved the design of a new garage, reconfiguring a bathroom and adding a new bay window.

From a review of available information, this property is not an exemplar of Wilkinson's design.

An internal site inspection and further research is recommended, should the opportunity arise in the future. However, a full heritage assessment would be required to assess the intactness of this historic house.

Sources:

State Library of NSW, PXD 351, Roll No.446 and 446A, ff 4703-6, 4706A-B, 2 sketch plans, 1 drawing, 1 print dated 1956, House – Additions and alterations 24 Cranbrook Road, Woollahra for Dr John Dowling.

Woollahra Records, BA167/1956

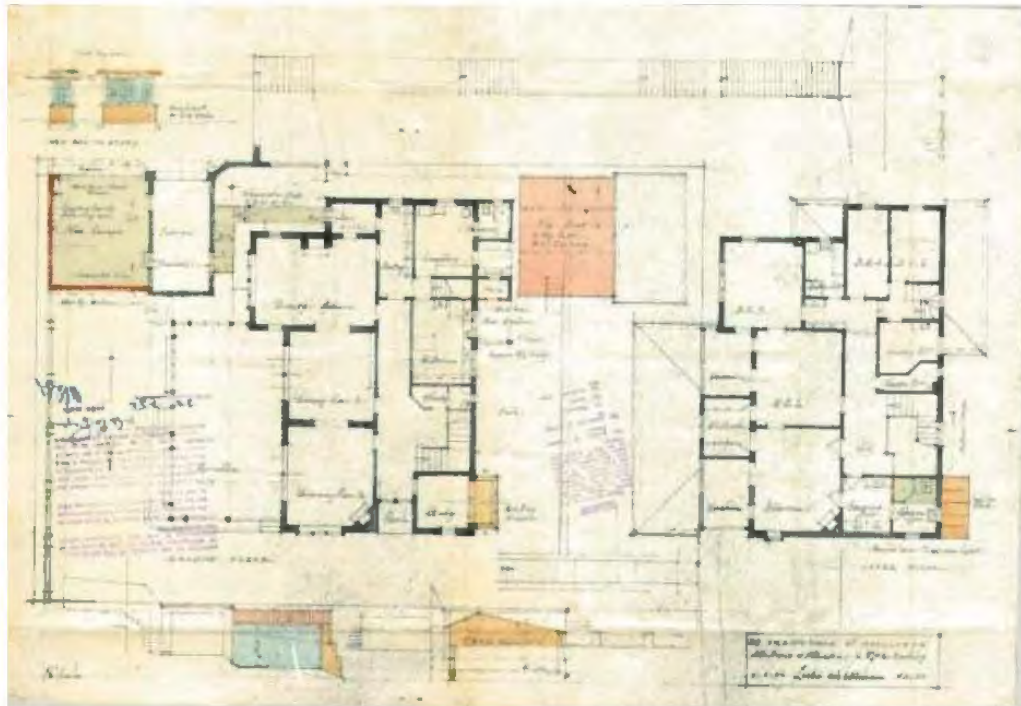


Figure 148 Plans from BA167/1956 for Dr J Dowling (Source: Woollahra Records)

2 Wunulla Road Point Piper



Wilkinson designed alterations and additions for J H Broinowski in 1961 (BA273/1961).

From a review of available information, it appears that the front elevation of this house has been irreversibly modified and substantial alterations and modifications have compromised its intactness.

This house is no longer an exemplar of Wilkinson's design and it does not meet the threshold for local heritage listing. An internal site inspection and further research is recommended should the opportunity arise in the future.

Figure 149 2 Wunulla Road (Source: Google Maps)

Sources:

State Library of NSW, PXD 351, Roll No.366, ff 3842-79, 4 rough sketches, 5 sketches, 1 sketch plan, 8 plans, 2 drawings, 16 prints dated 1961, including 2 prints in association with McMillan & Britton Consulting Civil Engineers, House – Additions & alterations No.2 Wunulla Road Point Piper for J H Broinowski.

Woollahra Records, BA167/1956

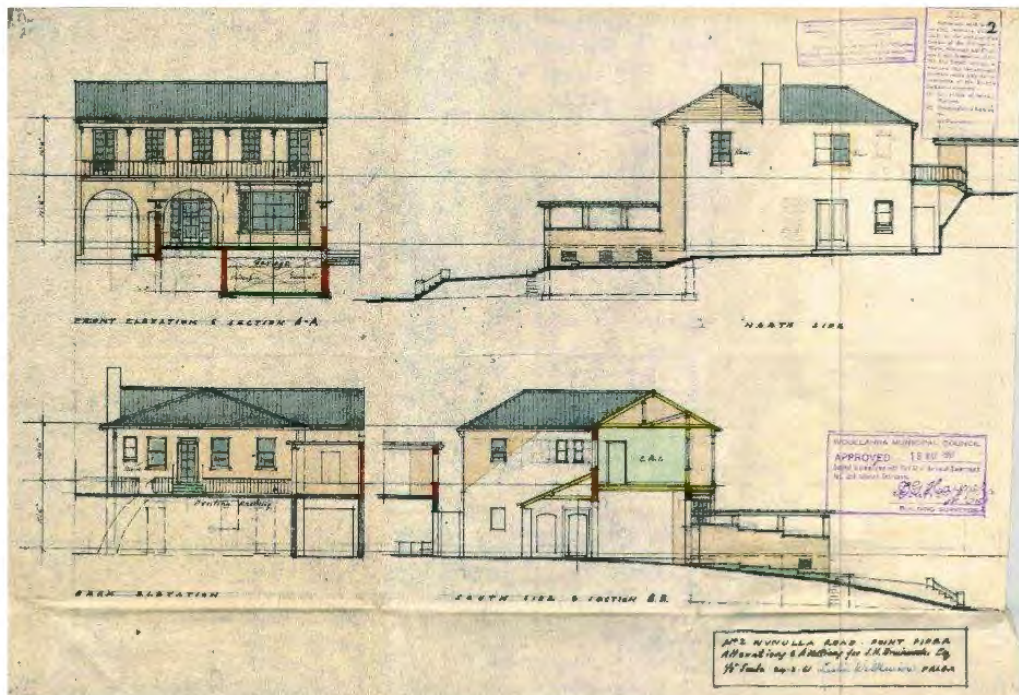


Figure 150 Plans from BA273/1961 for J H Broinowski (Source: Woollahra Records)

5 Wellington Street Woollahra



In 1964 Wilkinson designed minor alterations for C A Alexander. The alterations involved opening up of internal walls, new windows, paved court and rear carport (BA323/1964).

From a review of information, this property is not an exemplar of Wilkinson's design and, whilst the assessment confirmed its contributory assessment to the Woollahra heritage conservation area, it does not meet the threshold for individual heritage listing.

Figure 151 Front elevation of 5 Wellington Street
(Source: Google Maps)

Sources:

State Library of NSW, PXD 351, Roll No.297, ff 3035-7, dated 1964, House – Alterations No.5 Wellington Street, Edgecliff.
Woollahra Records, BA323/1964

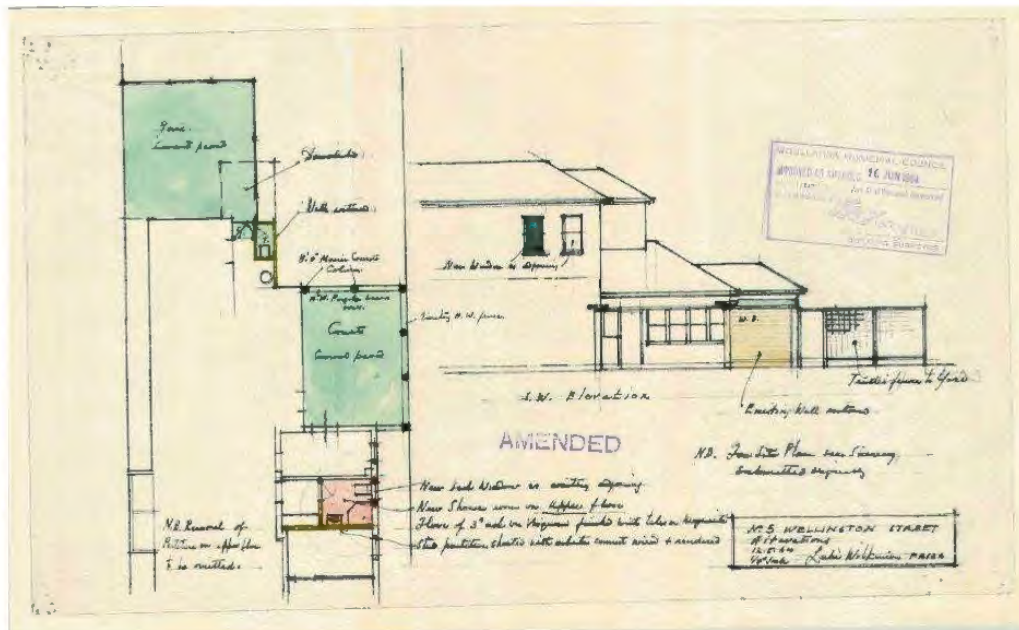


Figure 152 Plans from BA323/1964 for C A Alexander (Source: Woollahra Records)

Wilkinson, at 29 Wentworth Road, Vaucluse



In 1970, Wilkinson designed alterations and additions for Mr G M Cole. It was built by Whitfield for £29,621.

The proposal involved altering an existing bungalow with jerkin head roof by creating a new loggia and a new northern addition.

The application was initially refused on 27 April 1970, then approved in 13 July 1970 following some design change (BA342/1970).

Permission to carry out a site inspection was not granted as part of this heritage study. An internal site inspection and further research is recommended should the opportunity arise in the future.

Figure 153 Front elevation of 29 Wentworth Road, Vaucluse (Source: www.realestate.com.au)

Sources:

State Library of NSW, PXD 351, Roll No.426, ff 4343-56, 2 rough sketches, 2 plans, 8 prints, 2 prints in association with Complan Structural Designs dated 1970 for G M Cole.

Falkiner, Suzanne (ed.), *op.cit.* 1971, G M Cole, 29 Wentworth Road, Vaucluse (Adds & Alts), \$29,621, Whitfield Woollahra Records, BA342/1970

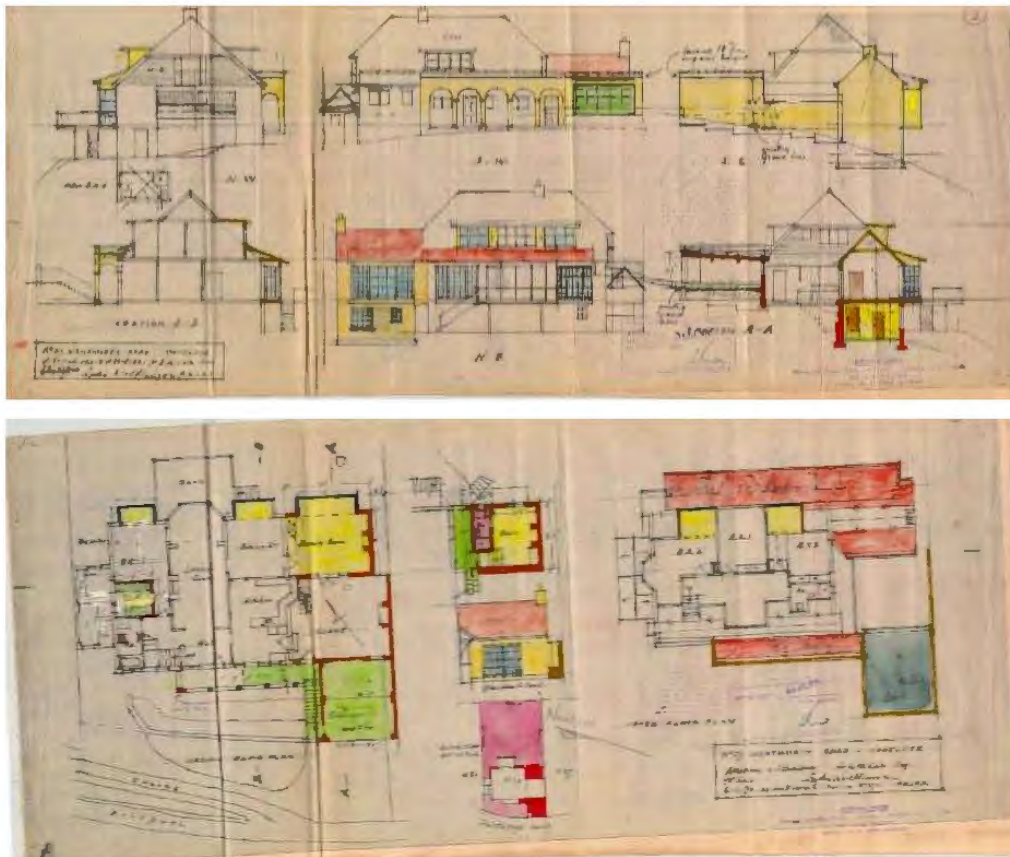


Figure 154 Plans from BA342/1970 for S M Cole (Source: Woollahra Records)

28A Wentworth Road, Vaucluse



Figure 155 28A Wentworth Road, Vaucluse

This house sits in a battle axe allotment on part of Lot11 of the 7th Vaucluse estate subdivision.

Originally designed by architect E. C. Pitt (BA(9)105/1934, former Vaucluse Council), the building underwent substantial alterations by John Crawford in association with Leslie Wilkinson in 1970 (BA1478/1970 and BA603/1971) for A. L. Mather.

Substantial alterations to this house have also been later approved, which have substantially removed all internal potentially significant fabric.

The wrought iron gates and brick posts were also designed by Wilkinson and constructed after his death (BA1273/1973).

The wrought iron gates and brick posts are considered to be relatively intact and will be investigated for heritage significance in Section 5 of this report.

Sources:

State Library of NSW, PXD 351, Roll No.425, ff 4340-2, 3 prints dated 1953, 1971 in association with John Crawford Architect, House – Additions and alterations No.28A Wentworth Road, Vaucluse for G M Cole.

Woollahra Records, BA1478/1970 and BA603/1971 and BA(9)105/1934 former Vaucluse Council



Figure 156 Neo Georgian front door reconfigured in 1970s



Figure 157 Detail of the wrought iron front gate by Wilkinson



Figure 158 Detail of the wrought iron front gate by Wilkinson



Figure 159 Detail of the wrought iron front gate by Wilkinson



Figure 160 Detail of the wrought iron front gate by Wilkinson from BA1274/1973 (Source: Woollahra Records)

28A Wentworth Road, Vaucluse



Figure 161 Wilkinson plans for swimming pool and landscape from BA1478/1970 for A L Mather (Source: Woollahra Records)

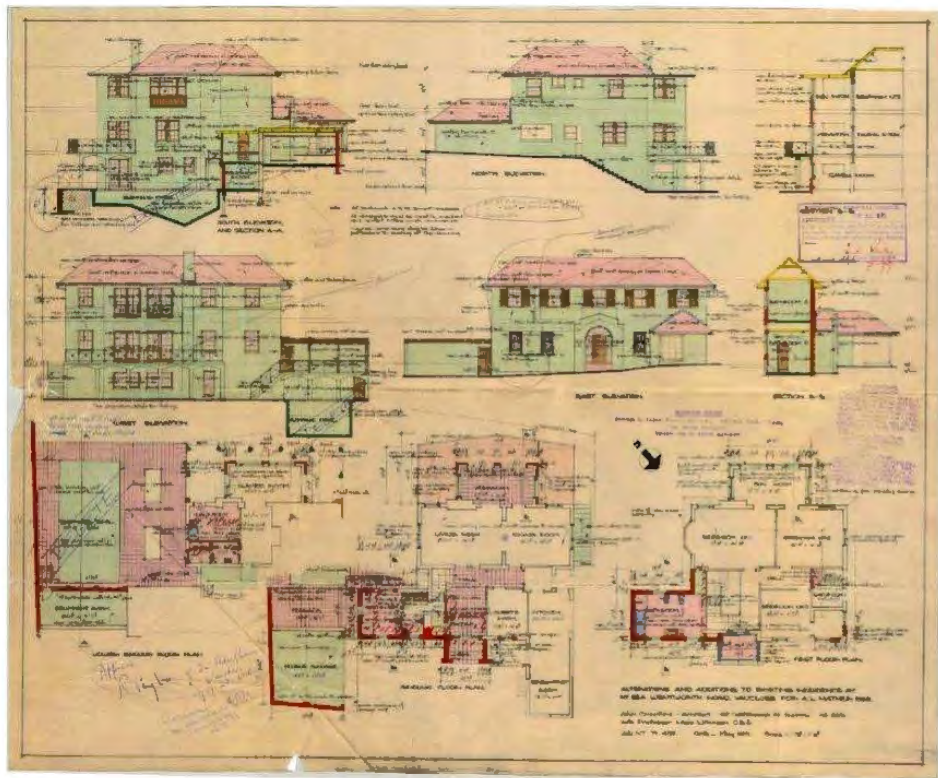
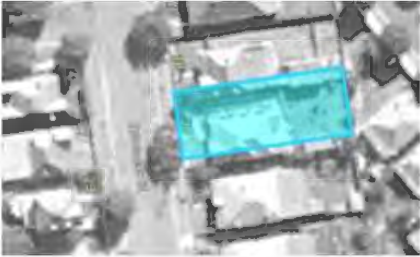







Figure 162 Plans from BA603/1971 drawn by John Crawford (Source: Woollahra Records)

3.2. Demolished or never built Wilkinson buildings

Property	Comments
<p>The Gunyah, 3 Bayview Hill Road, Rose Bay</p>  <p>Figure 163 1943 aerial, Woollahra MAPS</p>	<p>Wilkinson designed a garage at 'The Gunyah' in 1927 (possibly BA196/1927) for Prof. Dawson, builder Wilson Bros.</p> <p>Sources:</p> <p>State Library of NSW, PXD 351, Roll No.399, ff 4086-7 dated 1927, House 'The Gunyah' Garage Bayview Hill Road, Vaucluse.</p> <p>Falkiner, Suzanne (ed.), <i>op.cit.</i> 1928, <i>Prof. Dawson, Garage, Vaucluse, \$223 Wilson Bros.</i></p>
<p>327D Edgecliff Road, Edgecliff</p>  <p>Figure 164 Detail of west elevation from BA23/1934 (Source: Woollahra Records)</p>	<p>Wilkinson designed a house for Dr Lee K Brown in 1933, however this scheme was never built. A different scheme received approval on 22 January 1934 (BA23/1934).</p> <p>Sources:</p> <p>State Library of NSW, PXD 351, Roll No.293, 293A, ff 2940-53, 2953A, 1 block plan, 3 plans, 1 drawing, 9 prints, 1 coloured pencil sketch dated 1933 for Dr R K Lea Brown.</p> <p>Woollahra Records, BA23/1934.</p>
<p>123 Victoria Road, Bellevue Hill</p>  <p>Figure 165 123 Victoria Road (Source: www.realestate.com.au)</p>	<p>Wilkinson carried out alterations to the dwelling and garage in mid 1930s (BA222/1934), built by F Carswell, cost of works £555. These works were then altered by Joseland and Gilling.</p> <p>This house has been demolished via CDC24/2020.</p> <p>Source:</p> <p>State Library of NSW, PXD 351, Roll No.235, 235A, ff 2210-9, ff2219A-2219E, 2 rough sketches, 4 sketch plans, 1 plan, 5 drawings, 3 prints, dated 1934, House – Additions & Alterations No.123 Victoria Road, Bellevue Hill, for Dr John H Halliday.</p>
<p>885 New South Head Road, Rose Bay (also known as 1C Rawson Road)</p>  <p>Figure 166 1943 aerial, Woollahra MAPS</p>	<p>Wilkinson designed alterations and additions for Mrs Platt-Hepworth but it is unclear if BA272/1936 was drawn by Wilkinson. This house has been demolished or extensively remodelled.</p> <p>Source:</p> <p>State Library of NSW, PXD 351, Roll No.380, ff 3958-9, 1 drawing, 1 print dated 1936, House 885 New South Head Road, Rose Bay for Mrs Hepworth.</p>

Property	Comments
<p>30 Newcastle Street, Rose Bay</p>  <p><i>Figure 167 1943 aerial, Woollahra MAPS</i></p>	<p>In 1937, Wilkinson was engaged to undertake alterations and additions to this Federation house (BA225/1937 and BA248/1937) for D R Henry, built by Carswell for a cost of £986. The house was demolished in the late 1980s.</p> <p><u>Sources:</u></p> <p>State Library of NSW, PXD 351, Roll No.378, ff 3932-7, 3 sketch plans, 3 prints dated 1937, House – Remodelling No.30 Newcastle Street, Rose Bay for Henry.</p> <p>Falkiner, Suzanne (ed), <i>op.cit.</i>, 1937, <i>D.H.Henry, 30 Newcastle Street Rose Bay (Alterations), £986, Carswell</i></p>
<p>48 Mona Road Darling Point</p>  <p><i>Figure 168 1943 aerial, Woollahra MAPS</i></p>	<p>In 1950 Wilkinson drew plans to convert this house into two flats (BA84/1950) for Geoff Ashton. The works were executed by C J Axtell for £10,126.</p> <p>In 1951, additions and alterations were also designed by Wilkinson for Mrs Dangerfield, built by C J Axtell for a cost of £1,914. This house was later demolished.</p> <p><u>Sources:</u></p> <p>State Library of NSW, PXD 351, Roll No.276, ff2675-2720, 1 block plan, 6 rough sketches, 11 sketches, 8 sketch plans, 2 plans, 18 drawings, dated 1949-50 for a House at No.48 Mona Road, Darling Point.</p> <p>Falkiner, Suzanne (ed.), <i>op.cit.</i> 1951, <i>Mrs Dangerfield, 48 Mona Road (Additions & Alterations), £1,914, C. J. Axtell.</i></p>
<p>38 Darling Point Road Darling Point</p>  <p><i>Figure 169 1943 aerial, Woollahra MAPS</i></p>	<p>Wilkinson designed an addition to an existing garage in 1951 for Mr David Cohen, built by Kell & Rigby for a cost of £1,119 (BA18/1951). The property was later demolished and replaced by a contemporary residential complex.</p> <p><u>Sources:</u></p> <p>State Library of NSW, PXD 351, Roll No.268, ff 2626-7, 1 plan, 1 print, House – Alterations to garage No.38 Darling Point Road, Darling Point, dated 1951.</p>
<p>75 Ocean Avenue Double Bay</p> 	<p>In 1956 Wilkinson was engaged by J D Stuart to undertake alterations and additions to this property, executed by H Foster for £4,388 (possibly BA229/1955). This house was demolished through DA613/1999.</p> <p><u>Sources:</u></p> <p>State Library of NSW, PXD 351, Roll No.283, ff 2802-6, 4 drawings, 1 print dated 1955 for House – additions No.75 Ocean Avenue, Double Bay for J D Stuart.</p>

Property	Comments
<p>Figure 170 1943 aerial, Woollahra MAPS</p>	<p>Falkiner, Suzanne (ed.), <i>op.cit.</i> 1956, J. D Stuart, 75 Ocean Avenue Darling Point (Alts & Adds), £4,388, H. Foster</p>
<p>87 Ocean Avenue, Double Bay</p>  <p>Figure 171 1943 aerial, Woollahra MAPS</p>	<p>Wilkinson designed alterations and additions for Mr W Bowie Wilson in 1957 (possibly BA3/1957, BA93/1957 or BA113/1957), however this property was demolished through DA282/1999.</p> <p><u>Source:</u></p> <p>State Library of NSW, PXD 351, Roll No.284, f 2807, 1 plan dated 1957, House – additions and alterations No.87 Ocean Avenue Double Bay for W Bowie Wilson.</p>
<p>91 Ocean Avenue Double Bay</p>  <p>Figure 172 1943 aerial, Woollahra MAPS</p>	<p>This site is currently occupied by a contemporary development. Wilkinson is likely to have had input for alterations to a house for Mr John D Robertshaw (BA739/1954), which has been demolished.</p> <p><u>Source:</u></p> <p>State Library of NSW, PXD 351, Roll No. 285, ff 2808 – 2811, 1 plan, 3 prints dated 1965, House – alterations No.91 Ocean Avenue, Double Bay for John D Robertshaw.</p>
<p>18 Fisher Avenue, Vaucluse</p>  <p>Figure 173 NSW Historical Imagery, 1970</p>	<p>Wilkinson designed alterations and additions for Dudle Westgarth in 1956 (BA3/1956 and BA269/1956). He possibly also collaborated with Fowell, Mansfield & McLurcan (BA12/1955).</p> <p>This house has since been demolished.</p> <p><u>Source:</u></p> <p>State Library of NSW, PXD 351, Roll No.405, ff 4134-9, 2 sketch plans, 3 drawings, 1 print (including survey) dated 1956-7, House – Alterations 18 Fisher Avenue, Vaucluse for Dudley Westgarth.</p>
<p>Craig-y-Mor 73-75 Wolseley Road, Point Piper</p> 	<p>Craig-y-Mor was initially built in c1908 for Arthur Davies. In the 1950s the property, comprising lots 4, 5 and part of lot 3 of section 4 of the Point Piper subdivision of the Point Piper Estate was re-subdivided.</p> <p>Previously known as 75 Wolseley Road Point Piper, Wilkinson designed alterations and additions for E R Hudson in 1961 (BA750/1961), built by Woodward for a cost of £16,857. This house was demolished in 2009 (DA2009/624).</p> <p><u>Sources:</u></p> <p>State Library of NSW, PXD 351, Roll No.361, ff 3770-3819, 18 rough sketches, 3 sketches, 7 plans, 9 drawings, 12 prints, dated 1961-2, 1970, including 1 print by R McMullen Architect for E R Hudson.</p>

Property	Comments
<p>Figure 174 Craig-y-Mor (Source: Dyson Austen Survey, 2008)</p>	<p>State Library of NSW, PXD 351, Roll No.362, f 3820, 1 rough sketch, House 77 Wolseley Road Point Piper.</p> <p>Falkiner, Suzanna (ed.), <i>op.cit.</i> 1962, <i>E R Hudson, 75 Wolseley Road, Point Piper (Adds & Alts)</i>, £16,857, Woodward.</p> <p>Woollahra Records, BA750/1961, Alterations and additions for E R Hudson.</p>
<p>2 Hamilton Street, Rose Bay</p>  <p>Figure 175 1943 aerial, Woollahra MAPS</p>	<p>Wilkinson designed alterations and additions for Mrs J M Litchfield in 1962 (Possibly BA147/1962). The works were executed by Carroll for £3,987.</p> <p>This house was demolished in the 1980s.</p> <p><u>Sources:</u></p> <p>State Library of NSW, PXD 351, Roll No.377, ff 3926-31, 6 sketch plans dated 1968, House 28 Chamberlain Avenue, Rose Bay</p> <p>Falkiner, Suzanne (ed), <i>op.cit.</i> 1963, <i>J M Litchfield, 2 Hamilton Street, Rose Bay (Alts & Adds)</i>, £3,987, Carroll.</p>
<p>29 Olola Avenue, Vaucluse (lot 75)</p>  <p>Figure 176 NSW Historical Imagery, 1970</p>	<p>Wilkinson lodged BA1048/1963 for alterations and additions to this house, which was demolished in the late 1980s.</p> <p><u>Source:</u></p> <p>State Library of NSW, PXD 351, Roll No.416, ff 4242-6, 5 sketch plans dated 1963, House Lot 75 No.29 Olola Avenue Vaucluse.</p>
<p>3 Greycliffe Avenue, Vaucluse</p>  <p>Figure 177 1943 aerial, Woollahra MAPS</p>	<p>Attic additions for G L R Wilkinson, since demolished (possibly BA399/1965).</p> <p><u>Source:</u></p> <p>State Library of NSW, PXD 351, Roll No.407, ff 4143-6, 1 sketch plan, 1 plan, 2 prints, House No.3 Greycliff Avenue, Vaucluse for G L R Wilkinson.</p>

3.3. Association with Wilkinson yet to be ascertained

The following list of properties is mostly sourced from the State Library of NSW PXD 351 Index. This list was created to identify additional properties designed by Leslie Wilkinson. Only some of the following properties are identified with a street address. Accordingly, further research may lead to additional properties in the Woollahra LGA being found with associations with Leslie Wilkinson.

Property	Council Records files	Source
Victoria Road, Bellevue Hill	These plans are probably for 108 Victoria Road, Bellevue Hill. The year of the drawings (1902) is too early for Wilkinson, but they may be preparatory for a design that was never finalized.	State Library of NSW, PXD 351, Roll No.286, f 2812, 1 linen plan dated 1902 by M B Halligan for W M Allen.
Residence 'Greenoak', Addition & Alteration	Greenoak is currently at 2E Greenoaks avenue, Darling Point and is listed as a local heritage item (130). The year of the drawings (1911) are too early for Wilkinson. These plans are likely to have obtained for a potential design that was never built.	State Library of NSW, PXD 351, Roll, No.277, ff 2721-2723, 3 prints dated 1911 for Residence 'Greenoak' Addition & alteration, Darling Point for His Grace The Archbishop of Sydney.
House in Gilliver Avenue (possibly 3 Fisher Avenue)	These are plans for an existing house by Wilshire & Day. Possibly obtained to undertake a new design that was never built.	State Library of NSW, PXD 351, Roll No.406, ff 4140-2, 3 prints dated 1919 by Wilshire & Day Architects for Mrs Pearson.
Property Gilliver Avenue, Vaucluse.	This is a 1919 survey, not a new design. Possibly obtained to undertake a new design that was never built.	State Library of NSW, PXD 351, Roll No.568, ff 6035-6, 1 print 1 blueprint dated 1919 , Area plan of a property Gilliver Avenue, Vaucluse (F L Alexander survey) for Mr MacGregor.
Harwood 49 New South Head Road, Vaucluse	Wilkinson designed alterations to a house for Dr F G M Stephens in 1928, which have never been lodged with Council. BA(90)19/1929 (former Vaucluse Council) is for additions to a house for F G M Stephens by architect J A Dobson. This site is now occupied by a contemporary house.	State Library of NSW, PXD 351, Roll No.414, ff 4224-7, 2 drawings and 2 prints (by H V Vernon) dated 1928 for Dr F G N Stephens.
Kambala Girls School New South Head Road, Rose Bay	Only 1 site plan and 6 prints by Kent & Massie, possibly Wilkinson's design was never lodged.	State Library of NSW, PXD 351, Roll No.471, ff 5123-9, 1 site plan dated 1929 , Kambala Girls School New South Head Road, Rose Bay.
Rose Bay Convent	Further investigation is needed to ascertain Wilkinson's involvement with Kincoppal.	State Library of NSW, PXD 351, Roll No.474, ff 5199-5202, 1 sketch, 2 drawings, 1 print dated 1932 , Rose Bay Convent, Rose Bay.
Harlowen, 110 Hopetoun Avenue, Vaucluse	BA(9)106/1937 (former Vaucluse Council) refers to a new garage, however the Building Register does not specify an Architect and the owner is also the builder.	State Library of NSW, PXD 351, Roll No.410, ff 4173-8, 3 plans, 1 print dated 1936-7 , House 'Harlowen' 110 Hopetoun Avenue Vaucluse for R J Bennett
38 Parsley Road, Vaucluse	There are no approvals associated with Wilkinson for this house. BA(90)28/1939 is by another architect, so it possible that Wilkinson's design was never lodged with Council.	State Library of NSW, PXD 351, Roll No.417, ff 4247-8, 1 plan, 1 print dated 1937 , House 'Innesfree' Additions & Alterations for Hugh R. Gillespie.
Windermere Flats cnr of New South Head Road & Henrietta Street Edgecliff	Leslie Wilkinson prepared plans for alterations and additions to the building in 1938 but these plans were not lodged with Council.	State Library of NSW, PXD 351, Roll No.294, ff 2954-80, 1 rough sketch, 2 sketches, 13 sketch plans, 11 prints dated 1938 .
Nedpath at 2 Carthona Avenue Darling Point	Initially designed in 1923 by Samuel V Rowe (BA205/1923), it is likely that Wilkinson designed additions to this house in 1940 that were never lodged with Council. Only 1 drawing dated 1940 is at the State Library of NSW. Listed in Schedule 5 of the Woollahra LEP 2014 as no.81.	State Library of NSW, PXD 351, Roll, No.266, ff 2622, 1 drawing dated 1940 , House 'Nedpath' Carthona Avenue, Darling Point for J R McGregor, Esq.

Property	Council Records files	Source
Lot 23 Wentworth Road, Vaucluse	This is 31 Wentworth Road, Vaucluse. A house was built in 1925, however there are no BAs in the 1940s in the Building Index. Possibly never lodged.	State Library of NSW, PXD 351, Roll No.434, f 4497, 1 blueprint by Charles H Christian Architect dated 1940 , Proposed building Lot 23 Wentworth Road, Vaucluse.
Glen Rhoda at 71 Wallaroy Road Edgecliff	This is a 1860s house. Wilkinson may have designed alterations and additions for Dame Helen Blaxland around 1940. There are no BAs for Blaxland around 1940, the closest being 2 new bathrooms by Scott, Green & Scott BA38/1952 for Mr Gregory Blaxland. Wilkinson's scheme may possibly have never been lodged. Listed in Schedule 5 of the Woollahra LEP 2014 as no.635.	State Library of NSW, PXD 351, Roll No.296, ff 3032-4, 2 sketch plans, 1 print dated 1940 , House 'Glen Rhoda', No. 71 Wallaroy Road, Edgecliff.
Air Raid Shelter at 19 Cooper Street, Double Bay	Further investigation is needed to ascertain Wilkinson's involvement.	State Library of NSW, PXD 351, Roll No.538, f 5950, 1 drawing dated 1941 , Air Raid Shelter, Corner of Ocean Avenue & Cooper Street, Double Bay, 'Glamis' Flats.
Vaucluse House, Vaucluse	Further research is needed to ascertain Wilkinson's involvement with Vaucluse House.	State Library of NSW, PXD 351, Roll No.432, ff 4456-61, 6 linen plans dated 1946 , Vaucluse House, Vaucluse.
149 Darling Point Road, Darling Point	Further research is needed to ascertain Wilkinson's involvement with this house.	State Library of NSW, PXD 351, Roll. No.270, ff 2629-2630, 2 sketch plans, dated 1950 , House No.149 Darling Point Road, Darling Point
House <i>Pinocchio</i> , Point Piper	Unable to locate.	State Library of NSW, PXD 351, Roll No.368, ff 3891-2, 1 rough sketch, 1 plan, dated 1954 .
Lot 2 Elaine Estate	These plans refer to Elaine at 550-550A New South Head Road Point Piper. This design by Wilkinson was never lodged with Council.	State Library of NSW, PXD 351, Roll No.567, ff 6031-5, 5 sketch plans dated 1954 , House Lot 2 Elaine Estate for Vincent Fairfax
93 Ocean Street Woollahra	There are no applications in the Building Index from the 1950s for this property. The existing multi-residential complex was built in the 1970s. This Wilkinson's scheme was possibly never lodged.	State Library of NSW, PXD 351, Roll No.449, ff 4721-32, 8 sketches, 3 plans, 1 print dated 1955 House – 93 Ocean Street Woollahra.
10A & B Wentworth Street, Point Piper	This plan is a simple house drainage plan from the Metropolitan Water Sewerage and Drainage Board.	State Library of NSW, PXD 351, Roll No.350, f 3647, 1 print, dated 1957 , House drainage plan, 10A & 10B Wentworth Street, Point Piper, including Metropolitan Water Sewerage and Drainage Board.
House Lot 10, Dunara Estate Wentworth Street, Point Piper	Possibly Dunara House at 10 Dunara Gardens, Point Piper, which is a State listed heritage item (see Appendix A).	State Library of NSW, PXD 351, Roll No.352, ff 3650-1, 2 sketch plans dated 1957 , House Lot 10 Dunara Estate Wentworth Street, Point Piper
House (Dunara Estate) Wentworth Street, Point Piper	Unable to locate, possibly the same as above.	State Library of NSW, PXD 351, Roll No.353, f 3652, undated, House (Dunara Estate) Wentworth Street, Point Piper.
11 Quambi Place Edgecliff	There are no approvals in this timeframe for this property. This scheme was likely never lodged with Council.	State Library of NSW, PXD 351, Roll No.299, ff 3074-80, 2 rough sketches, 4 drawings, dated 1959-61 , House – Alterations 11 Quambi Place
36 Benelong Crescent, Bellevue Hill	No 1960s application has been found for this property, currently occupied by a 1984 residential development. Wilkinson's scheme was possibly never lodged with Council.	State Library of NSW, PXD 351, Roll No.224, f 1819, 1 drawing dated 1960 for Mrs W S Bennett (House – Addition to No.36 Benelong Crescent). Falkiner, Suzanne (ed.), <i>op.cit.</i> 1960, W. S. Bennet, <i>Bellevue Hill, New Bathroom, £831, Carroll.</i>

Property	Council Records files	Source
32 Wentworth Road, Vaucluse	Further research is needed to ascertain Wilkinson's involvement, however this house got demolished via CDC82/2020.	State Library of NSW, PXD 351, Roll No.427, ff 4357-9, dated 1960 House 32 Wentworth Road, Vaucluse for Mr H Boardman.
73 Wolseley Road Point Piper	Demolished, possibly never built, or number confused with No.77-79 Wolseley Road Point Piper.	State Library of NSW, PXD 351, Roll No.360, 1 sketch, f 3769 dated 1961 , House No.73 Wolseley Road, Point Piper
4 Wunulla Road, Point Piper	There are no BAs in the 1960s associated with this property, possibly this design never lodged.	State Library of NSW, PXD 351, Roll No.360, ff 3880-90, 5 rough sketches, 3 sketches, 3 plans dated 1961-4 for Mrs W Green.
Dromore, 58 Fairfax Road, Bellevue Hill	This street number no longer exists. It may be no. 56 or 60.	State Library of NSW, PXD 351, Roll No.225, f 1820-22, 1 sketch, 1 plan, 1 drawing dated 1962 , 1966.
8 Wentworth Street, Point Piper	No evidence of Wilkinson's association with this property, but possibly referring to a subdivision of the Dunara Estate. The site now contains a contemporary apartment building.	State Library of NSW, PXD 351, Roll No.351, 351A, ff 3648-9, ff 3649A-B, 1 rough sketch, 3 sketch plan dated 1962 , House No.8 Wentworth Street, Point Piper.
15 Coolong Road, Vaucluse	Unable to locate it, possibly 15B Coolong Road Vaucluse (BA675/1964 and BA676/1964).	State Library of NSW, PXD 351, Roll No.404, ff 4124-33, 5 sketches, 3 sketch plans, 1 plan, 2 drawings, 6 prints and 1 MWS&DB print dated 1962-3 , House – Remodelling as two houses No.15 Coolong Road, Vaucluse.
House, Wolseley Road, Point Piper	Unable to locate, but being 3 sketches only, it may have never been lodged or it may be part of another development in Wolseley Road.	State Library of NSW, PXD 351, Roll. No.357, ff 3700-2, 1963 House Wolseley Road, Point Piper, 3 sketch plans,
Flats & Restaurant built around the elevated tank, Vaucluse.	This design was never built.	State Library of NSW, PXD 351, Roll No.433, ff 4462-96, 3 rough sketches, 26 sketch plans, 6 prints dated 1963 , 1965-7, Flats & Restaurant built around the elevated tank, Vaucluse for the MWS & D Board.
House Wolseley Road, Point Piper	Unable to locate this house.	State Library of NSW, PXD 351, Roll No.357, ff 3700-2, 3 sketch plans House Wolseley Road Point Piper, dated 1963 .
10-12 Manning Road, Double Bay	This site is currently occupied by a contemporary block of flats. Wilkinson may have proposed a design for flats around 1965. The current development was approved through BA1181/1965 for Parramatta Hardware Store. Wilkinson's design was possibly never lodged with Council.	State Library of NSW, PXD 351, Roll No.281, ff 2756-72, 14 rough sketches, 2 sketches, 1 print (including 1 print from MWS & D Board) dated 1963-5 for a House No.12 Manning Road, Double Bay.
99 Wolseley Road, Point Piper	Heavily altered house with a contemporary addition, which was possibly approved through BA162/1963. Further investigation is required to ascertain Wilkinson's involvement.	State Library of NSW, PXD 351, Roll No.363, ff 3821-36, 3 rough sketches, 8 sketch plans, 1 plan, 2 prints, 1 print by Craig & Bhodes, 1 print David Stenner Design consultant dated 1963 , 1970-2 for Mr & Mrs R J Codner.
122 Bellevue Road, Bellevue Hill	Alterations and additions for G Ipkendanz were approved through BA738/1967, however it is unclear if Wilkinson was involved. This house has been demolished via CDC156/2019.	State Library of NSW, PXD 351, Roll. No.222, f 1801-2, 2 prints, Hugh Denison Architect dated 1967 for Mr & Mrs G E Ipkendanz; Roll No.223, ff 1803-1818, 1 contour plan, 2 rough sketches, 5 plans, 6 prints, 2 survey plans print, G R Turnidge, Jones & Pike Consulting Surveyors, Town houses 122 Bellevue Road, Bellevue Hill dated 1970-1 for Mr G Ipkendanz.
28 Chamberlain Avenue, Rose Bay	Unable to locate this BA in the Woollahra Building Register, possibly never lodged with Council.	State Library of NSW, PXD 351, Roll No.376, ff 3920-5, dated 1968
1 Adelaide Parade Woollahra	This is possibly 111 or 85 (lot 1) Adelaide Parade. Unable to locate it. BA807/1970 related to No.85 is	State Library of NSW, PXD 351, Roll No.445, ff 4693-4702, 4 rough sketches, 2 sketch design, 1

Property	Council Records files	Source
	for a different owner. Possibly never lodged. All addresses in Adelaide Parade are heritage listed. If 1 Adelaide Street, that would be in Waverley LGA.	plan, 3 prints, dated 1970 , House – Additions and alterations No.1 Adelaide Parade, Woollahra for Mrs Rylie.
15 Burrabirra Avenue, Vaucluse	Not available in the Woollahra Building Register in the 1970s, possibly never lodged.	State Library of NSW, PXD 351, Roll No.402, ff 4105-6, 1 sketch plan, 1 print dated 1971 for I B Doyle.
62 Captain Pipers Road, Vaucluse (also 12 Ray Avenue)	Unable to locate this BA in the Woollahra Building Register, possibly never lodged.	State Library of NSW, PXD 351, Roll No.403, ff 4107-23, 5 sketches, 3 sketch plans, 1 plan, 2 drawings, 6 prints dated 1972 .
39 Kambala Road, Bellevue Hill	No evidence of association with Wilkinson. In 1935 a house and garage by Spain & Cosh architects was approved through BA316/1935.	State Library of NSW, PXD 351, Roll No.566, g 6030, 1 rough sketch, undated Residence 39 Kambala Road, Bellevue Hill, for E I Haewite.
Flats at Aston Gardens, Bellevue Hill	Emil Sodersteen designed residential flat buildings at 7 and 8 Aston Gardens, Bellevue Hill. Possibly this relates to 7 Aston Gardens (BA209/1928), however further research is needed to ascertain Wilkinson's input.	State Library of NSW, PXD 351, Roll. No.221, f 1800, 1 drawing, undated, E L Sodersteen Architect for Messers K S Williams, D A Cameron & S F Utz.
76 Victoria Road, Bellevue Hill	Further information is required to verify this address and Wilkinson's address.	State Library of NSW, PXD 351, Roll. No.234, ff 2208-09, 2 prints, undated, no client.
82 Darling Point Road Darling Point	This block of flats has been developed through BA99/1950 to the design of Mack & Leary (Leonora Flats). Possibly Wilkinson's design was never lodged.	State Library of NSW, PXD 351, Roll. No.269, f 2628, 1 sketch, undated, no client, Flats No.82 Darling Point Road, Darling Point.
5 St Marks Road, Darling Point	This address appears to be incorrect. Insufficient information to locate this building.	State Library of NSW, PXD 351, Roll. No.275, ff 2673-4, 2 rough sketches, undated, House No.5 St Marks Road, Darling Point (no client noted)
'Rancliff' Flats, Albert Street Edgecliff	Unable to locate these flats. Possibly never built. In the State Library of NSW file there is a brochure advertising 62 Ocean Street, Woollahra, built by a different architect.	State Library of NSW, PXD 351, Roll No.292, ff 2921-2939, 16 rough sketches, 1 plan, 2 prints, undated.
Boyard, 116-118 Wolseley Road, Point Piper	This house was designed by Spain & Cosh in 1899. ¹	State Library of NSW, PXD 351, Roll No.364, ff 3837-3838, 2 prints, House 'Boyard' 116-118 Wolseley Road Point Piper, undated.
House, Wolseley Road, Point Piper	Possibly same address as above.	State Library of NSW, PXD 351, Roll No.365, ff 3839-41, 2 rough sketches, 1 sketch plan, undated
18 Wentworth Road, Vaucluse	Wilkinson may have designed alterations to convert this house into two dwellings. The house got demolished between 1986 and 1991.	State Library of NSW, PXD 351, Roll No.422, ff 4310-2, 1 sketch plan, 2 prints, undated, for a House – Conversion into two family house No.18 Wentworth Road, Vaucluse.
34 Bathurst Street, Woollahra	Possibly never lodged given it is only a sketch plan.	State Library of NSW, PXD 351, Roll No.569, f 6037, 1 sketch plan, undated, House No.34 Bathurst Street, Woollahra.

3.4. Preliminary recommendations

The following table summarises some preliminary recommendations arising from the review of the Wilkinson buildings in Woollahra. Items identified in **bold** are considered to be good examples of Wilkinson's work that should be investigated for potential heritage significance.

¹ Gregory Little, I, *The practice of Robertson and Marks Architects – 1892-1941, Historical Research Thesis being produced as partial requirement for the degree of Bachelor of Architecture*, 24 November 1975, p.62

It was not possible to inspect all properties, in particular due to owners' not providing permission. However, should more information become available in the future, a full heritage assessment may be undertaken informed by a site inspection.

Site	Recommendation	Summary
Greenway, 24 Wentworth Road, Vaucluse	Given its strong association with Leslie Wilkinson, and its pioneering use of design to improve internal comfort, this house should be investigated for State heritage significance based on a comparative analysis across NSW.	✓
Monument to Robert Watson at Robertson Park, Watsons Bay	Proceed to a heritage assessment against the NSW Heritage criteria.	✓
<i>Wistonville, 10 Wiston Gardens Double Bay</i>	If the opportunity arises in the future, a site inspection and a fabric analysis may provide additional information for a more detailed heritage assessment.	?
52 Kings Road, Vaucluse	If the opportunity arises in the future, a site inspection and a fabric analysis may provide additional information for a more detailed heritage assessment.	?
<i>Balviag (or Balraig), 770 New South Head Road, Rose Bay</i>	If the opportunity arises in the future, a site inspection and a fabric analysis may provide additional information for a more detailed heritage assessment.	?
Northern Grandstand at White City, 30 Alma Street Paddington	The Northern Grandstand exhibits poor condition and a poor level of intactness and integrity. As such, it does not meet the threshold for local heritage listing. It is considered a contributory item to the Paddington heritage conservation area.	✗
109 O'Sullivan Road Bellevue Hill	This property does not meet the threshold for individual heritage listing.	✗
<i>Ercildourne, Atui or Atoi at 69 Hopetoun Avenue, Vaucluse</i>	If the opportunity arises in the future, a site inspection and a fabric analysis may provide additional information for a more detailed heritage assessment.	?
Hampden Lodge, 12 Hampden Avenue, Darling Point	Proceed to a heritage assessment against the NSW Heritage criteria.	✓
82 Wentworth Road, Vaucluse	If the opportunity arises in the future, a site inspection and a fabric analysis may provide additional information for a more detailed heritage assessment.	?
<i>Tarrion, 17 Etham Avenue, Darling Point</i>	This property does not meet the threshold for individual heritage listing. It is a contributory item to the Etham Avenue heritage conservation area.	✗
<i>Torri, 45 New South Head Road, Vaucluse</i>	This property does not meet the threshold for individual heritage listing.	✗
43 Latimer Road, Bellevue Hill	Proceed to a heritage assessment against the NSW Heritage criteria.	✓
1 Wentworth Road, Vaucluse	This property does not meet the threshold for individual heritage listing.	✗
8 Magney Street, Woollahra	It does not meet the threshold for local heritage listing. It is a contributory item to the Woollahra heritage conservation area.	✗
6 Princes Avenue, Vaucluse	If the opportunity arises in the future, a site inspection and a fabric analysis may provide additional information for a more detailed heritage assessment.	?
83A Drumalbyn Road, Bellevue Hill	If the opportunity arises in the future, a site inspection and a fabric analysis may provide additional information for a more detailed heritage assessment.	?
3 Olola Avenue, Vaucluse	If the opportunity arises in the future, a site inspection and a fabric analysis may provide additional information for a more detailed heritage assessment.	?

Site	Recommendation	Summary
56 Wallaroy Road, Woollahra	Proceed to a heritage assessment against the NSW Heritage criteria.	✓
36 Wentworth Road, Vaucluse	If the opportunity arises in the future, a site inspection and a fabric analysis may provide additional information for a more detailed heritage assessment.	?
26 Wentworth Road, Vaucluse	If the opportunity arises in the future, a site inspection and a fabric analysis may provide additional information for a more detailed heritage assessment.	?
24 Cranbrook Road, Bellevue Hill	If the opportunity arises in the future, a site inspection and a fabric analysis may provide additional information for a more detailed heritage assessment.	?
2 Wunulla Road Point Piper	If the opportunity arises in the future, a site inspection and a fabric analysis may provide additional information for a more detailed heritage assessment.	?
5 Wellington Street Woollahra	This property does not meet the threshold for individual heritage listing. It is a contributory item to the Woollahra heritage conservation area.	✗
Wilkinson, at 29 Wentworth Road, Vaucluse	If the opportunity arises in the future, a site inspection and a fabric analysis may provide additional information for a more detailed heritage assessment.	?
28A Wentworth Road, Vaucluse (wrought iron gate and posts only)	Proceed to a heritage assessment against the NSW Heritage criteria.	✓

4. Comparative Analysis

4.1. Preamble

This section provides a comparative analysis of Wilkinson buildings in the Woollahra LGA.

A comparative analysis is important in understanding how a place may meet criteria (f) and (g) of the NSW Significance Assessment criteria. These two criteria relate to whether a place is significant because it is rare or significant because it is a good example of a common type of place. The two criteria are:

- Criterion (f) an item possesses uncommon, rare or endangered aspects of NSW's or of the area's cultural or natural history; and
- Criterion (g) an item is important in demonstrating the principal characteristics of a class of NSW's or of the area's cultural or natural places or cultural or natural environments.

Addressing these criteria assists in understanding the heritage values of a place in the Woollahra context and the broader context of the history of New South Wales.

In this study, comparable items have been chosen due to similarities in terms of designer (Wilkinson), style (Inter-War Mediterranean) and typology (monuments and lodges). Items have been chosen to be compared with the following items recommended for a full heritage assessment:

- 43 Latimer Road, Bellevue Hill
- 56 Wallaroy Road Woollahra
- *Greenway* at 24 Wentworth Road, Vaucluse
- *Hampden Lodge*, 12 Hampden Avenue, Darling Point
- *Monument to Robert Watson* at Robertson Park, Watsons Bay
- Wrought iron gate on brick posts at 28A Wentworth Road, Vaucluse

4.2. Inter-War Mediterranean Houses in NSW

The analysis of the style is essential to properly assess the rarity and representativeness of Inter-War houses of this study, mainly 43 Latimer Road, Bellevue Hill, *Greenway* at 24 Wentworth Road, Vaucluse and 56 Wallaroy Road, Woollahra.

Formed as an evolution of Georgian Revival style, the Mediterranean style draws on south-European classical examples of Italy and Spain. While sharing similarities with Georgian Revival style, it is less concerned with symmetry and less attached to Australian Colonial architecture. It is also less glamorous than the related Spanish Mission style, which evoked the architecture of Hollywood stars and Californian examples and was more glamorous. Featuring light-coloured rendered walls, window shutters to keep out the sun but let in the breeze, and shady arcades or loggias, the Mediterranean style was perfect for sunny coastal Sydney.





It is widely accepted that the Inter-War Mediterranean was first introduced by Leslie Wilkinson, due to its being the most suitable form of building for Sydney's temperate climate.

The following sections analyse the significance of other Inter-War Mediterranean houses of State and local heritage significance and review other Wilkinson designed houses in Woollahra and NSW.

4.2.1. Wilkinson houses outside of Woollahra

Wilkinson's domestic designs are mostly concentrated in Sydney's Eastern Suburbs, with other houses found on Sydney's North Shore or in the Southern Highlands.

A few houses designed by Leslie Wilkinson outside of the Woollahra Municipality have been investigated and listed in the following table to ascertain the rarity and representativeness of 43 Latimer Road, Bellevue Hill.

Item	Comments
<p>Bibury (or St Michael or San Michele or Shadowwood or The Hacienda), 29-31 Burradoo Road, Burradoo</p>  <p><i>Figure 178 Bibury Source: Harold Cazneaux, 1933, available through the National Library of Australia</i></p>	<p>Designed by Wilkinson in 1929 for Alexander Robert Macgregor, it was left to his widow when Mr McGregor died in September 1933.</p> <p>Mrs Macgregor had another <i>Shadowwood</i> (also designed by Wilkinson) built at 23 Links Road Bowral in 1936. This house was renamed <i>Bibury</i> in 1936 when it became the home of Miss M M Dangar.</p> <p>Built around a courtyard and accessed through a vehicular archway, this house exemplifies most of Wilkinson's architectural language. It employs typical detailing such as the pastel walls, grilled openings, timber framed multi-pane windows with shutters, pergolas and layout around a courtyard. It also includes a squared tower with grilled openings.</p> <p>This house is listed as a local heritage item "Burlington" house and garden' (1578) on the Wingecarribee LEP 2010.</p>
<p>Woodcourt, 34 Heydon Avenue, Warrawee</p>  <p><i>Figure 179 Woodcourt (Source: www.realestate.com.au)</i></p>	<p>Woodcourt was designed by Wilkinson for J Berersford Grant in 1934, built by A W Edwards for a cost of works of £2,626.</p> <p>Woodcourt has a restrained Georgian character featuring many: pastel rendered walls, grilled openings, timber framed multi-pane windows with shutters and pergolas.</p> <p>This house is listed as a local heritage item 'Dwelling house' (No. 11056) on the Ku-ring-gai LEP 2015.</p>
<p>Greyleaves, 13-15 Greyleaves Avenue, Burradoo</p>  <p><i>Figure 180 Greyleaves (Source: www.realestate.com.au)</i></p>	<p>Designed for colleague Dr Godsall in 1936, <i>Greyleaves</i> was built by S P Walsh, for a cost of works of £2,460.</p> <p>Identified as a particularly fine and intact representative Mediterranean villa, <i>Greyleaves</i> shows many of Wilkinson's typical detailing, such as: pastel walls, grilled openings, timber framed multi-pane windows with shutters, pergolas and layout around a courtyard. It also includes a squared tower with grilled openings.</p> <p>This house is listed as a local heritage item "'Greyleaves" house and garden' (1072 and 1342) on the Wingecarribee LEP 2010. It is also listed on the Australian Institute of Architects Register.</p>
<p>Rosedale, 7832 Illawarra highway, Sutton Forest</p>  <p><i>Figure 181 Rosedale (Source: Australian Institute of Architects)</i></p>	<p>Designed in 1937 for H Beresford Grant, this house was built by A Stephenson for £3,186.</p> <p><i>Rosedale</i> shows many of Wilkinson's typical detailing, such as: pastel walls, arched openings, timber framed multi-pane windows with shutters, fleches and pergolas. It also features an unusual T layout and a polygonal tower with grilled openings.</p> <p>This house is listed as a local heritage item "Rosedale" house and grounds' (No.1031) on the Wingecarribee LEP 2010.</p>


Item	Comments
Maiala, 7 Warrawee Avenue, Warrawee	
	<p>Designed in 1937 for J Beresford Grant, this house was built by J W Wilson at a cost of £5,160.</p> <p>Maiala is a major example of the domestic work of Prof. Wilkinson, demonstrating careful attention paid to aspect, climatic control and the relationship between house and garden.</p> <p>This house shows many of Wilkinson's typical detailing, such as: pastel walls, timber framed multi-pane windows with shutters, layout forming a courtyard, arched openings and pergolas.</p> <p>This house is listed as a local heritage item "Maiala", dwelling house' (No. 11075) on the Ku-ring-gai LEP 2015.</p>

Figure 182 Maiala (Source: National Library of Australia)

House, 3 Adderstone Avenue, North Sydney	
	<p>Designed by Wilkinson in 1967 for R A Swift for a cost of £38,458 and built by Bottomley, this house demonstrates the appreciation of the Inter-War Mediterranean style in the late 1960s.</p> <p>This house shows many of Wilkinson's typical detailing, such as: pastel walls, timber framed multi-pane windows with shutters, arched loggias on Tuscan columns and pergolas.</p> <p>This house is listed as a local heritage item, 'House' in the North Sydney LEP 2013 (No.10768).</p>

Figure 183 3 Adderstone Avenue, North Sydney (Source: www.realestate.com.au)





From a review of all these properties, 43 Latimer Road Bellevue appears to be **representative** of Wilkinson's Mediterranean style, evidenced by its use of typical features such as: pastel walls, timber framed multi-pane windows with shutters and loggias on columns.





4.2.2. Inter-War Mediterranean houses in Woollahra (including Wilkinson's)





Properties in the following table have been compared with 43 Latimer Road, Bellevue Hill and 56 Wallaroy Road, Woollahra for a better understanding of their rarity and representativeness in Woollahra and to ascertain if they are good examples of Inter-War Mediterranean houses in the Woollahra Municipality.





Item	Comments
Greenway, at 24 Wentworth Road, Vaucluse	
	<p>Designed by Leslie Wilkinson as his own house in 1922, <i>Greenway</i> demonstrates the Architects interest in the confluence of Mediterranean architecture with the Australian climate and the simple symmetry and well-mannered detailing of the Australian Colonial Georgian architecture.</p> <p>Wilkinson chose a site on a small plateau and wrapped the house in an L-shape to embrace the sun, the views and to shelter the north garden from cold southerly winds.</p> <p>This house re-employs some interiors from demolished buildings such as the front door, the sandstone fireplace and the timber balustrade of the staircase. <i>Greenway</i> is the first Inter-War Mediterranean house in Woollahra LGA and possibly the first in NSW.</p> <p><i>Greenway</i> is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no. 413. It is also listed on the Australian Institute of Architects Register (4700880) and the National Trust of Australia (NSW) Register (S7822).</p>

Figure 184 Greenway (source: www.realestate.com.au)

Item	Comments
<p>1 Rose Bay Avenue, Bellevue Hill</p>  <p><i>Figure 185 1 Rose Bay Avenue, Bellevue Hill viewed from the street (Source: www.realestate.com.au)</i></p>	<p>Designed in partnership with John D Moore for Captain John Laidley Dowling in 1924, Wilkinson also designed additions to this house in the 1950s.</p> <p>The building is large and simply arranged with characteristic Neo-Georgian/Mediterranean details including light rendered elevations, hipped terracotta tiled roof, white painted timber double hung windows with timber shutters and restrained classical detailing.</p> <p>The layout of the house wraps around an internal courtyard which gives it a 'U' shape, which is a reference to renaissance models to provide natural light and ventilation to the house.</p> <p>This house is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no. 51 and the National Trust of Australia (NSW) Register (S8382).</p>
<p>9 Trelawney Street, Woollahra</p>  <p><i>Figure 186 street elevation from the approved plans</i></p>	<p>A 1927 two-storey Inter-War Mediterranean style house designed by Architect Gilbert Hughes. Very little is known of this remarkable architect who became a partner of Hughes & Moloney and designed some significant private houses for prominent clients in the Eastern Suburbs.</p> <p>The symmetrical treatment of the façades shows the influence of the Inter-war Georgian Revival and Spanish Mission style with its symmetry and shuttered, multi-paned windows. An arched loggia and a projecting First Floor Tudor Revival oriel window are also visible on the drawings.</p> <p>This house is not individually heritage listed but is a contributory item to the Woollahra Heritage Conservation Area of the Woollahra LEP 2014.</p>
<p>Westray at 34 Wentworth Road Vacluse</p>  <p><i>Figure 187 Westray at 34 Wentworth Road, Vacluse (Source: Alan Stanton, 1992)</i></p>	<p>Designed by Wilkinson as alterations and additions for Colonel Moreshead, this two-storey house was built by Wilson Bros in the Mediterranean/Georgian style (BA(9)115/1927 former Vacluse Council) for a cost of works of £3,240.</p> <p>Wilkinson also designed modifications that were built in 1938 by Palmer for £600 (BA(9)356/1938 former Vacluse Council). Entry to the house, both pedestrian and vehicular is through a well into an enclosed courtyard. The main entrance on the east elevation is emphasized by a porch with entablature on columns with upper balustraded balcony. Timber framed multi-paned windows with painted shutters, the light rendered colour scheme and arched openings clearly reference the new Mediterranean influence occurring in the Eastern Suburbs.</p> <p>This house is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no. 414.</p>
<p>46 Vacluse Road, Vacluse</p>  <p><i>Figure 188 46 Vacluse Road, Vacluse</i></p>	<p>Designed by Joselend and Gilling in 1928 for H D Arnott Esq, this grand mansion was an exquisite L-shaped roof with gablet to the rear western elevation and gable ends.</p> <p>The esymmetrical front elevation was characterised by an elegant voussoir arch with coat of arms, decorative arch-headed windows and open loggia on twisted columns, multicoloured pantiles and chimney crown. Other features of the Mediterranean style are the light rendered presentation, the multi-pane timber framed windows, elegant curved staircase and internal vaulted ceiling (hall).</p> <p>This house has been demolished.</p>

Item	Comments
<p>Kamilaroy at 125 Victoria Road, Bellevue Hill</p>  <p>Figure 189 View of Kamilaroi (Source: www.realestate.com.au)</p>	<p>In 1929 Wilkinson designed alterations and additions for Dr Godsall, built by S P Walsh for a cost of works of £4,070 (BA259/1929).</p> <p>This is a single storey building with characteristic Mediterranean coloured tiled roofing, cream coloured rendered walls with timber framed sash windows and shutters. The entrance is through a colonnaded porch with semi-circular arches on tapered concrete columns.</p> <p>This house is listed in Schedule 5 of the Woollahra LEP 2014 as no.69. Also listed on the Institute of Architects Register (4700702).</p>
<p>View du Cote, 19 Gilliver Avenue, Vaucluse</p>  <p>Figure 190 View du Cote (Source: www.realestate.com.au)</p>	<p>'Vue de la Cote' is an outstanding and relatively intact extravagant example of the Interwar Mediterranean style popularised in Hollywood, with flamboyant detailing and some Moorish decorative features.</p> <p>This house is a very intact and accomplished example of Inter-War Mediterranean style of architecture, as practised by Joseland & Gilling in 1933, which became popular in the Eastern suburbs during the Inter War period. With an L-shaped plan and a circular two-storey element highlighting the junction of the two wings, this house features many Mediterranean features influenced also by Spanish Mission detailing that were becoming a fashion from Californian magazines. The north facing wing, two storey loggia, balustraded terrace, multi-pane timber framed openings, voussoir arch, multi-coloured tiles and chimney crown are all recognisable features of the style that were used by this architectural firm.</p>
<p>7 Boambillee Avenue, Vaucluse</p>  <p>Figure 191 Photo of 7 Boambillee Avenue, Vaucluse (Source: www.realestate.com.au)</p>	<p>This house is listed as a local heritage item (No.360) on the Woollahra LEP 2014.</p> <p>In 1933, Leslie Wilkinson designed this house for Professor Cyril S. Spooner, who was Dean of Civil Engineering at Sydney University and a close friend of Wilkinson who at the time was Dean of the newly created Faculty of Architecture.</p> <p>Built by S P Walsh for a cost of £1,315 (BA(90)74/1933), Wilkinson also designed a new garage the same year (BA(9)143/1933) and alterations and additions in 1946 (BA(900)4/1946). Additional alterations were also carried out for the new owner Claude Annivitti in 1960 (BA116/1960), built by Coleman & Kirk for a cost of £2,604. This house is north-oriented with flagstone-paved terrace connecting to the living areas. Wilkinson referred to this house as a 'one-and-a-half storey house' due to the steep roof raked back steeply to give full height to the bedrooms.</p>
<p>Rona Estate at 14 Ginahgulla Road, Bellevue Hill</p>  <p>Figure 192 northern elevation of Rona Estate (Source: www.realestate.com.au, 2018)</p>	<p>This house is locally listed as 'House and interiors' in Schedule 5 of the Woollahra LEP 2014 as item no.338. Also listed on the Australian Institute of Architects Register (4700874).</p> <p>This house was designed by Professor Leslie Wilkinson in 1935 (BA4/1935) for Mrs Samuel Hordern upon her arrival from Melbourne when, prompted by the father, Clive R. P. Baillieu, she wanted a house in Sydney where to start her newly-married life.</p> <p>Mrs Hordern really appreciated <i>Greenway</i> (Wilkinson's own house) and commissioned him a house with the same "feeling," thus indicating the local appreciation of Wilkinson's new Mediterranean style embraced in his own house. The house was built by A W Edwards for a cost of works of £7,692. Sir Samuel Hordern, father of the owner, had specified 'a large number of bedrooms for his expected grandchildren, plenty of lawn and garden for them to play, and room in it for a Jersey cow so that they might have a daily supply of fresh milk.</p>

Item	Comments
 <p data-bbox="327 667 715 712"><i>Figure 193 Front elevation of Rona Estate (Source: www.realestate.com.au)</i></p>	<p data-bbox="738 383 1339 517">The house is a refined example of a large house possessing well considered spatial arrangements that give sunny garden aspects to most rooms. It displays excellent details and Georgian/Mediterranean stylistic concepts that were the hallmarks of his career. It is the biggest house designed by Leslie Wilkinson and one of his favourite after Greenway, his own house.</p> <p data-bbox="738 533 1339 674">Rona Estate displays characteristic Wilkinson features including stuccoed brick walls painted in a light colour, voussoir arch, double-hung windows with dark green timber shutters, terracotta tiled hipped roof forms. A bow window in the dining room was the only client's request. Rona Estate is Wilkinson's largest house and of the best examples of his domestic architecture apart from Greenway.</p> <p data-bbox="738 689 1339 757">It is listed in Schedule 5 of the Woollahra LEP 2014 as no.34. <i>Rona Estate</i> is also listed on the Australian Institute of Architects Register (4700694) and the National Trust of Australia (NSW) Register (S8441).</p>
<p data-bbox="327 768 715 790">Rovello, 12 Ginahgulla Road Bellevue Hill</p>  <p data-bbox="327 1099 715 1144"><i>Figure 194 northern elevation of Rovello (Source: www.realestate.com.au, 2018)</i></p>	<p data-bbox="738 808 1339 875">Designed in 1936 by Wilson, Neave and Berry, this house was built to complement neighbouring and contemporaneous Rona Estate by Leslie Wilkinson.</p> <p data-bbox="738 891 1339 965">The house has an entrance courtyard with columns with a rendered walls and a tiled roof. Timber framed multi-pane windows with shutters are in common with the Mediterranean style.</p> <p data-bbox="738 981 1339 1070">With its simple forms, elegant detailing and classical restraint detailing, this is one of the best houses designed by the firm of Wilson, Neave and Berry, clearly interpreting the Georgian values of austerity, simplicity and integrity.</p> <p data-bbox="738 1086 1339 1108">This house is listed on the Woollahra LEP 2014 as no.33.</p>
<p data-bbox="327 1171 715 1193">80A Hopetoun Avenue Vaucluse</p>  <p data-bbox="327 1473 715 1518"><i>Figure 195 North elevation of 80A Hopetoun Avenue, Vaucluse</i></p>	<p data-bbox="738 1200 1339 1290">Designed by Wilkinson in 1937 for Mrs Moseley and formerly known as 88 Hopetoun Avenue, Vaucluse (BA(90)18/1937 former Vaucluse Council), this two-storey Inter-War Mediterranean house was built by Palmer for a cost of works of £3,060.</p> <p data-bbox="738 1305 1339 1424">Overlooking Parsley Bay and accessed via a battleaxe drive, the house develops around a forecourt in a 'T' shaped layout with main rooms facing north. Entry to the house is through a short flight of steps winding around the circular turret containing the main circular stair and separately roofed under a segmented 'cap' style structure.</p> <p data-bbox="738 1440 1339 1485">This house is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no.366.</p>
<p data-bbox="327 1552 715 1574">"Carmel," 24 Albert Street, Edgecliff</p>  <p data-bbox="327 1839 715 1883"><i>Figure 196 photo of Carmel (Source: www.realestate.com.au)</i></p>	<p data-bbox="738 1581 1339 1648">Designed in a restrained Inter-War Mediterranean style by prominent architects, Joseland & Gilling, in 1937, "Carmel" is a rendered two-storey mansion with blue coloured terra cotta roof tiles.</p> <p data-bbox="738 1664 1339 1821">This house is a restrained example of Inter-War Mediterranean style of architecture, as practised by Joseland & Gilling in 1933, who became popular in the Eastern suburbs during the Inter War period. Mediterranean features are its north facing balustrade terrace, loggia, multi-pane timber framed openings, entry porch with entablature on columns and wrought iron staircase balustrade that is typical of the detailing of Joseland & Gilling detailing.</p> <p data-bbox="738 1836 1339 1881">This house is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no.235.</p>

Item	Comments
<p>67 Wallaroy Road, Woollahra</p> 	<p>Heavily remodelled by Frederick Deane in 1930, this house is in a less resolved Inter-War Mediterranean style with Arts and Crafts insaritions.</p> <p>Inter-War Mediterranean elements include is the L-shaped north facing orientation with porch at the junction of the two wings and wrought iron balustrade of the terraces. Whilst being influenced by the Mediterranean style, this house still employs late Faderation detailing.</p> <p>This house is locally listed on the Woollahra LEP 2014 as item no.634.</p>
<p><i>Figure 197 67 Wallaroy Road, Woollahra</i> (Source: www.realestate.com.au)</p>	
<p>30 Wyuna Road, Point Piper</p> 	<p>Designed by prominent architects Joseland & Gilling in 1941 for Mrs Macral on a very steep block of land, this house is a restrained late iteration of the Inter-War Mediterranean style.</p> <p>Elements of the Mediterranean style noted in this house are the use of multi-pane timber framed windows, elegant central curved staircase and the use of wrought iron detailing. The loss of excessive ornamentation typical of earlier designs is a progression of the firm towards Modernism.</p> <p>30 Wyuna Road is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no.685.</p>
<p><i>Figure 198 30 Wyuna Road, Point Piper</i></p>	
<p>1 Fisher Avenue Vaucluse</p> 	<p>Designed by prominent architects Joseland & Gilling in 1937 for Mrs Macral on a very steep block of land, this house is a rendered two-storey mansion with blue-coloured terra cotta roof tiles</p> <p>Elements of the Mediterranean style noted in this house are the use of multi-pane timber framed windows, elegant central curved staircase and the use of wrought iron detailing. The loss of excessive ornamentation typical of earlier designs is a progression of the firm towards Modernism.</p> <p>1 Fisher Avenue, Vauclusa is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no.345.</p>
<p><i>Figure 199 front elevation of 1 Fisher Avenue</i> (Source: www.realestate.com.au)</p>	
<p>5 Quambi Place, Edgecliff</p> 	<p>This two storey rendered house was designed for Tom Reynolds in 1959, built by Girvan Bros for a cost of £13,792 (BA87/1959). Wilkinson also designed alterations and additions in 1964, built by Girvan Bros for £8,800 (BA648/1964). This is a two-storey rendered house framed by eucalypts in a cul-de-sac, incorporating a garage in its front elevation.</p> <p>It is a representative example of Wilkinson's Inter-War Mediterranean style with segmental arches, grilled windows, rendered walls and multi-pane timber framed double hung windows with shutters. The drawing room to the ground floor is extended by a bay window with Juliet balcony above. The significance of this house also lies in the Mediterranean approach being repeated up until the early 1960, which is testimony of his clients appreciation of the Wilkinson design.</p>
<p><i>Figure 200 front elevation of 5 Quambi Place, Edgecliff</i></p>	<p>This house is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no.242.</p>

Item	Comments
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21 Wentworth Street, Point Piper



Figure 201 Aerial view of 21 Wentworth Street, Point Piper (Source www.realestate.com.au)

Designed for Mr McGregor and built by Bryant for £24,844 (BA880/1963), this house is Wilkinson's second last house design. In 1969-70, the house changed ownership and Wilkinson designed some additions for Dr Philip Rundale.

This is a two storey rough cast stucco brick building with a terracotta tiled roof, six paned double hung sash windows with shutters, laid in a U-shape around a courtyard. Simple detailing, typical of Wilkinson's style, Georgian Revival appearance with a small lantern on the roof. The significance of this house also lies in the Mediterranean approach being repeated up until the early 1960, which is testimony of his clients appreciation of the Wilkinson design.

This house is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no.287 and the National Trust of Australia (NSW) Register (S8379).

20 The Crescent, Vaucluse



Figure 202 20 The Crescent, Vaucluse from the street

Designed for Mr Coote in 1969 and built by Bottomley and Son, this is the last complete house designed by Wilkinson before his death (BA413/1969) for a cost of £80,000.

The client grew up in Bellevue Hill near Rona Estate and, after buying some land in Vaucluse, he commissioned a house that would remind him of Rona Estate, inspired by Wilkinson's house *Greenway*. Designed by Wilkinson with an "L" shaped form and a characteristic 'top knot' or fleche crowning the junction of the two wings, it includes typical Inter-War Mediterranean detailing such as loggias, bagged concrete painted cream walls and gabled roof. This house is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no.394.





With their domestic simplicity and Neo-Georgian approaches, both 43 Latimer Road and 56 Wallaroy Road distance themselves from the flamboyant Hollywood and Moorish approach popular with Joseland & Gilling to be more closely related to the work of Leslie Wilkinson and William Hardy Wilson.





Through their use of light rendered elevations, simple geometric forms deriving from the Georgian Colonial influence, restrained classical motifs and overall simplicity, these houses show to have been influenced by *Greenway*, Wilkinson's 1922 Mediterranean house in the Woollahra municipality.

From a review of other Inter-War Mediterranean houses in Woollahra, both 56 Wallaroy Road, Woollahra and 43 Latimer Road, Bellevue Hill appear to be **representative** of the Inter-War Mediterranean style at the local level.

4.2.3.State listed Inter-War Mediterranean houses in NSW

The following properties are other comparable Inter-War Mediterranean houses in NSW of State significance that are here analysed to verify the rarity and representativeness of *Greenway*.

Item	Comments
<p>Purulia, 156 Fox Valley Road, Wahroonga</p>  <p>Figure 203 Purulia's front elevation (Source: www.realestate.com.au)</p>	<p>Considered William Hardy Wilson's best work, Purulia was built in 1912-13 and its Neo-Georgian style influenced by Colonial taste has been defined of simple honesty, simplicity, sincerity and integrity. These values, while not openly Mediterranean, anticipate Wilkinson's Mediterranean style.</p> <p>Purulia is a rectangular cottage covered by an unbroken hipped roof of shingle tiles, with multi-pane timber framed double hung windows and green timber shutters.</p> <p>Purulia is listed on the SHR under the <i>Heritage Act, 1977</i> (00184) and listed as "Purulia, dwelling house", State heritage item on the Ku-ring-gai LEP 2015 (item no.1912). It is also listed on the National Trust of Australia (NSW) Heritage Register, the Australian Institute of Architects Register and the Register of the National Estate.</p>
<p>Eryldene, 17 McIntosh Street Gordon</p>  <p>Figure 204 Eryldene's front elevation (Source: Eryldene Trust)</p>	<p>Designed by Architect William Hardy Wilson in 1912-13, Eryldene is of outstanding cultural significance being the most intact surviving example of the work of William Hardy Wilson, the prominent early twentieth century Australian architect, artist, writer and advocate of the Colonial Revival style.</p> <p>There is an intimate correlation between the residence, its complementary outbuildings and garden setting, reflective of the close similarity of interests of both architect and client, Professor E G Waterhouse.</p> <p>Eryldene is listed on the SHR under the <i>Heritage Act, 1977</i> (00019). It is also listed as "Eryldene", dwelling house', State heritage item on the Ku-ring-gai LEP 2015 (item no.18).</p>
<p>Fenton, 8 Albert Street, Edgecliff</p>  <p>Figure 205 Fenton's front elevation and garden (Source: www.realestate.com.au)</p>  <p>Figure 206 Fenton's north facing elevation and loggia (Source: www.realestate.com.au)</p>	<p>Designed by one of the Australia's most eminent architects, Robin Dods, in 1918-9 as his own house, Fenton is of State significance for its historical association, but also its distinctive aesthetic qualities. Fenton is a well considered and accomplished fusion of English "Arts and Crafts" ideals, Colonial, Georgian and Mediterranean forms with restrained classical details.</p> <p>Located on a battle-axe allotment, it presents as a single storey symmetrical house of white rendered walls with sandstone plinth and dressings, green shutters and steep roof of flat terracotta shingle tiles. The ceiling of the hall is a single arched plastered vault, the front door is a Georgian door with fanlight and sidelights set in a restrained front porch on Tuscan columns. An arched loggia is on the rear north facing elevation towards the view.</p> <p>Fenton is listed on the SHR under the <i>Heritage Act, 1977</i> (00249) and listed as "Fenton"—house and interiors, gardens, gateposts, gates', State heritage item on the Woollahra LEP 2014 (item no.232).</p> <p>It is also listed on the National Trust of Australia (NSW) Heritage Register, the Australian Institute of Architects Register and the Register of the National Estate.</p>

Item	Comments
<p>Boomerang, 42 Billyard Avenue, Elizabeth Bay</p>	<p>Boomerang is an opulent Spanish Mission mansion of three levels designed by Neville Hampson in 1923-6. This is an exotic 1926 residence exemplifying Hollywood-derived taste for the Spanish Mission style in a pastiche of palms, splashing fountains and 'Spanish' architectural details such as perforated screens, rough stucco, colonnades, grilles, loggias, barley twist columns and wrought iron work.</p> <p>Boomerang is listed on the SHR under the <i>Heritage Act, 1977</i> (00038) and listed as 'House "Boomerang" including interior and garden', State heritage item on the Sydney LEP 2012 (item no.1575). It is also listed on the National Trust of Australia (NSW) Heritage Register, the Australian Institute of Architects Register and the Register of the National Estate.</p>
	
<p>Figure 207 Boomerang (Source: www.realestate.com.au)</p>	
<p>Nutcote, 5 Wallaringa Avenue, Neutral Bay</p>	<p>Built in 1924 for May Gibbs, Australia's first woman cartoonist, painter, naturalist and children's author and illustrator, Nutcote, was designed in the Mediterranean style by the well known Sydney architect B J Waterhouse.</p> <p>The house is a single storey rectangular dwelling roughly rendered and painted with a terracotta colour pantile roof and painted chimneys. A balcony edged with an arched portico and wrought iron railings opens onto the water frontage. Louvered timber shutters grace the sides of the timber, double hung sash windows. The front door is set back in a plain pillared entrance portico.</p>
	
<p>Figure 208 Boomerang (Source: www.athomeinnorthsydney.com.au)</p>	<p>Nutcote is listed on the SHR under the <i>Heritage Act, 1977</i> (00505) and listed as a State heritage item 'Nutcote' on the North Sydney LEP 2013 (1073).</p>
<p>Parkinson, 6 Wiston Gardens Double Bay</p>	<p>Built on a very steep terraced allotment in a lush semi-tropical garden, with its L-shaped forming a small courtyard to the rear, this house is of State significance as part of a group of houses that are representative of the distinct style of architecture by the prominent Sydney architect, Professor Leslie Wilkinson.</p>
	
<p>Figure 209 Photo from the AIA Register card (Institute of Architects, NSW Chapter)</p>	<p>Designed in 1932 for Dr Parkinson and built by F P Carswell for a cost of works of £2,586, this house has maintained a sound domestic design integrity and is a relatively intact example of Wilkinson's domestic architecture and garden design. The asymmetry of this house is a contrast to the more symmetrical approach of Greenway, but this reflects the difficult topography of the house and north facing orientation of the courtyard.</p>
<p>Sweetapple, 5A Wiston Gardens, Double Bay</p>	<p>No. 5A Wiston Gardens was completed by 1936 for Dr H Sweetapple, to complement the design of No. 6 Wiston Gardens. It was built by H Mott for a cost of works of £2,792.</p> <p>Built on a very steep terraced allotment in a lush semi-tropical garden, with its L-shaped forming a small courtyard to the rear, this house is of State significance as part of a group of houses that are representative of the distinct style of architecture by the prominent Sydney architect, Professor Leslie Wilkinson.</p>
	
<p>Figure 210 Main elevation of Sweetapple (www.luigirosselli.com)</p>	<p>The site appears to have some remains of the general landforms of the former vineyard from the 1830s. The existing garden terraces and their stone retaining walls are significant landscape features of the setting of the heritage item, as part of the 1932 Wilkinson design reflecting the earlier vineyard terraces.</p>

Item	Comments
 <p data-bbox="327 633 678 680">Figure 211 Sweetapple aerial view (Source www.realestate.com.au)</p>	<p data-bbox="742 376 1337 515">5A Wiston Gardens exploited its steep slope and northerly aspect from its side elevation as captured in the sun-drenched photograph in the 3 January 1938 issue of The Home magazine. The silhouette of the house was deliberately broken into different planes and the mixture of gable and skillion roofs are of different angles, accentuating the broken-up massing and 'vernacular' appearance of the house.</p> <p data-bbox="742 526 1337 600">This house is listed on the SHR under the <i>Heritage Act, 1977</i> (00209) and listed as 'House and interiors, grounds, gardens' at 4 Wiston Gardens, State heritage item on the Woollahra LEP 2014 (item no. 230).</p> <p data-bbox="742 611 1337 680">It is also listed on the National Trust of Australia (NSW) Heritage Register, the Australian Institute of Architects Register and the Register of the National Estate.</p>

Whilst influenced by Colonial Revival and Georgian influences, both *Purulia* and *Eryldene* were not designed to take into consideration internal comfort derived from orientation and ventilation as much as *Greenway*. *Purulia*, *Fenton* and *Eryldene* demonstrate a classical influence, clearly referencing early Colonial Australian houses which were greatly admired by both William Hardy Wilson and Robin Dods.

There is really no comparison between *Boomerang* and *Greenway* because of the extravagant opulence of *Boomerang* and its references to Californian imported Spanish Mission style rather than Mediterranean style.

All houses above share a restrained classicist palette, which makes *Greenway* a representative example of Inter-War Mediterranean house. None of the houses above show an interest in orientation and ventilation in such a resolved and focused way as *Greenway*. *Greenway* is a house that defines the site it is located on rather than sitting on the site, with its layout being dictated from the pre-existing native *angophora costata* trees that inspired Wilkinson.

There are no earlier Inter-War Mediterranean houses listed on the SHR and no unlisted ones could be found in NSW. *Greenway* is probably the first Inter-War Mediterranean house in NSW directly referencing Southern Europe Classicism rather than Australian Colonial and Californian examples.

Based on the above comparative analysis of Inter-War houses, *Greenway* is considered to be of State significance under the **rarity** and **representative** criteria for the following reasons:





- It is possibly the earliest and most representative Inter-War Mediterranean house in NSW, dating from 1922 and employing a restrained classicism rather than Australian Colonial and Californian examples;
- It is one of the earliest houses designed by Wilkinson with a conscious aim to orient it and ventilate it in such a way to maximise internal comfort; and
- It is one of the earliest houses designed to be built around the existing vegetation and not the other way around.

Greenway is also considered to be of State significance for its **historical association** with one of the most prominent Australian Architects of the Inter-War period, which equals this house to other prominent Australian architects houses such as *Purulia* and *Fenton*.

4.3. Other comparable typologies in Woollahra

4.3.1. Lodges and small cottages




The following table has been used to compare Hampden Lodge at 12 Hampden Avenue, Darling Point by researching other lodges or small cottages in the Municipality and in Sydney designed by Leslie Wilkinson.

Item	Comments
<p>The Haven, 1A McBride Avenue, Hunters Hill</p>  <p><i>Figure 212 The Haven (Source: Hunters Hill Trust)</i></p>	<p>Alterations and additions to this house occurred in 1929, built by Molineaux for a cost of works of £1,166.</p> <p>Alterations undertaken by Wilkinson were respectful of the original character of this house that was sympathetically renovated for his colleague Professor Robert Strachan Wallace, Vice Chancellor at Sydney University.</p> <p>This sympathetic approach to the existing, similar to Bishopscourt, University of Sydney Quadrangle or St Michael's Church is also similar to Hampden Lodge's renovations for Ms Nesbit.</p> <p>This house is listed as a local item "House, 'Gatehouse Cottage,'" no. I201 on the Hunters Hill LEP 2012.</p>
<p>21 Gladswood Gardens, Double Bay</p>  <p><i>Figure 213 The Haven (Source: www.realestate.com.au)</i></p>	<p>This is a part two storey sandstone house formerly used as Stables for 1865 Gladswood House mansion (formerly known as Glenyarrah). It was subdivided from Gladswood around 1927 when the Gladswood Gardens estate was formed and redeveloped.</p> <p>Wilkinson undertook minor alterations to adapt this building into a house, with a sympathetic approach similar to Hampden Lodge aiming to retain the building's rustic presentation.</p> <p>This house is listed as a local item "House and interiors, stone works" no. 204 of the Woollahra LEP 2014.</p>
<p>Gatekeeper's Lodge at Parramatta Road entrance, University of Sydney</p>  <p><i>Figure 214 Former Veterinary Sciences Lodge (Source: Google Streetview)</i></p>	<p>This little lodge was purposely built as an ancillary building to provide accommodation for a caretaker of the Veterinary Faculty, hence its former name Veterinary Sciences Lodge.</p> <p>It was designed by Wilkinson in 1920-21 and built by Taylor for a cost of £1,580. Inside and out, Wilkinson's identifiable use of Georgian style six-paned sash windows with timber shutters, six-panelled timber doors and cream painted stucco are clearly evident. Other rare aspects of this cottage are its unusually steep roof and the angled buttresses along the northern elevation. Overall this little cottage is representative of a domestic ancillary building to the Veterinary faculty for the University of Sydney.</p>
<p>Baxter's Lodge, University Avenue, University of Sydney</p>  <p><i>Figure 215 Baxter's Lodge (Source: Google Streetview)</i></p>	<p>Originally known as the Yeoman Bedell's Lodge, the Baxter's Lodge was designed by Leslie Wilkinson in the Gothic Revival style, with the picturesque insertion of a verandah and a bay window facing Parramatta Road.</p> <p>It was built in 1940 by builder Roseweare for a cost of works of £2,790.</p> <p>Wilkinson may have reused some of the building fabric from the demolished Messenger's Lodge, once standing near the City Road entrance of the University. This 1885 lodge was demolished in 1939, just before Baxter's Lodge was being built.</p>

From a review of other small cottages and lodges designed by Leslie Wilkinson, Hampden Lodge at 12 Hampden Avenue, Darling Point is **representative** of small lodges designed by Wilkinson throughout Sydney deriving from either the readaptation of earlier structures or the construction of new lodges ancillary to bigger mansions or precincts.

4.3.2. Monuments in Woollahra

The following table illustrates local monuments to be compared with the Thomas Watson Monument in Robertson Park.

Item	Comments
<p>Milestone Obelisk at Robertson Park</p> 	<p>Possibly erected in 1811, this obelisk records the completion of the Old South Head Road built by "21 soldiers of his majesty, 73 regiment."</p> <p>One of the few remaining structures from that time, this monument provides evidence of Governor's Macquarie's activities as a road builder. Professor Leslie Wilkinson proposed a design to elevate the obelisk, however this project did not get ahead - see Figure 305.</p> <p>This monument is listed as a local heritage item on the Woollahra LEP 2014 (item no. 459)</p>
<p>Landing of Governor Phillips, Camp Cove</p> 	<p>This monument was erected in 1927 at Camp Cove by Vacluse Council at the request of the Royal Australian Historical Society to commemorate the beach as the first landing place of Governor Phillip in Port Jackson.</p> <p>This monument is comparable to the Thomas Watson monument for its commemorative role and use of material (sandston) but it however shows a more restrained palette and a more rustic manufacture.</p> <p>This monument is not listed on a statutory heritage register.</p>
<p>Monument to Lieutenant G. J. Grieve in Gap Park, Watsons Bay</p> 	<p>Erected in 1902 initially as a water fountain, this monument is dedicated to Lieutenant G J Grieve who fell fighting the Battle of Baardeberg in South Africa in 1900.</p> <p>This monument is on four sandstone pillars supported by a cupola. Badly damaged by a vehicle incident in 1989, its top part had to be fully rebuilt.</p> <p>This monument has a more elaborate design than the Robert Watson's Monument, however it is commemorating a war memorial event instead of a local historic personality.</p> <p>This monument is locally listed as a local item on the Woollahra LEP 2014 (item no.438).</p>

Item	Comments
<p>War Memorial at Lyne Park, Rose Bay</p> 	<p>The Rose Bay War Memorial was built in 1935 to commemorate those who have served in conflicts in which Australia has been involved. It was originally erected in memory of those who died in service or were killed in action during World War One.</p> <p>This is another Art Deco monument that is far more detailed and grand than the Robert Watson's memorial. It commemorates a war memorial event instead of a local historic personality.</p> <p>This monument is locally listed as a local item on the Woollahra LEP 2014 (item no.329)</p>
<p><i>Figure 219 War Memorial in Lyne Park (Source: Monument Australia)</i></p>	
<p>War Memorial at Fitzwilliam Road, junction with Wentworth Road, Vaucluse</p> 	<p>This is a simple flagpole commemorating those who served in World War One. It was built in 1918 thanks to the initiative of the Vaucluse Progress Association formed in May 1915.</p> <p>The monument marked the entrance to 'Memory Drive', a planned avenue of trees which the Association anticipated would become "an eternal reminder of our debt to our gallant men, keeping their memory green and their sacrifices in honoured remembrance" (The Vauclisian, 1919). Unfortunately this avenue was never made.</p> <p>This memorial is locally listed as a local item on the Woollahra LEP 2014 (item no.349).</p>
<p><i>Figure 220 War Memorial at Fitzwilliam Road, Vaucluse (Source: War Memorial Register NSW)</i></p>	
<p>War Memorial at Steyne Park, Double Bay</p> 	<p>A 1919 War memorial commemorating men and women of the district who served in World War One. It was designed and executed by William Priestly Macintosh and is composed of a pedestal with golden lettering and a bronze statue.</p> <p>This monument is not listed on a statutory heritage register.</p>

Figure 221 War Memorial at Steyne Park

From a review of monuments in Woollahra, the Monument to Robert Watson, associated with a historic event, appears to have **representative** value at local level.

Due to its reference to an historic event rather than a war commemoration, and its Art Deco style, this monument is **rare** at local level. It is also possibly the only monument designed by Professor Leslie Wilkinson in Woollahra.

4.3.3.Wrought iron designs for Inter-War houses

Many Inter-War houses share these exquisite and distinctive wrought ironwork that were used for security and adornment.

The following analysis is useful to assess the rarity and representativeness of the wrought iron gate at 28A Wentworth Road, Vaucluse.

A set of wrought iron gates for an estate in Russia



Figure 222 Wilkinson drawing from a University of Sydney Facebook post

Not much is known of this exquisitely drawn gate, which Wilkinson may have captured during one of his travels.

Beautifully elaborated, with floreal patterns and coat of arms to its apex, there is no date for this drawing. However, it provides evidence of Wilkinson's interest in this decorative arts.

It is also likely that this gate may have been used as an inspiration for later patterns of wrought iron gates and grilles used in his buildings.

Rona Estate, 14 Ginahgulla Road, Bellevue Hill



Figure 224 Voussoir Arch with wrought iron gate at 14 Ginahgulla Road, Bellevue Hill (Source: "The Florentine Doorway". *The Home*, Vol.19, No.6, 1 June 1938, p 60, photographed by Harold Cazneaux).

Note the delicate wrought iron gate of the voussoir arch. This house is a locally listed house on the Woollahra LEP 2014 (Item No.34)

Carthona, 5 Carthona Avenue, Darling Point



Figure 223 Drawing by Wilkinson for Carthona Gateway (Source: State Library of NSW, PXD 351, Roll No.267, f 2625)

These beautiful wrought iron gates and brick posts were designed by Leslie Wilkinson for Mrs Bushell at Carthona, Darling Point in 1957.

Carthona is listed on the Woollahra LEP 2014 as "Carthona"—house and interiors, grounds, gates, gateposts, flanking wall, iron works, Moreton Bay Fig and Norfolk Island Pine' at 5 Carthona Avenue, Darling Point (Item No.82).

Hampden Lodge, 12 Hampden Avenue, Darling Point



Figure 225 Wrought iron gate at Hampden Lodge, Darling Point.

Another rustic voussoir arch with elaborate decorative wrought iron gate with flower motif. This property is of potential local heritage significance.

6 Wiston Gardens, Darling Point



Figure 226 Wrought iron gate to 6 Wiston Gardens, Darling Point.

Note the elaborate wrought iron work to the window grilles, front door and balustrade. This house is listed under the *Heritage Act 1977* on the SHR (No.00209) and on the Woollahra LEP 2014 (Item No.231).

5A Wiston Gardens, Double Bay



Figure 227 Wrought iron gate to 5A Wiston Gardens, Darling Point.

In 2007, major renovations were undertaken at 5A Wiston Gardens, formerly no.4. This house is listed under the *Heritage Act 1977* on the SHR (No.00209) and on the Woollahra LEP 2014 (Item No.230).

During the latest renovations, the whole front fence and gate were removed and it is unclear if the original wrought iron gate was reinstated.

The more simple design of the existing gate may be due to the fact that it is a copy, however further research is necessary to ascertain its integrity.

1 Fisher Avenue, Vaucluse



Figure 228 Wrought iron balustrade to the prominent staircase.

Note the elaborate staircase balustrade by Joseland & Gilling. This house is a locally listed house on the Woollahra LEP 2014 (Item No.345)

30 Wyuna Road, Point Piper



Figure 229 Wrought ironwork to 30 Wyuna Road, Point Piper.

Wrought iron work with Neo-Georgian doorframe by Joseland & Gilling. This house is a locally listed house on the Woollahra LEP 2014 (Item No.685)

327C Edgecliff Road, Woollahra



Figure 230 Front door wrought iron work by Joseland & Gilling

This house by Joseland & Gilling is not individually heritage listed but is within the Woollahra HCA of the Woollahra LEP 2014. The elaborate wrought iron work is representative of the Inter-War Mediterranean /Spanish Mission style noted in the Eastern Suburbs of Sydney.

75 Wolseley Road Point Piper

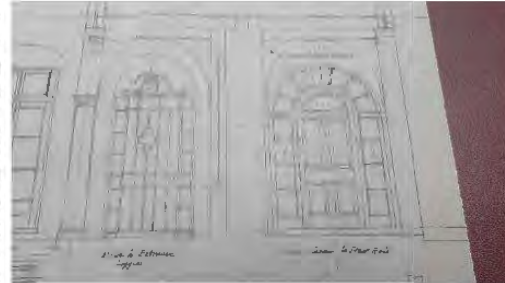


Figure 231 Wrought iron detail for a house for E R Hudson in Point Piper (Source: State Library of NSW, PXD 351, Roll No.361, f.3819)

Wilkinson undertook alterations and additions to an existing house in Point Piper for E R Hudson in 1961.

This house was demolished in 2009.

The elaborate wrought iron work derived from Mediterranean and Spanish Mission influences viewed in Californian examples but during Wilkinson's travels in Spain and Italy. Whilst having a utilitarian function (security), they are quite distinctive features of the work of Leslie Wilkinson and Joseland & Gilling and were part of the detailed design of a house that the architects prepared for their clients.

Based on the analysis above, the wrought iron gate at 28A Wentworth Road is a **representative** detailing of the Mediterranean/Spanish Mission influence noted in Wilkinson and Joseland and Gilling. Wrought iron work is overall **rare** in Woollahra, due to its gradual replacement.

4.4. Conclusions

Following a review of comparable items, the following is noted regarding **43 Latimer Road, Bellevue Hill** and **56 Wallaroy Road, Woollahra**:

- 43 Latimer Road Bellevue appears to be representative of Wilkinson's Mediterranean style, evidenced by its use of typical features such as: pastel walls, timber framed multi-pane windows with shutters and loggias on columns.
- With their domestic simplicity and Neo-Georgian approaches, both 43 Latimer Road and 56 Wallaroy Road distance themselves from the flamboyant Hollywood and Moorish approach popular with Joseland & Gilling to be more closely related to the work of Leslie Wilkinson and William Hardy Wilson.
- Through their use of light rendered elevations, simple geometric forms deriving from the Georgian Colonial influence, restrained classical motifs and overall simplicity, these houses show to have been influenced by *Greenway*, Wilkinson's 1922 Mediterranean house in the Woollahra municipality.
- Both 56 Wallaroy Road, Woollahra and 43 Latimer Road, Bellevue Hill appear to be **representative** of the of the Inter-War Mediterranean style in the Woollahra LGA.

Greenway at 24 Wentworth Road, Vacluse, is considered to be of State significance under the rarity and representative criteria for the following reasons:

- It is possibly the earliest and most representative Inter-War Mediterranean house in NSW, dating from 1922 and employing a restrained classicism rather than Australian Colonial and Californian examples;

- It is one of the earliest houses designed by Wilkinson with a conscious aim to orient it and ventilate it in such a way to maximise internal comfort; and
- It is one of the earliest houses designed to be built around the existing vegetation and not the other way around.

Greenway is also considered to be of State significance for its historical association with one of the most prominent Australian Architects of the Inter-War period, which equals this house to other prominent Australian architects houses such as *Purulia* and *Fenton*.

Hampden Lodge at 12 Hampden Avenue, Darling Point is representative of small lodges designed by Wilkinson throughout Sydney deriving from either the readaptation of earlier structures or the construction of new lodges ancillary to bigger mansions or precincts.

The **Monument to Robert Watson** in Robertson Park, associated with a historic event, appears to have representative value at local level. Due to its reference to an historic event rather than a war commemoration, and its Art Deco style, this monument is at local level. It is also possibly the only monument designed by Professor Leslie Wilkinson in Woollahra.

The **wrought iron gate at 28A Wentworth Road, Vaucluse**, shows representative value for its providing evidence of Mediterranean and Spanish Mission style in Sydney through the work of Leslie Wilkinson and Joseland & Gilling. It is overall rare in Woollahra due to its being gradually replaced.

5. Heritage Significance Assessment

5.1. Introduction

Determining the significance of heritage items will be undertaken using a system of assessment based on the philosophy of the Burra Charter of Australia ICOMOS. The principles of the charter are relevant to the assessment, conservation and management of sites and relics. The assessment of heritage significance is based on legislation in the *NSW Heritage Act 1977* and implemented through the *NSW Heritage Manual*.

The NSW Heritage Manual provides seven heritage criteria to assess the significance of an item. If an item meets one of the seven heritage criteria at a local level, and retains the integrity of its key attributes, it can be considered to have local heritage significance. To be assessed for State significance an item will need to meet more than one of the seven heritage criteria at a State level, or if an item satisfies only one of the criteria, the item is of such particular significance to NSW that it should be listed.

'State heritage significance', in relation to a place, building, work, relic, moveable object or precinct, means significance to the State in relation to the historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value of the item.

'Local heritage significance', in relation to a place, building, work, relic, moveable object or precinct, means significance to an area in relation to the historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value of the item.

The below table outlines the seven heritage criteria.

Criteria	Description
Criterion A – Historical significance	<i>An item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area)</i>
Criterion B – Associative significance	<i>An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area)</i>
Criterion C – Aesthetic/technical significance	<i>An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the local area)</i>
Criterion D – Social significance	<i>An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons</i>
Criterion E – Research potential	<i>An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area)</i>
Criterion F – Rarity	<i>An item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area)</i>
Criterion G – Representativeness	<i>An item is important in demonstrating the principal characteristics of a class of NSW's</i> <ul style="list-style-type: none"> • <i>cultural or natural places; or</i> • <i>cultural or natural environments.</i> <i>or a class of the local area's</i> <ul style="list-style-type: none"> • <i>cultural or natural places; or</i> • <i>cultural or natural environments.</i>

The following section provides an assessment of significance against the seven heritage criteria for intact buildings associated with Leslie Wilkinson.

5.2. Monument to Robert Watson at Robertson Park

Criterion A – Historical significance

Erected by Vaucluse Council upon request from the Royal Australian Historical Society (RAHS), the Monument to Robert Watson was designed in 1929 by Professor Leslie Wilkinson. The monument demonstrates the proactive and educational role of the RAHS in erecting monuments to celebrate NSW history.

Guidelines for inclusion	Guidelines for exclusion
<input checked="" type="checkbox"/> shows evidence of a significant human activity <input checked="" type="checkbox"/> is associated with a significant activity or historical phase <input type="checkbox"/> maintains or shows the continuity of a historical process or activity	<input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association

Criterion B – Associative significance

The Monument to Robert Watson has associative significance for its links to Professor Leslie Wilkinson and Robert Watson.

Wilkinson is a leading and influential figure in Australian architecture for having founded and led the Faculty of Architecture at Sydney University, but also for having combined neo-Georgian with Inter-War Mediterranean styles in response to the sunny Australian climate. A local resident of Vaucluse, this monument is significant as part of the body of work carried out by eminent Architect Professor Leslie Wilkinson in Woollahra between 1923 and 1971.

It also has associative significance for its links to Robert Watson, who arrived on the First Fleet on 26 January 1788 and was quartermaster of HMAS Sirius, signal man at South Head, pilot, harbor master and first superintendent of Macquarie lighthouse. It is believed that Watsons Bay was named after Robert Watson.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> shows evidence of a significant human occupation <input checked="" type="checkbox"/> is associated with a significant event, person, or group of persons	<input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association

Criterion C – Aesthetic/technical significance

The Monument to Robert Watson at Robertson Park has aesthetic significance as a sandstone carved monument with landmark qualities and aesthetically distinctive Art Deco marine carvings.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input checked="" type="checkbox"/> is aesthetically distinctive <input checked="" type="checkbox"/> has landmark qualities <input checked="" type="checkbox"/> exemplifies a particular taste, style or technology	<input type="checkbox"/> is not a major work by an important designer or artist <input type="checkbox"/> has lost its design or technical integrity <input type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> has only a loose association with a creative or technical achievement

Criterion D – Social significance

While a full social significance is beyond the scope of this assessment, the Monument would have been held in great regard by the RAHS, the Woollahra History & Heritage Society and the Woollahra local community for its association with Robert Watson and its location in Robertson Park. As part of the body of work of eminent architect Professor Leslie Wilkinson, it may hold some social significance for the Woollahra community and the Australian Institute of Architects.

Guidelines for inclusion	Guidelines for exclusion
<input checked="" type="checkbox"/> is important for its associations with an identifiable group <input checked="" type="checkbox"/> is important to a community's sense of place	<input type="checkbox"/> is only important to the community for amenity reasons <input type="checkbox"/> is retained only in preference to a proposed alternative

Criterion E – Technical/Research significance

This site does not have potential to yield substantial scientific and/or archaeological information that will contribute to an understanding of the cultural history of the local area.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> is an important benchmark or reference site or type <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere	<input type="checkbox"/> the knowledge gained would be irrelevant to research on science, human history or culture <input checked="" type="checkbox"/> has little archaeological or research potential <input type="checkbox"/> only contains information that is readily available from other resources or archaeological sites

Criterion F – Rarity

Possibly the only monument designed by Professor Leslie Wilkinson in Woollahra. His proposed changes to the Milestone Obelisk were never implemented.

Due to its reference to an historic event rather than a war commemoration, and its Art Deco style, this monument is rare at local level.

Due to its association with a historic event rather a war commemoration, it appears to be rare at local level.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> provides evidence of a defunct custom, way of life or process <input type="checkbox"/> demonstrates a process, custom or other human activity that is in danger of being lost <input checked="" type="checkbox"/> shows unusually accurate evidence of a significant human activity <input checked="" type="checkbox"/> is the only example of its type <input checked="" type="checkbox"/> demonstrates designs or techniques of exceptional interest <input type="checkbox"/> shows rare evidence of a significant human activity important to a community	<input type="checkbox"/> is not rare <input type="checkbox"/> is numerous but under threat

Criterion G – Representativeness

The Monument to Robert Watson is part of a group of other monuments erected in NSW to the request of RAHS. Another example in Woollahra is the 1927 Monument commemorating the landing of Governor Phillip at Camp Cove.

Guidelines for inclusion	Guidelines for exclusion
<input checked="" type="checkbox"/> is a fine example of its type <input type="checkbox"/> has the principal characteristics of an important class or group of items <input type="checkbox"/> has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity <input type="checkbox"/> is a significant variation to a class of items <input checked="" type="checkbox"/> is part of a group which collectively illustrates a representative type <input type="checkbox"/> is outstanding because of its setting, condition or size <input checked="" type="checkbox"/> is outstanding because of its integrity or the esteem in which it is held	<input type="checkbox"/> is a poor example of its type <input type="checkbox"/> does not include or has lost the range of characteristics of a type <input type="checkbox"/> does not represent well the characteristics that make up a significant variation of a type

Statement of Significance

Erected by Vaucluse Council upon request from the Royal Australian Historical Society (RAHS), the Monument to Robert Watson has historic, associative, aesthetic, social, rarity and representative heritage significance.

Designed in 1929 by Professor Leslie Wilkinson, it demonstrates the proactive and educational role of the RAHS in erecting monuments to celebrate NSW history. It is part of a group of other monuments erected around NSW at the request of RAHS.

The monument has associative significance for its links to Professor Leslie Wilkinson. It has aesthetic significance as a sandstone carved monument with landmark qualities and aesthetically distinctive Art Deco marine carvings.

Wilkinson is a leading and influential figure in Australian architecture for having founded and led the Faculty of Architecture at Sydney University, but also for having combined neo-Georgian with Inter-War Mediterranean styles in response to the sunny Australian climate. A local resident of Vaucluse, this monument is significant as part of the body of work carried out by eminent Architect Professor Leslie Wilkinson in Woollahra between 1918 and 1971.

This monument also has associative significance for its links to Robert Watson, who arrived on the First Fleet on 26 January 1788 and was quartermaster of HMAS Sirius, signal man at South Head, pilot, harbor master and first superintendent of Macquarie lighthouse. It is believed that Watsons Bay was named after Robert Watson.

Level of significance: Local

5.3. Hampden Lodge, 12 Hampden Avenue, Darling Point

Criterion A – Historical significance

As evidence of the Federation development of Darling Point and association with former mansion Winslow, Hampden Lodge has historical significance as part of the 1833 Delamere Estate and 1922 Winslow Estate.

Originally built as stables to Winslow mansion between 1902 and 1909, Hampden Lodge is significant as an adaptive re-use of a Darling Point structure associated with an early mansion. It was subdivided from the main house in 1922 by Sydney Gilchrist. It was altered and added by Professor Leslie Wilkinson in 1936, 1941 and 1947 for Mrs Florence Emily Nesbitt. Winslow was demolished for flats in the late 1950s.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> shows evidence of a significant human activity <input checked="" type="checkbox"/> is associated with a significant activity or historical phase <input type="checkbox"/> maintains or shows the continuity of a historical process or activity	<input checked="" type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input checked="" type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input checked="" type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association

Criterion B – Associative significance

Associative significance as an example of the work of prominent architect and architectural academic, Professor Leslie Wilkinson and for its association with an early Darling Point mansion, Winslow. Wilkinson designed alterations and additions to this property for Mrs Florence Emily Nesbitt in 1936, 1941 and 1947.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> shows evidence of a significant human occupation <input checked="" type="checkbox"/> is associated with a significant event, person, or group of persons	<input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association

Criterion C – Aesthetic/technical significance

Wilkinson’s design maintained the Federation character of this building while harmoniously adding some modest additions. A modest building with a fine presentation to Hampden Avenue, it shows its early rustic origin in the use of timber gable screen, double hung timber sash windows and sandstone base.

The voussoir archway with gate is a finely crafted detailing showing Wilkinson’s touches of restrained classicism. Internally, original joineries, sandstone fireplace with coat of arms, Federation vents and wrought iron grilles are part of the significant fabric of this building.

The modest flat roofed garage features significant bulls’eye windows to the north elevation with decorative grilles.

Guidelines for inclusion	Guidelines for exclusion
<input checked="" type="checkbox"/> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input checked="" type="checkbox"/> is aesthetically distinctive <input type="checkbox"/> has landmark qualities <input type="checkbox"/> exemplifies a particular taste, style or technology	<input type="checkbox"/> is not a major work by an important designer or artist <input type="checkbox"/> has lost its design or technical integrity <input type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> has only a loose association with a creative or technical achievement

Criterion D – Social significance

While a full social assessment may be beyond this heritage assessment, as part of the body of work of eminent architect Professor Leslie Wilkinson, 12 Hampden Avenue may hold some social significance for the Woollahra community and the Australian Institute of Architects.

Guidelines for inclusion	Guidelines for exclusion
<input checked="" type="checkbox"/> is important for its associations with an identifiable group <input checked="" type="checkbox"/> is important to a community's sense of place	<input type="checkbox"/> is only important to the community for amenity reasons <input type="checkbox"/> is retained only in preference to a proposed alternative

Criterion E – Technical/Research significance

This property does not have potential to yield substantial scientific and/or archaeological information that will contribute to an understanding of the cultural history of the local area.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> is an important benchmark or reference site or type <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere	<input checked="" type="checkbox"/> the knowledge gained would be irrelevant to research on science, human history or culture <input checked="" type="checkbox"/> has little archaeological or research potential <input type="checkbox"/> only contains information that is readily available from other resources or archaeological sites

Criterion F – Rarity

A rare building providing evidence of one of the early mansions of Darling Point, Winslow.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> provides evidence of a defunct custom, way of life or process <input checked="" type="checkbox"/> demonstrates a process, custom or other human activity that is in danger of being lost <input type="checkbox"/> shows unusually accurate evidence of a significant human activity <input type="checkbox"/> is the only example of its type <input type="checkbox"/> demonstrates designs or techniques of exceptional interest <input type="checkbox"/> shows rare evidence of a significant human activity important to a community	<input type="checkbox"/> is not rare <input type="checkbox"/> is numerous but under threat

Criterion G – Representativeness

A rare building providing evidence of one of the early mansions of Darling Point, Winslow.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> is a fine example of its type <input checked="" type="checkbox"/> has the principal characteristics of an important class or group of items <input type="checkbox"/> has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity <input type="checkbox"/> is a significant variation to a class of items <input checked="" type="checkbox"/> is part of a group which collectively illustrates a representative type <input type="checkbox"/> is outstanding because of its setting, condition or size <input type="checkbox"/> is outstanding because of its integrity or the esteem in which it is held	<input type="checkbox"/> is a poor example of its type <input type="checkbox"/> does not include or has lost the range of characteristics of a type <input type="checkbox"/> does not represent well the characteristics that make up a significant variation of a type

Statement of Significance

12 Hampden Avenue, Darling Point was originally built as the stables to the 1830s Winslow mansion (which was subsequently demolished in the late 1950s). The building was constructed in the

Federation period, and converted into a residence by Sydney Gilchrist in 1922 following its subdivision from Winslow.

The site is of local heritage significance for its association with Winslow and for its providing historically significant evidence of the early development of Darling Point, the Winslow mansion and the Winslow Estate.

It is also significant for its association with eminent architect Professor Leslie Wilkinson, who designed alterations additions in 1936, 1941 and 1947 for Mrs Florence Emily Nesbitt. In this instance, Wilkinson's design maintained the Federation character of this building while harmoniously adding some modest additions showing classical references.

Detailing of his restrained classicism include: pastel coloured rendered walls, wrought iron gate, decorative window grilles, bull's eye windows of the garage, voussoir archway, timber sash windows with louvered shutters, gabled tiled roof and sandstone fireplace finished with a coat of arms. Many of Hampden Lodge's significant interiors by Wilkinson can be found in the State Library drawings prepared for Mrs Nesbit.

Wilkinson is a leading and influential figure in Australian architecture for having founded and led the Faculty of Architecture at Sydney University, but also for having combined neo-Georgian with Inter-War Mediterranean styles in response to the sunny Australian climate. His Neo-Georgian detailing references classical architecture while re-interpreting it in a restrained and modern fashion that made Wilkinson one of the most influential architects of Australia.

Level of significance: Local

5.4. 43 Latimer Road, Bellevue Hill

Criterion A – Historical significance

Developed on a re-subdivision of lots 10 and 11 Section A of the Cooper's Bellevue Hill-Bondi Estate on a terraced block, designed to face north towards the spectacular views of Rose Bay, this house provide historical evidence of the early development of the Cooper's Bellevue Hill-Bondi Estate subdivision in the Inter-War period.

Architect John D Moore originally designed a house on the higher section of the block for Mrs F Clinton in 1925 which was subsequently built by Francis & Sons. In 1939 the new owner Mr G Russell commissioned Professor Leslie Wilkinson to design extensive alterations and additions to the house which included a new level. These alterations and additions were constructed by builder Coleman & Kirk.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> shows evidence of a significant human activity <input checked="" type="checkbox"/> is associated with a significant activity or historical phase <input type="checkbox"/> maintains or shows the continuity of a historical process or activity	<input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association

Criterion B – Associative significance

Associative significance as an example of the work of prominent architect and architectural academic, Professor Leslie Wilkinson, designed in his favoured Mediterranean/Neo-Georgian style and modifying an earlier design by his university colleague John D. Moore. Wilkinson designed alterations and additions to this property for Mr Gordon Russell in 1939.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> shows evidence of a significant human occupation <input checked="" type="checkbox"/> is associated with a significant event, person, or group of persons	<input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association

Criterion C – Aesthetic/technical significance

The house exhibits aesthetic significance for its Neo-Georgian /Inter-War Mediterranean influence and detailing of aesthetic significance.

43 Latimer Road is a free standing pastel rendered house with a gabled terracotta tiled roof north oriented to maximise water views.

The main elevation shows typical Mediterranean detailing in its use of restrained classical detailing such as timber pane sash windows with shutters, bull's eye windows and loggia with entablature supported by Doric columns.

The house is set within a substantially landscaped and terraced garden. Sandstone walls have been used to create the terraces in the garden, with a sandstone water fountain in the lower terrace all forming the setting of the house.

Internally, the house has been renovated, with previous finishes replaced by newer ones. The original layout has been minimally modified, original doors, joineries and fireplace in the living room are noted as being fabric of significance.

Criterion D – Social significance

While a full social assessment may be beyond this heritage assessment, as part of the body of work of eminent architect Professor Leslie Wilkinson, 43 Latimer Road may hold some social significance for the Woollahra community and the Australian Institute of Architects.

Guidelines for inclusion	Guidelines for exclusion
<input checked="" type="checkbox"/> is important for its associations with an identifiable group <input type="checkbox"/> is important to a community's sense of place	<input type="checkbox"/> is only important to the community for amenity reasons <input type="checkbox"/> is retained only in preference to a proposed alternative

Criterion E – Technical/Research significance

This property does not have potential to yield substantial scientific and/or archaeological information that will contribute to an understanding of the cultural history of the local area.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> is an important benchmark or reference site or type <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere	<input type="checkbox"/> the knowledge gained would be irrelevant to research on science, human history or culture <input checked="" type="checkbox"/> has little archaeological or research potential <input type="checkbox"/> only contains information that is readily available from other resources or archaeological sites

Criterion F – Rarity

As an intact Inter-War Mediterranean/Neo-Georgian style house in Bellevue Hill, this house and its landscaped setting are rare in Woollahra. As an intact Wilkinson design it demonstrates a design of exceptional interest.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> provides evidence of a defunct custom, way of life or process <input checked="" type="checkbox"/> demonstrates a process, custom or other human activity that is in danger of being lost <input type="checkbox"/> shows unusually accurate evidence of a significant human activity <input type="checkbox"/> is the only example of its type <input checked="" type="checkbox"/> demonstrates designs or techniques of exceptional interest <input type="checkbox"/> shows rare evidence of a significant human activity important to a community	<input type="checkbox"/> is not rare <input type="checkbox"/> is numerous but under threat

Criterion G – Representativeness

43 Latimer Road is part of a group of houses that are representative of the distinct style of architecture by the prominent Australian architect Professor Leslie Wilkinson in the Neo-Georgian/Mediterranean Style in the Woollahra area.

Guidelines for inclusion	Guidelines for exclusion
<input checked="" type="checkbox"/> is a fine example of its type <input checked="" type="checkbox"/> has the principal characteristics of an important class or group of items <input checked="" type="checkbox"/> has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity <input type="checkbox"/> is a significant variation to a class of items <input checked="" type="checkbox"/> is part of a group which collectively illustrates a representative type <input type="checkbox"/> is outstanding because of its setting, condition or size <input type="checkbox"/> is outstanding because of its integrity or the esteem in which it is held	<input type="checkbox"/> is a poor example of its type <input type="checkbox"/> does not include or has lost the range of characteristics of a type <input type="checkbox"/> does not represent well the characteristics that make up a significant variation of a type

Statement of Significance

The house at 43 Latimer Road, Bellevue Hill is significant as part of the body of work carried out by eminent Architect Professor Leslie Wilkinson in Woollahra between 1923 and 1971.

Wilkinson is a leading and influential figure in Australian architecture for having founded and led the Faculty of Architecture at Sydney University, but also for having combined neo-Georgian with Inter-War Mediterranean styles in response to the sunny Australian climate. His Neo-Georgian design references classical architecture and re-interprets it in a more modern, domestic and restrained way in a fashion that made Wilkinson one of the most influential architects of Australia.

Developed on a terraced block of land, and designed to face north towards the spectacular views of Rose Bay, this house provide historical evidence of the early development of the Coopers’s Bellevue Hill-Bondi Estate subdivision in the Inter-War period.

Architect John D Moore originally designed a house on the higher section of the block for Mrs F Clinton in 1925 which was subsequently built by Francis & Sons. In 1939 the new owner Mr Russell then commissioned Professor Leslie Wilkinson to design extensive alterations and additions to the house, which included a new level. These alterations and additions were constructed by builder Coleman & Kirk.

The house exhibits aesthetic significance for its Neo-Georgian /Inter-War Mediterranean influence and detailing. As an intact Inter-War Mediterranean/Neo-Georgian style house in Bellevue Hill, this house and its landscaped setting are rare in Woollahra. Internally, the house has been renovated, with original finishes having been replaced by newer ones. The original layout has been minimally

modified, original doors, joineries and fireplace in the living room are noted as being fabric of significance.

43 Latimer Road is part of a group of houses that are representative of the distinct style of architecture by the prominent Australian architect Professor Leslie Wilkinson between 1918 and 1971. Wilkinson's domestic designs are mostly concentrated in Sydney's eastern suburbs, but can also be found on the North Shore and in the Southern Highlands.

Level of significance: Local

5.5. 56 Wallaroy Road, Woollahra

Criterion A – Historical significance

Built on a prominent and highly visible corner and built to the design of Architect Frederick George Leslie Allen for W P Gunning Esq., 56 Wallaroy Road Woollahra is historically significant as an Inter-War Mediterranean house evidencing the development of Wallaroy Road in Double Bay and Woollahra in the 1930s and the influx of architecturally designed houses at the time.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> shows evidence of a significant human activity <input checked="" type="checkbox"/> is associated with a significant activity or historical phase <input type="checkbox"/> maintains or shows the continuity of a historical process or activity	<input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association

Criterion B – Associative significance

This house is only marginally associated with prominent architect Professor Wilkinson, who designed a second garage for Dr Marsden in 1953.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> shows evidence of a significant human occupation <input type="checkbox"/> is associated with a significant event, person, or group of persons	<input checked="" type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association

Criterion C – Aesthetic/technical significance

Located on a prominent corner, 56 Wallaroy Road Woollahra is an aesthetically distinctive house showing Inter-War Mediterranean influences.

56 Wallaroy Road Woollahra is an aesthetically distinctive house showing Inter-War Mediterranean and Spanish Mission influences. Domestic in its siting, it is a free standing pastel rendered house with a hipped terracotta tiled roof. The entrance to Wallaroy Road is emphasised through a formal entry porch with vaulted ceilings leading to a prominent circular staircase.

The restrained classical detailing of the elevations featuring timber multi-pane sash windows with shutters, loggias, pergolas, decorative Cordova tile motifs complement the ornate detailing of the interiors, including the vaulted decorated ceilings, leadlight window detailing and intact decorative joineries. Fireplaces, original wrought iron detailing, niche, lancet window and original joineries are still intact on the ground and first floor.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input checked="" type="checkbox"/> is aesthetically distinctive <input checked="" type="checkbox"/> has landmark qualities <input checked="" type="checkbox"/> exemplifies a particular taste, style or technology	<input type="checkbox"/> is not a major work by an important designer or artist <input type="checkbox"/> has lost its design or technical integrity <input type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> has only a loose association with a creative or technical achievement

Criterion D – Social significance

Whilst a full social assessment may be beyond this heritage assessment, 56 Wallaroy Road, Woollahra may hold some social significance for the Woollahra community for its Inter-War Mediterranean style. Further investigation is required in this area.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> is important for its associations with an identifiable group <input type="checkbox"/> is important to a community's sense of place	<input checked="" type="checkbox"/> is only important to the community for amenity reasons <input type="checkbox"/> is retained only in preference to a proposed alternative

Criterion E – Technical/Research significance

This property does not have potential to yield substantial scientific and/or archaeological information that will contribute to an understanding of the cultural history of the local area.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> is an important benchmark or reference site or type <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere	<input type="checkbox"/> the knowledge gained would be irrelevant to research on science, human history or culture <input checked="" type="checkbox"/> has little archaeological or research potential <input checked="" type="checkbox"/> only contains information that is readily available from other resources or archaeological sites

Criterion F – Rarity

This is possibly the only design by Architect Frederick George Leslie Allen in Woollahra showing his creative endeavour and Inter-War Mediterranean influences.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> provides evidence of a defunct custom, way of life or process <input checked="" type="checkbox"/> demonstrates a process, custom or other human activity that is in danger of being lost <input type="checkbox"/> shows unusually accurate evidence of a significant human activity <input type="checkbox"/> is the only example of its type <input checked="" type="checkbox"/> demonstrates designs or techniques of exceptional interest <input type="checkbox"/> shows rare evidence of a significant human activity important to a community	<input type="checkbox"/> is not rare <input type="checkbox"/> is numerous but under threat

Criterion G – Representativeness

This house is representative of the Inter-War Mediterranean style with Spanish Mission influences in the Municipality of Woollahra.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> is a fine example of its type <input checked="" type="checkbox"/> has the principal characteristics of an important class or group of items <input checked="" type="checkbox"/> has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity <input type="checkbox"/> is a significant variation to a class of items <input checked="" type="checkbox"/> is part of a group which collectively illustrates a representative type <input type="checkbox"/> is outstanding because of its setting, condition or size <input type="checkbox"/> is outstanding because of its integrity or the esteem in which it is held	<input type="checkbox"/> is a poor example of its type <input type="checkbox"/> does not include or has lost the range of characteristics of a type <input type="checkbox"/> does not represent well the characteristics that make up a significant variation of a type

Statement of Significance

On a prominent and highly visible corner and built to the design of Architect Frederick George Leslie Allen for W P Gunning Esq, 56 Wallaroy Road Woollahra is historically significant as an Inter-War Mediterranean house with Spanish Mission influences evidencing the evolution of Wallaroy Road in the Woollahra suburb in the 1930s.

56 Wallaroy Road Woollahra is an aesthetically distinctive house showing Inter-War Mediterranean and Spanish Mission influences. Domestic in its siting, it is a free standing pastel rendered house with a hipped terracotta tiled roof. The entrance to Wallaroy Road is emphasised through a formal entry porch with vaulted ceilings leading to a prominent circular staircase with niche complemented by a lancet window.

The restrained classical detailing of the elevations featuring timber multi-pane sash windows with shutters, loggias, pergolas, decorative Cordova tile motifs complement the ornate detailing of the interiors, including the vaulted decorated ceilings, leadlight window detailing and intact decorative joineries. Fireplaces, original wrought iron detailing and original joineries are still intact to the ground and first floor.

56 Wallaroy Road, Woollahra is a rarely intact house showing the creative endeavour of Architect Frederick George Leslie Allen in Woollahra. It is representative of the appreciation of the Inter-War Mediterranean/Spanish Mission style in the suburb of Woollahra. Level of significance: Local

5.6. Wrought iron gate and brick posts, 28A Wentworth Road, Vacluse

Criterion A – Historical significance

Built in the 1970s, the wrought iron gate and brick posts are not considered of historical significance for Vacluse.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> shows evidence of a significant human activity <input type="checkbox"/> is associated with a significant activity or historical phase <input type="checkbox"/> maintains or shows the continuity of a historical process or activity	<input checked="" type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association

Criterion B – Associative significance

This wrought iron gate with brick posts is historically associated with prominent Architect and architectural academic Professor Leslie Wilkinson, who carried out alterations and additions in

association with Architect John Crawford in the late 1970s and designed the front elevation, wrought iron gate and gate posts.

Wilkinson is a leading and influential figure in Australian architecture for having founded and led the Faculty of Architecture at Sydney University, but also for having combined neo-Georgian with Inter-War Mediterranean styles in response to the sunny Australian climate. His Neo-Georgian design references classical architecture and re-interprets it in a more modern, domestic and restrained way in a fashion that made Wilkinson one of the most influential architects of Australia.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> shows evidence of a significant human occupation <input checked="" type="checkbox"/> is associated with a significant event, person, or group of persons	<input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association

Criterion C – Aesthetic/technical significance

The design of the wrought iron gate shows typical floral motifs and is of excellent example of wrought ironwork.

While being a late commission for Wilkinson, the exquisite design manufacture of this wrought iron gate is testament of the appreciation of Wilkinson’s design and fame in the Eastern Suburbs where he was actively working up until his death in the 1970s.

Guidelines for inclusion	Guidelines for exclusion
<input checked="" type="checkbox"/> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input checked="" type="checkbox"/> is aesthetically distinctive <input type="checkbox"/> has landmark qualities <input checked="" type="checkbox"/> exemplifies a particular taste, style or technology	<input type="checkbox"/> is not a major work by an important designer or artist <input type="checkbox"/> has lost its design or technical integrity <input type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> has only a loose association with a creative or technical achievement

Criterion D – Social significance

While a full social assessment may be beyond this heritage assessment, as part of the body of work of eminent Architect Professor Leslie Wilkinson, this wrought iron gate and brick posts may hold some social significance for the Woollahra community and the Australian Institute of Architects.

Guidelines for inclusion	Guidelines for exclusion
<input checked="" type="checkbox"/> is important for its associations with an identifiable group <input type="checkbox"/> is important to a community’s sense of place	<input type="checkbox"/> is only important to the community for amenity reasons <input type="checkbox"/> is retained only in preference to a proposed alternative

Criterion E – Technical/Research significance

This property does not have potential to yield substantial scientific and/or archaeological information that will contribute to an understanding of the cultural history of the local area.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> is an important benchmark or reference site or type <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere	<input type="checkbox"/> the knowledge gained would be irrelevant to research on science, human history or culture <input checked="" type="checkbox"/> has little archaeological or research potential <input type="checkbox"/> only contains information that is readily available from other resources or archaeological sites

Criterion F – Rarity

A rarely intact wrought iron gate with brick posts. Many of the wrought iron works have already been removed from Wilkinson's houses.

Guidelines for inclusion	Guidelines for exclusion
<input type="checkbox"/> provides evidence of a defunct custom, way of life or process <input checked="" type="checkbox"/> demonstrates a process, custom or other human activity that is in danger of being lost <input type="checkbox"/> shows unusually accurate evidence of a significant human activity <input type="checkbox"/> is the only example of its type <input type="checkbox"/> demonstrates designs or techniques of exceptional interest <input type="checkbox"/> shows rare evidence of a significant human activity important to a community	<input type="checkbox"/> is not rare <input type="checkbox"/> is numerous but under threat

Criterion G – Representativeness

This distinctive wrought iron work detailed by prominent Architect Professor Leslie Wilkinson was part of the Mediterranean style of his domestic commissions.

Guidelines for inclusion	Guidelines for exclusion
<input checked="" type="checkbox"/> is a fine example of its type <input type="checkbox"/> has the principal characteristics of an important class or group of items <input checked="" type="checkbox"/> has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity <input type="checkbox"/> is a significant variation to a class of items <input checked="" type="checkbox"/> is part of a group which collectively illustrates a representative type <input type="checkbox"/> is outstanding because of its setting, condition or size <input type="checkbox"/> is outstanding because of its integrity or the esteem in which it is held	<input type="checkbox"/> is a poor example of its type <input type="checkbox"/> does not include or has lost the range of characteristics of a type <input type="checkbox"/> does not represent well the characteristics that make up a significant variation of a type

Statement of Significance

The wrought iron gate and brick posts at no. 28A Wentworth Road, Vaucluse are of local heritage significance as part of the body of work carried out by eminent Architect Professor Leslie Wilkinson in Woollahra between 1918 and 1971.

While being a late commission for Wilkinson, the exquisite design of this wrought iron gate is testament of the appreciation of Wilkinson's design and fame in the Eastern Suburbs where he was actively working up until his death in the 1970s. The gates were erected after his death in 1973.

Wilkinson is a leading and influential figure in Australian architecture for having founded and led the Faculty of Architecture at Sydney University, but also for having combined neo-Georgian with Inter-War Mediterranean styles in response to the sunny Australian climate. His Neo-Georgian design references classical architecture and re-interprets it in a more modern, domestic and restrained way in a fashion that made Wilkinson one of the most influential architects of Australia.

The wrought iron gate and brick posts exhibit social, aesthetic and representative significance for their decorative attractive detailing showing typical floral motifs. There are few Wilkinson houses left with the original wrought iron work.

Level of significance: Local

5.7. Greenway, 24 Wentworth Road, Vaucluse

Criterion A – Historical significance

Greenway is of State significance as one of the finest and earliest Inter-War Mediterranean houses designed by prominent Architect Professor Leslie Wilkinson as his family residence.

Approved by Vaucluse Council in 1922, *Greenway* is architecturally significant as one of the best examples of his domestic work, showcasing a restrained use of classical detailing with pioneering techniques to maximise internal comfort through design and orientation. *Greenway* exemplifies the architectural ideas explored by Wilkinson throughout his life about buildings suited for the Australian climate, relationship to the context and orientation of rooms and layout to maximise the weather protection response of a building. Some of the interior features such as joineries and the sandstone fireplace were taken from historic buildings being demolished in Macquarie Street, thus demonstrating an interest in reusing fabric.

The block is able to demonstrate a significant historic activity for the Inter-War development of Vaucluse and the 7th subdivision of the Vaucluse Estate, represented by the spreading popularity of Mediterranean ideas about living and social habits, also represented by aspirational high design quality.

Wilkinson was one of the most influential architects of the Inter War period in Australia, in particular in his approach to domestic architecture and its response to the climate.

The grove of Angophoras or Sydney Pink Gum in the front garden are unique in the Municipality as being the last major grouping of indigenous tree on this plateau. Their multi-stemmed, stunted and contorted forms are typical of the species under these conditions of shallow sandstone soils and exposure to winds on this elevated site.

Criterion B – Associative significance

Greenway is of State associative significance for its being the family residence of prominent architect and architectural academic, Professor Leslie Wilkinson, designed in his favoured Mediterranean style. Built in 1922, Wilkinson lived at *Greenway* until his death in 1973.

In 1949, Wilkinson designed a new eastern wing to accommodate his daughter's family. This was initially refused by Woollahra Council (Minutes, 11 July 1949) on the basis that it would be capable of

being occupied as two separate flats, which was not permissible in Vaucluse. The design was amended to connect with the main house and was finally approved on 22 August 1949.

In 1967, a new addition was designed on the Wentworth Road boundary. This however, was never built.

Criterion C – Aesthetic/technical significance

Greenway has State aesthetic significance as one of the best example of Wilkinson designed houses featuring Neo-Georgian and Mediterranean stylistic concepts that were the hallmarks of his career and served as a template for the refining of the Mediterranean and Neo-Georgian style in NSW.

Greenway was sited to complement the existing Indigenous trees that pre-existed on site. With an originally L-shaped layout, Greenway almost sits on the southern boundary of a triangular block in order to retain and enhance views to the house through the established angophora costata trees that complement the house design. The pink-red of their trunks inspired the colour of the exterior walls. The arched walls, loggias and the garden complement each other in search for shade, coolness and simplicity of colours and ornament in every detail.

This house is specifically designed and oriented to maximise light ingress, ventilation and combine restrained classical details with amenity. It has an informal domestic siting with its pastel coloured rendered walls, arched openings and loggias, vertically proportioned multi-paned timber sash windows with louvered shutters, loggias and hipped tiled roofs. As an intact Wilkinson design for his own family, this house demonstrates a design of exceptional interest.

The grove of Angophoras or Sydney Pink Gum form a magnificent tracery of forms and branching patterns, occurring as an almost pure stand. Greenway is placed with great sympathy and harmony with these remnant trees, such that courtyards contain individual trees as specimens in their own right. A number of properties contain individual specimens and remnant regrowth in this Vaucluse area and these are group listed in the Indigenous Trees of Significance.

Criterion D – Social significance

Greenway is likely to be held in high regard by the people of Woollahra and others interested in history and architecture, which is indicated by its local listing as a heritage item. Many of Wilkinson's designs are listed in the Register of Significant 20th Century Architects and the National Trust of Australia (NSW), including Greenway.

Criterion E – Technical/Research significance

The property does not meet this criterion.

Criterion F – Rarity

Greenway is of State significance as an intact Inter-War Mediterranean/Neo-Georgian style house in an intact landscaped setting.

The grove of Angophoras or Sydney Pink Gum in the front garden are unique in the Municipality as being the last major grouping of indigenous tree on this plateau. Very few properties contain individual specimens and remnant regrowth in this Vaucluse area and these are group listed in the Indigenous Trees of Significance.

Criterion G – Representativeness

Greenway is representative of Wilkinson's work in NSW and it is part of an important group of houses and body of work carried out by Wilkinson in Woollahra between 1918 and 1971, including new houses and alterations and additions.

Greenway is architecturally significant as one of the earliest and best examples of his domestic work, showcasing a restrained use of classical detailing with pioneering techniques to maximise internal comfort through design and orientation.

Statement of Significance

Greenway is of State significance as one of the finest and earliest Inter-War Mediterranean houses designed by prominent Architect Professor Leslie Wilkinson as his family residence. Wilkinson was one of the most influential architects of the Inter War period in Australia, in particular in his approach to domestic architecture and its response to the climate.

Approved by Vacluse Council in 1922, Greenway is architecturally significant as one of the earliest and best examples of his domestic work, showcasing a restrained use of classical detailing with pioneering techniques to maximise internal comfort through design and orientation. Greenway exemplifies the architectural ideas explored by Wilkinson throughout his life about buildings suited for the Australian climate, relationship to the context and orientation of rooms and layout to maximise the occupants' comfort through design.

As a pioneering precursor to sustainability design concepts, this house is specifically designed and oriented to maximise light ingress, ventilation, protection from southerly winds and overall aimed to combine classical details with amenity. Some of the interior features such as joineries and the sandstone fireplace were taken from historic buildings being demolished in Macquarie Street, thus demonstrating an interest in reusing fabric.

Oriented around an internal private courtyard, Greenway reconnects with the Mediterranean classical designs introduced by Wilkinson to Sydney; the simple Georgian masses, restrained Classicism and weathered "patina" of its external finishes experimented in Greenway became the inspiration for several of Wilkinson's later houses in Sydney and was an object of consideration for many other architects to follow.

The block is able to demonstrate a significant historic activity for the Inter-War development of Vacluse and the 7th subdivision of the Vacluse Estate, represented by the spreading popularity of Mediterranean ideas about living and social habits, also represented by aspirational high design quality. As an intact Inter-War Mediterranean/Neo-Georgian style house in an intact landscaped setting, it is rare in Woollahra.

The grove of Angophoras or Sydney Pink Gums in the front garden are unique in the Municipality as being the last major grouping of indigenous tree on this plateau. Their multi-stemmed, stunted and contorted forms are typical of the species under these conditions of shallow sandstone soils and exposure to winds on this elevated site. These trees form a magnificent tracery of forms and branching patterns, occurring as an almost pure stand. Greenway is placed with great sympathy and harmony with these remnant trees, such that courtyards contain individual trees as specimens in their own right. Very few properties contain individual specimens and remnant regrowth in this Vacluse area and these are group listed in the Indigenous Trees of Significance.

Level of significance: in addition to local significance, *Greenway* meets the following criteria at State level: Historic, Historical Association, Aesthetic, Rarity and Representativeness.

6. Final Recommendations and Conclusions

Professor Leslie Wilkinson has had a profound impact on architecture in Australia and many of his domestic commissions were within the Woollahra Local Government Area. The research undertaken as part of this study has resulted in a comprehensive overview of the work carried out by Leslie Wilkinson in the Woollahra Municipality.

Over the years, Council has already identified and heritage listed 27 buildings associated with Leslie Wilkinson on the Woollahra LEP 2014. Overall, 70 potential association in Woollahra have been researched, of which 25 properties have had their level of intactness assessed and 6 additional properties have been investigated and assessed for heritage significance under the NSW heritage criteria.

Most properties have been inspected from the public domain. 17 requests to undertake site inspections were sent to property owners. 11 requests were accepted and internal site inspections were undertaken by Council staff.

This heritage study identifies five additional properties associated with Professor Leslie Wilkinson that have been found of being of potential local heritage significance. One property has been found to have potential State heritage significance.

The following table provide recommendations in relation to this heritage study.

	Property	Area Description	Recommendation
1	Monument to Robert Watson, Robertson Park	Part of Lot 7093 DP 107469	Recommended for local heritage listing.
2	Hampden Lodge, including interiors and garage, 12 Hampden Avenue, Darling Point	Lot 1 DP 1184885	Recommended for local heritage listing.
3	House, including interiors and gardens, 43 Latimer Road, Bellevue Hill	Lot A DP 312687 Lot A DP 318717 Lot 1 DP 131019	Recommended for local heritage listing
4	House, including interiors, 56 Wallaroy Road Woollahra	Lot 3 DP 17153	Recommended for local heritage listing.
5	Wrought iron gate and brick posts, 28A Wentworth Road Vaucluse	Part of Lot 2 DP 531931	Recommended for local heritage listing.
6	Greenway, 24 Wentworth Road, Vaucluse	Lot 101 DP 621888	Nominate property to the SHR

A Wilkinson Buildings Inventory

A.1 Woollahra LEP Heritage Items

A.1.1 New designs by Leslie Wilkinson

Greenway, at 24 Wentworth Road, Vaucluse



Figure 232 Front elevation of Greenway (Source: www.domain.com.au)

Designed as Wilkinson's own residence in 1922 (BA(90)86/1922 former Vaucluse Council), this is a two storey Mediterranean style villa with 1950 additions, also designed by Wilkinson (BA100/1949).

It was built by Jamieson for a cost of works of £1,980.

Excellent example of the Mediterranean style that Wilkinson introduced to Sydney, this house was specifically designed and oriented to maximise light ingress, ventilation and combine restrained classical details with comfort and amenity.

Greenway is listed in Schedule 5 of the Woollahra LEP 2014 as no. 413.

Greenway is also listed on the Australian Institute of Architects Register (4700880) and the National Trust of Australia (NSW) Register (S7822).

Sources:

State Library of NSW, PXD 351, Roll No.419, ff 4272-3, 1 sketch plan, 1 blueprint dated 1921, Garage corner of Wentworth Road & Fisher Avenue, Vaucluse

State Library of NSW, PXD 351, Roll No.423, ff 4313-4338, 3 rough sketches, 2 sketches, 2 sketch plans, 3 plans, 8 drawings, 1 linen, 5 prints, 2 blueprints dated 1922-3, 1940, 1949, 1959, 1966-7.

Falkiner, Suzanne (ed.), *op.cit.* 1923, *Self, Greenway, 24 Wentworth Road Vaucluse, £1,980, Builder Jamieson.*

Falkiner, Suzanne (ed.), *op.cit.* 1950, *Self, Greenway (Additions).*

Woollahra Municipal Council, Local History Collection, BA(90)86/1922 (former Vaucluse Council)

Woollahra Records, BA(90)29/1921 (former Vaucluse Council), BA100/1949



Figure 233 Greenway's front gate illustrated in David Wilkinson's thesis



Figure 234 Greenway's loggia illustrated in David Wilkinson's thesis



Figure 235 Interiors of Greenway illustrated in David Wilkinson's thesis

Greenway, at 24 Wentworth Road, Vacluse

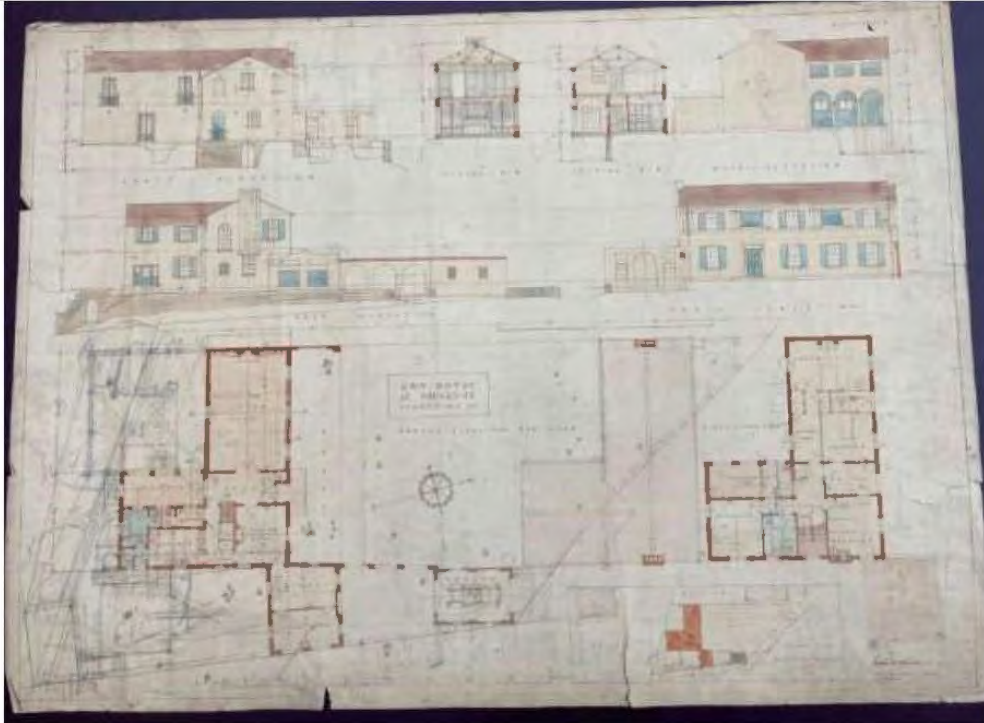


Figure 236 Plans for Wilkinson's own house at Vacluse (Source: State Library of NSW, PXD 351, Roll No. 423, f 4313)

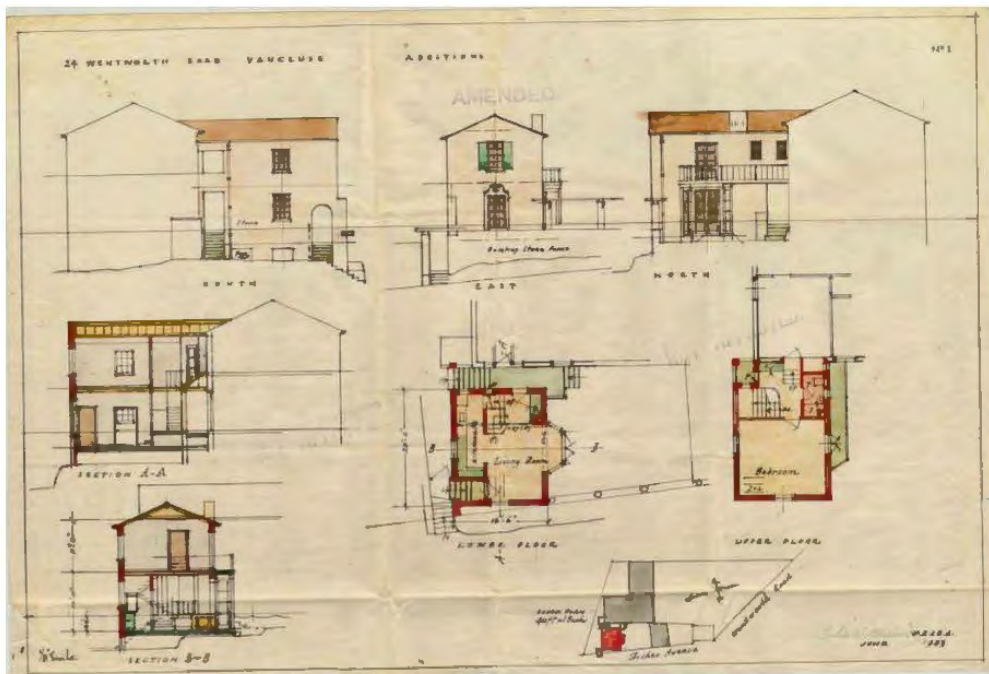


Figure 237 1949 additions from BA100/1949 (Source: Woollahra Records)

Greenway, at 24 Wentworth Road, Vaucluse

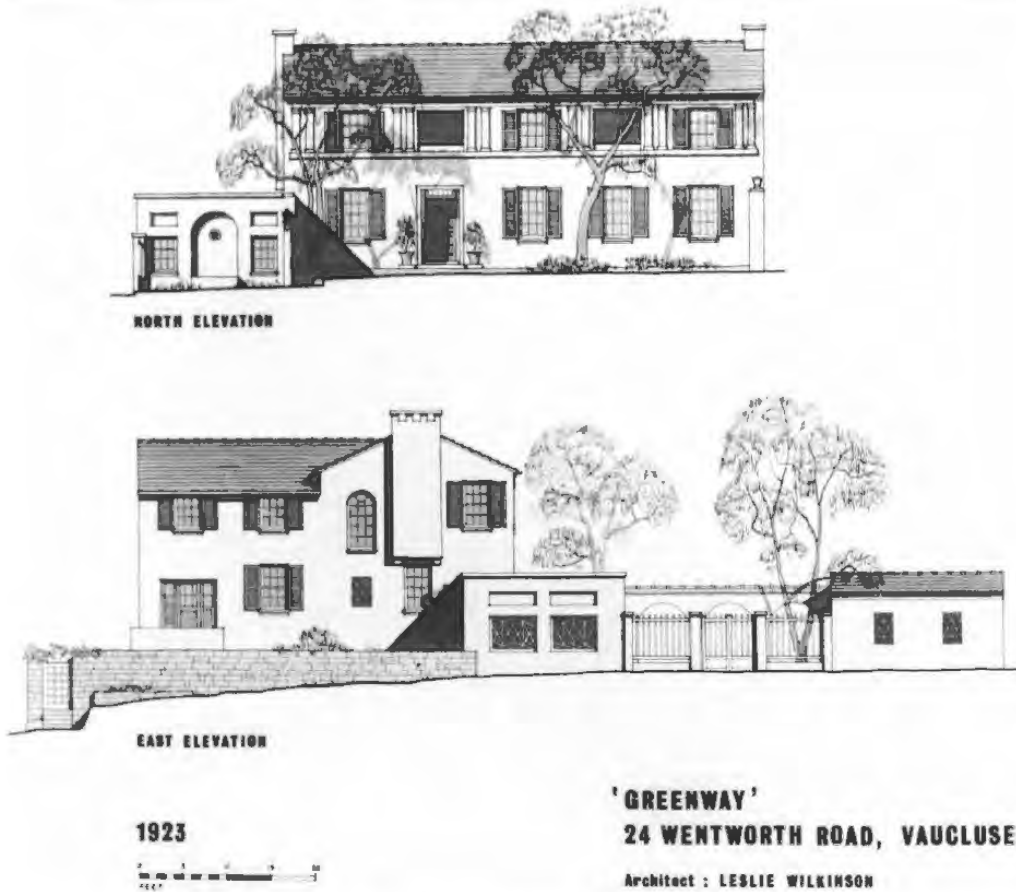


Figure 238 Elevations of Greenway drawn by Apperly, op.cit., 1972, p 272



Figure 239 Vaulted arched north facing loggia. The terrace was levelled up after 2001 (Source: www.domain.com.au)



Figure 240 Living room with sandstone fireplace, possibly taken from prominent houses being demolished in Macquarie Street at the time (Source: www.domain.com.au)

1 Rose Bay Avenue, Bellevue Hill



Figure 241 1 Rose Bay Avenue, Bellevue Hill viewed from the street (Source: www.realestate.com.au)

Designed in partnership with John D Moore in 1923 for Captain John Laidley Dowling (BA5/1924), Wilkinson also designed additions to this house in the 1950s (BA73/1949).

The building is large and simply arranged with characteristic Neo-Georgian/Mediterranean details including light rendered elevations, hipped terracotta tiled roof, white painted timber double hung windows with timber shutters and restrained classical detailing.

The layout of the house develops around an internal courtyard which give it a 'U' shape, which is a classical reference to Italian classical layouts to provide natural light and ventilation to the house.

This house is listed in Schedule 5 of the Woollahra LEP 2014 as no. 51 and the National Trust of Australia (NSW) Register (S8382).

Sources:

State Library of NSW, PXD 351, Roll No.230, ff 1936-63, 4 rough sketches, 11 sketch plans, 2 plans, 11 prints dated 1945-6, 1948-9 for Capt. John Dowling, House - Alterations No.1 Rose Bay Road (Bellevue Hill).

Falkiner, Suzanne (ed.), *op.cit.*, 1923, *Laidley-Dowling, House, Rose Bay Ave, Bellevue Hill (with John D. Moore)*.

Woollahra Municipal Council Records, BA5/1924 and BA73/1949.



Figure 242 1 Rose Bay Avenue, Bellevue Hill rear elevation (Source: www.realestate.com.au)



Figure 243 1 Rose Bay Avenue, Bellevue Hill internal courtyard (Source: www.realestate.com.au)



Figure 244 1 Rose Bay Avenue, Bellevue Hill rear elevation (Source: www.realestate.com.au)



Figure 245 1 Rose Bay Avenue, Bellevue Hill north elevation (Source: www.realestate.com.au)

Silchester Flats at 4 Trahlee Road Bellevue Hill



Figure 246 Silchester Flats main elevation



Figure 247 Silchester Flats north facing elevation (source: www.realestate.com.au)

Sources:

State Library of NSW, PXD 351, Roll No. 231A, 231B, 231C, 231D, 231E, 231F, 231G, 231H, ff 1964-2134 2 block plans, 3 rough sketches, 25 sketch plans, 58 sketch details, 76 prints (including engineering, survey and lifts plans) for Sir John Cook, 1929-30, 1940, 1958, 1965 ; Roll No.233, ff 2203-7, House No.5 Trahlee Road, Bellevue Hill, 1939.

Falkiner, Suzanne (ed.), *op.cit.*, 1930, *Sir Joseph Cook, Silchester (Flats), Trahlee & Fairfax Rds, Bellevue Hill, £18,000, S. P. Walsh.*

Woollahra Records, BA379/1929.



Figure 248 Silchester Flats staircase and geometric grilles



Figure 249 Photo of Silchester Flats main elevation

Obtained from the conversion of a two-storey house into flats for Sir Joseph Cook in 1929 (BA379/1929) and built by S. P. Walsh for a cost of works of £18,000, this four storey residential flat building exhibits most of the restrained classical detailing typical of Wilkinson.

The building is organised around a central courtyard, with concrete geometric grilles, a tower, loggias, tiled roof, stuccoed walls, and white painted timber double hung sash windows with turquoise shutters painted.

The quality of detailing and functionality of the building results in a building with a strong visual impact demonstrating the characteristics of Wilkinson's work, maximising comfort and amenity with Classical motifs and detailing. It was built of reinforced concrete, which would have been an innovative material for the time.

Listed in Schedule 5 of the Woollahra LEP 2014 as no.59. It is also listed on the Australian Institute of Architects Register (4700697) and the National Trust Register. The National Trust register defines it "a functional building of great style designed by an architect who contributed enormously to Australian architecture".

Silchester Flats at 4 Trahlee Road Bellevue Hill

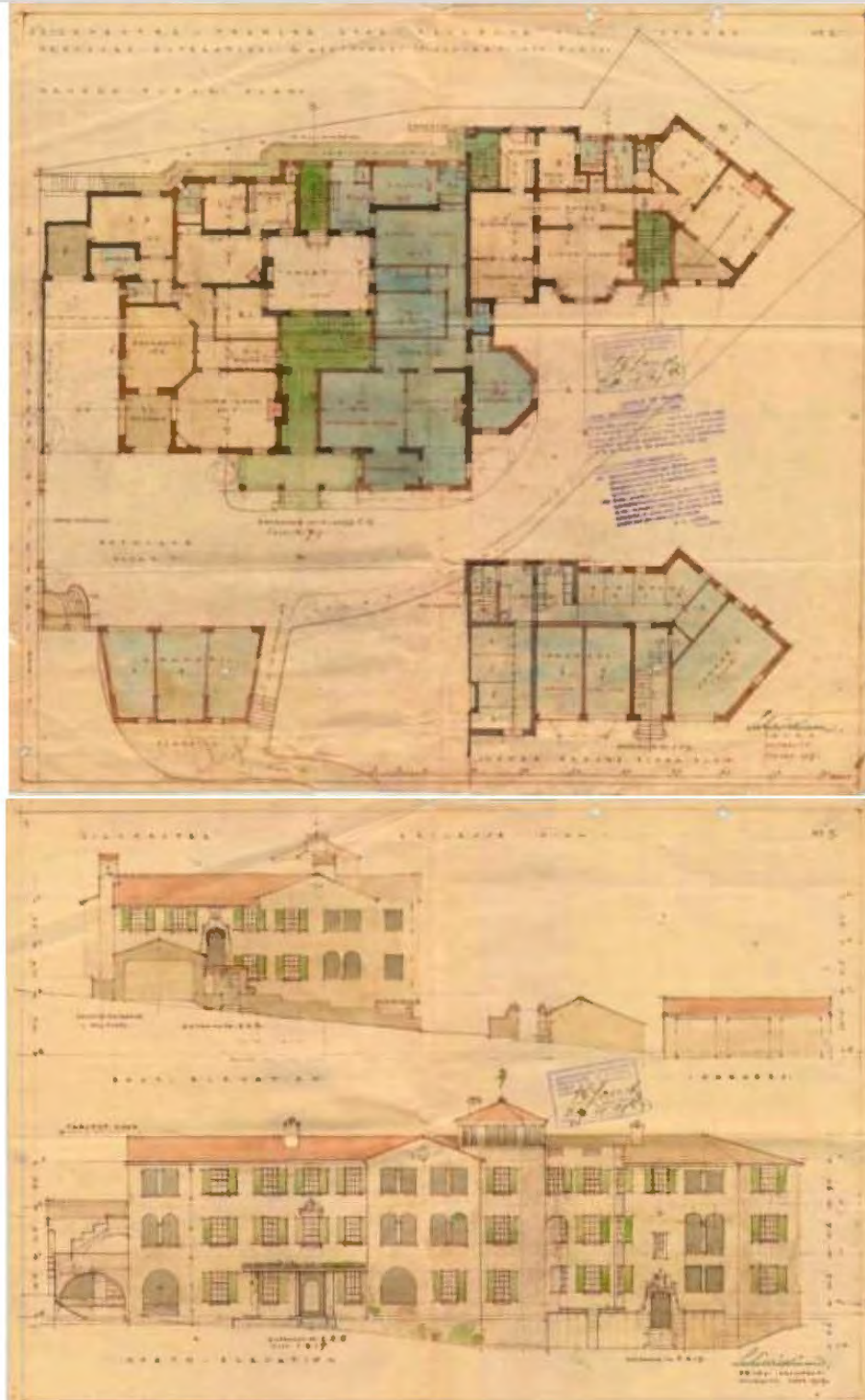


Figure 250 Architectural plans lodged with BA379/1929 (Woollahra Records)

Parkinson, 6 Wiston Gardens Double Bay



Designed in 1932 for Dr Charles Parkinson and built by F P Carswell on lot 7 of the Wistonville Estate for a cost of works of £2,586, this house was awarded the Sulman Award for excellent architecture in 1934.

This is a two-storey house with an L-shaped plan and a long wing facing the garden. Walls are stuccoed brick and reinforced concrete with a balcony projecting over the basement garage. Roof is terracotta tiles and the doors and windows are multi-pane timber framed referencing the Neo-Georgian style.

There are many fittings specifically designed by Wilkinson for the building and a very high standard of detailing.

Parkinson is listed as 'House and interiors, grounds, gardens' in Schedule 5 of the Woollahra LEP 2014 as no.231, also listed on the SHR as No. 209 under the *Heritage Act 1977*.

Listed on the Australian Institute of Architects Register (4700756) and the National Trust of Australia (NSW) Register (S8383).

Left: Figure 251 Photo from David Wilkinson thesis



Figure 252 Photo from the AIA Register card (Institute of Architects, NSW Chapter)

Sources:

State Library of NSW, PXD 351, Roll No.290, ff 2862-99, 5 rough sketches, 4 sketches, 1 plan, 18 drawings, 1 linen, 6 prints dated 1930-34 House Lot No.7 Wiston Gardens Double Bay for Dr Charles Parkinson.

Falkiner, Suzanne (ed.), *op.cit.* 1932, *Dr Parkinson, House, 6 Wiston Gardens, Double Bay, £2,586, F.P. Carswell.*

Woollahra Municipal Council Records, BA99/1932

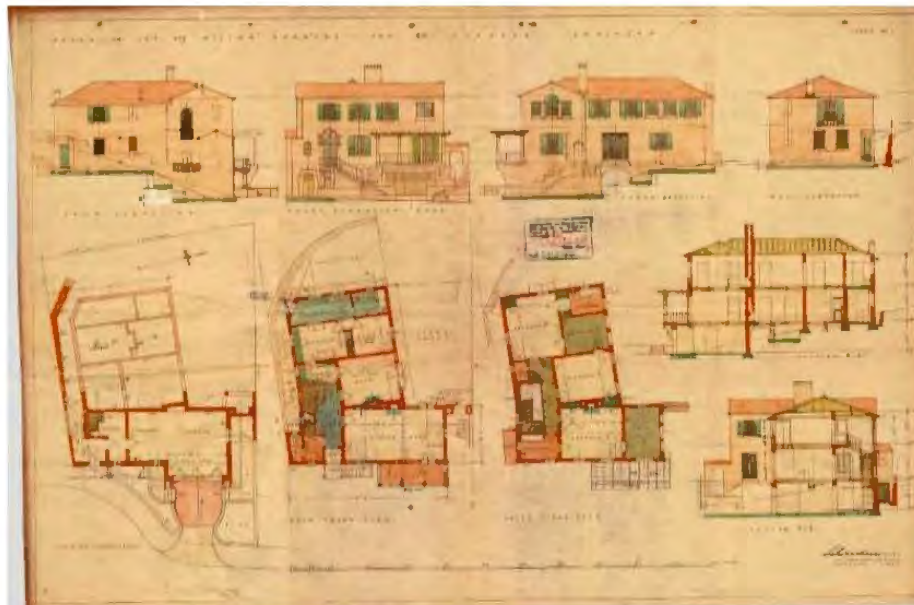


Figure 253 Architectural plans submitted with BA99/1932 (Source: Woollahra Records)

7 Boambillee Avenue Vaucluse



Figure 255 Photo of 7 Boambillee Avenue, Vaucluse
(Source: www.realestate.com.au)



Leslie Wilkinson designed this house for Professor Cyril S. Spooner, who was Dean of Civil Engineering at Sydney University and a close friend of Wilkinson, Dean of the newly created Faculty of Architecture.

Built by S P Walsh for a cost of £1,315 (BA(90)74/1933), Wilkinson also designed a new garage the same year (BA(9)143/1933) and alterations and additions in 1946 (BA(900)4/1946).

Additional alterations were also carried out for the new owner Claude Annivitti in 1960 (BA116/1960), built by Coleman & Kirk for a cost of £2,604.

This house is north-oriented with flagstone-paved terrace connecting to the living areas. Wilkinson referred to this house as a 'one-and-a-half storey house' due to the steep roof raked back steeply to give full height to the bedrooms.

This house is listed as 'House and interiors' in Schedule 5 of the Woollahra LEP 2014 as no.338/ Also listed on the Australian Institute of Architects Register (4700874).

Left: Figure 254 Photo of 7 Boambillee Avenue, Vaucluse
(Source: www.realestate.com.au)

Sources:

State Library of NSW, PXD 351, Roll No. 400, ff 4088-94, 1 sketch, 1 sketch plan, 2 drawings, 3 prints dated 1933, House Boambillee Avenue, Vaucluse for C Spooner.

State Library of NSW, PXD 351, Roll No.401, ff 4095-4104, 1 sketch, 2 plans, 1 linen, 6 prints dated 1933 and 1959, House – Additions & alterations No. 9 Boambillee Avenue, Vaucluse.

Falkiner, Suzanne (ed.), *op.cit.* 1934, C. Spooner, House, Boambillee Avenue, Vaucluse, £1,315, S.P.Walsh.

Falkiner, Suzanne (ed.), *op.cit.* 1960, Claude Annivitti, 7 Boambillee Avenue (Additions & alterations), £2,604, Coleman & Kirk.

Woollahra Records, BA(90)74/1933, BA(90)143/1933 and BA(900)4/1946

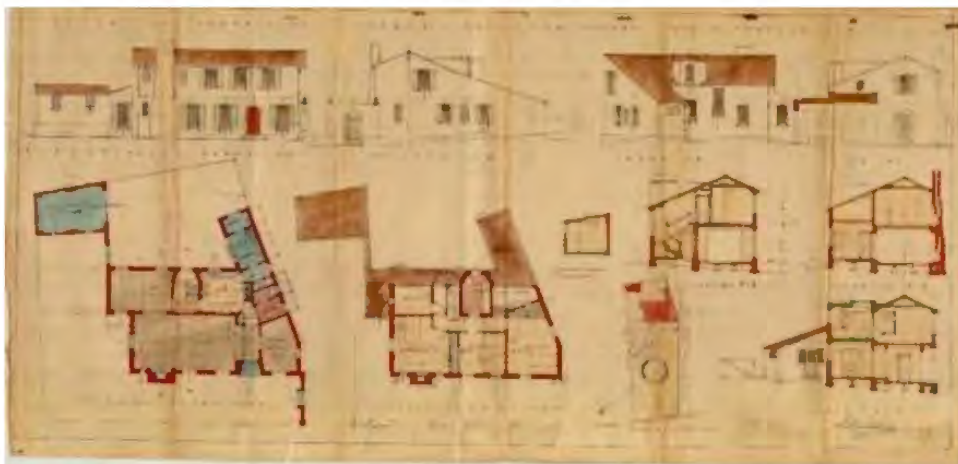


Figure 256 Architectural drawings from BA(90)74/1933 (former Vaucluse Council)

Carinya at 470-472 New South Head Road Double Bay



Designed for Mme. Rasborsek in 1934 (BA45/1934), this residential flat building was built by E L Walter for £4,194 on a small block along New South Head Road.

The building exemplifies Wilkinson's restrained classicism in its use of arched loggias, paint scheme, dentellated cornices and Diocleatian motif to the ground floor. Neo-Georgian timber framed multi-pane windows with shutters reference are also typical of the Inter-War Mediterranean style.

The structure of this building is reinforced concrete, which would have been an innovative material for the time.

Listed in Schedule 5 as "Carinya"—residential flat building and interiors' of the Woollahra LEP 2014 as no.209.

Figure 257 Main elevation of Carinya (Source: Google Streetview)

Sources:

State Library of NSW, PXD 351, Roll No.282 and 282A, ff 2773-2802, 2802A, 4 rough sketches, 6 sketch plans, 5 plans, 3 drawings, 10 prints, 1 coloured pencil sketch perspective (including 2 blueprints in association with The Trussed Concrete Steel Co Engineers), dated 1933-4, 'Carinya' Flats New South Head Road Double Bay for Madame Rasborsek.

Falkiner, Suzanne (ed.), *op.cit.*, 1934, *Mme Rasborsek, Carinya (Flats), 370 New South Head Road Double Bay, £4,194, E L Walter.*

Woollahra Records, BA45/1934.



Above: Figure 258 Max Dupain from Falkiner, Suzanne (ed.), *op.cit.*, Plate 44)

Left: Figure 259 Carinya, Double Bay in Drawings and photographs, 1878-1972 / Leslie Wilkinson, available online from the State Library of NSW collection (PXD 351)

Carinya at 470-472 New South Head Road Double Bay

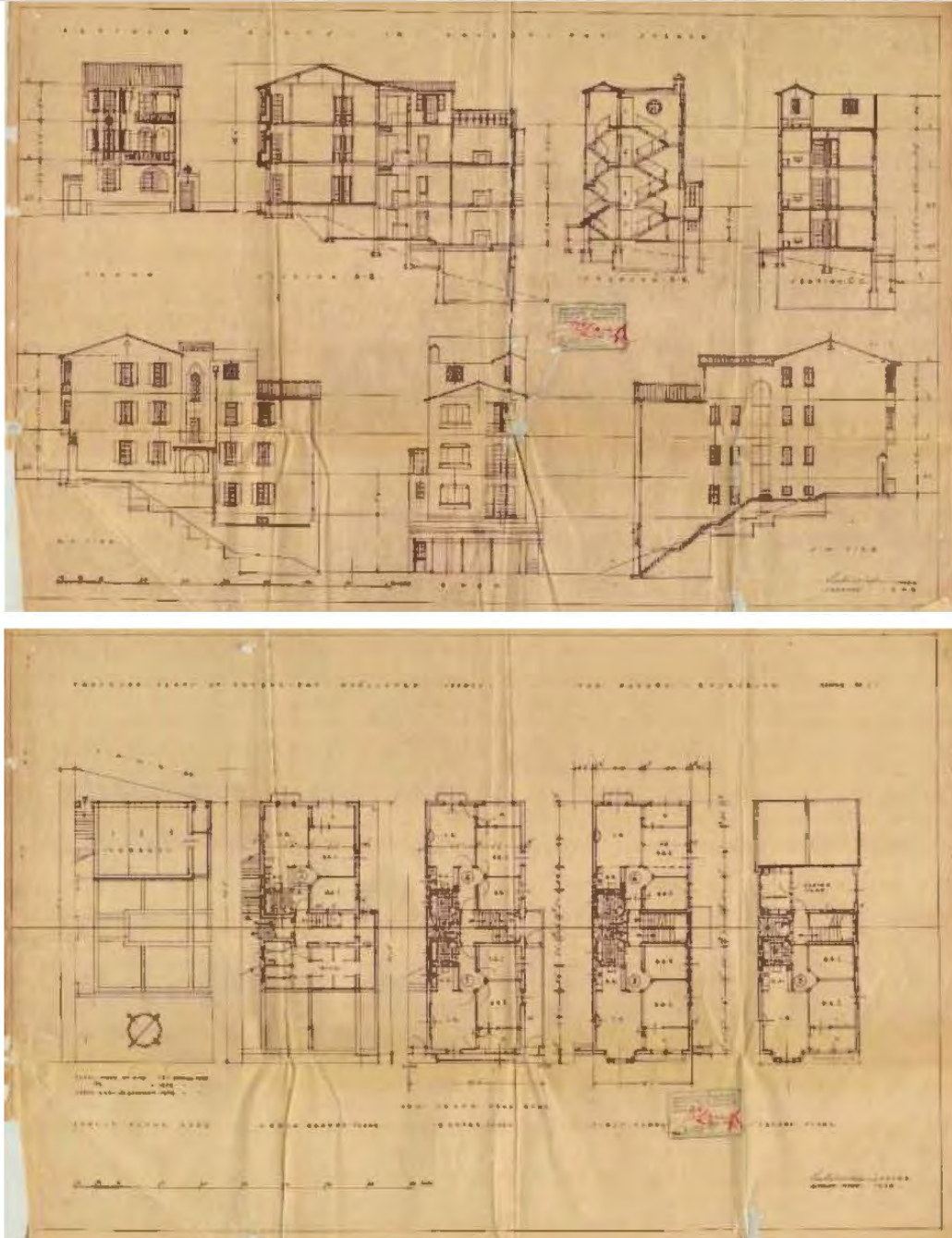


Figure 260 Architectural plans submitted with BA45/1934 (Source: Woollahra Records)

Rona Estate at 14 Ginahgulla Road, Bellevue Hill



Figure 261 northern elevation of Rona Estate (Source: www.realestate.com.au, 2018)



Figure 262 main elevation of Rona Estate (Source: www.realestate.com.au)



Figure 263 northern elevation of Rona Estate (Source: www.realestate.com.au, 2018)

Sources:

State Library of NSW, PXD 351, Roll No.227A, 227B and 227C, f 1825-1915, 1 sketch design, 7 sketch plans, 1 rough sketch detail; in association with R Keith Harris, Roll 227D, ff 1915A-1915B, 31 sketch details, 2 drawings, 46 prints, 5 blueprints for Sam Hordern Esq. dated 1934-38.

Falkiner, Suzanne (ed.), *op.cit.*, 1936, *Samuel Hordern, House, 14 Ginahgulla Road, Bellevue Hill, £7,692, A W Edwards.*

Woollahra Records, BA4/1935.

This house was designed by Professor Leslie Wilkinson in 1935 (BA4/1935) for Mrs Samuel Hordern upon her arrival from Melbourne when, prompted by the father, Clive R. P. Baillieu, she wanted a house in Sydney where to start her newly-married life.

Mrs Hordern really appreciated *Greenway* (Wilkinson's own house) and commissioned him a house with the same "feeling," thus indicating the local appreciation of Wilkinson's new Mediterranean style embraced in his own house.

The house was built by A W Edwards for a cost of works of £7,692. Sir Samuel Hordern, father of the owner, had specified 'a large number of bedrooms for his expected grandchildren, plenty of lawn and garden for them to play, and room in it for a Jersey cow so that they might have a daily supply of fresh milk.

The house is a refined example of a large house possessing well considered spatial arrangements that give sunny garden aspects to most rooms. It displays excellent details and Georgian/Mediterranean stylistic concepts that were the hallmarks of his career. It is the biggest house designed by Leslie Wilkinson and one of his favourite after *Greenway*, his own house.

Built in 1936 by A W Edwards, Rona Estate displays characteristic Wilkinson features including stuccoed brick walls painted in a light colour, voussoir arch, double-hung windows with dark green timber shutters, terracotta tiled hipped roof forms. A bow window in the dining room was the only client's request.

Rona Estate is Wilkinson's largest house and of the best examples of his domestic architecture apart from *Greenway*.

Listed in Schedule 5 of the Woollahra LEP 2014 as no.34.

Rona Estate is also listed on the Australian Institute of Architects Register (4700694) and the National Trust of Australia (NSW) Register (S8441).

Rona Estate at 14 Ginahgulla Road, Bellevue Hill



Figure 264 View of entrance to Rona Estate from David Wilkinson's thesis.



Figure 265 The Florentine Doorway, from *The Home*, Vol.19, No.6, 1 June 1938, p.60, photographed by Harold Cazneaux. Detail of Rona Estate at 14 Ginahgulla Road, Bellevue Hill



Figure 266 Home of Sam Hordern, photo by Harold Cazneaux, 1936 (Source: National Library of Australia)

Rona Estate at 14 Ginahgulla Road, Bellevue Hill

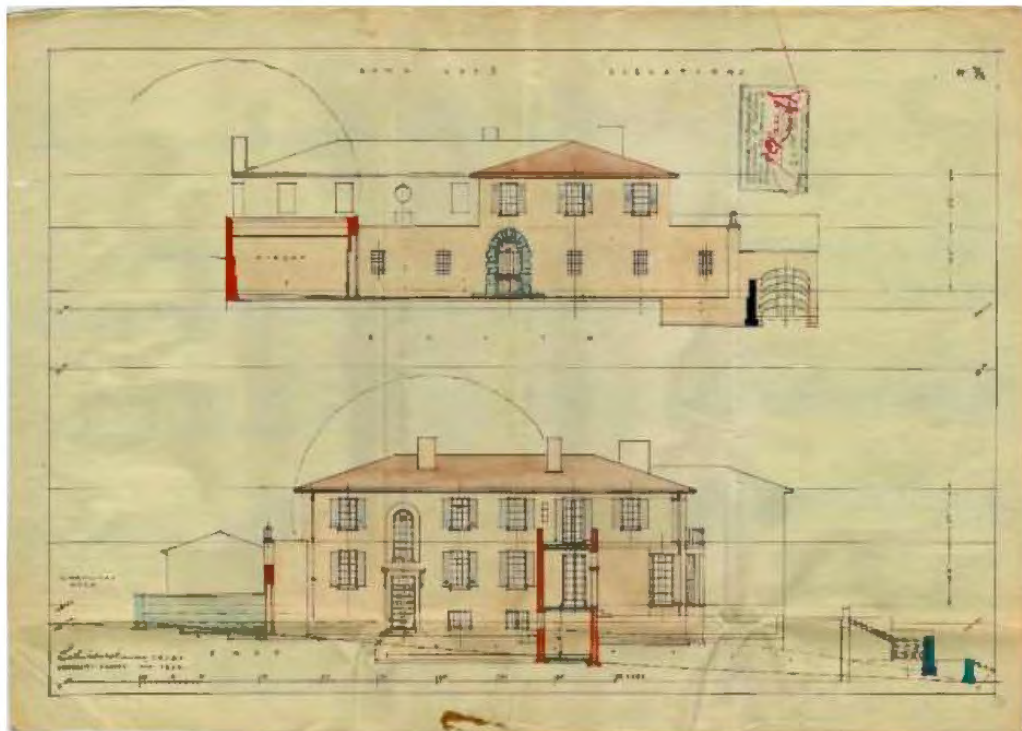
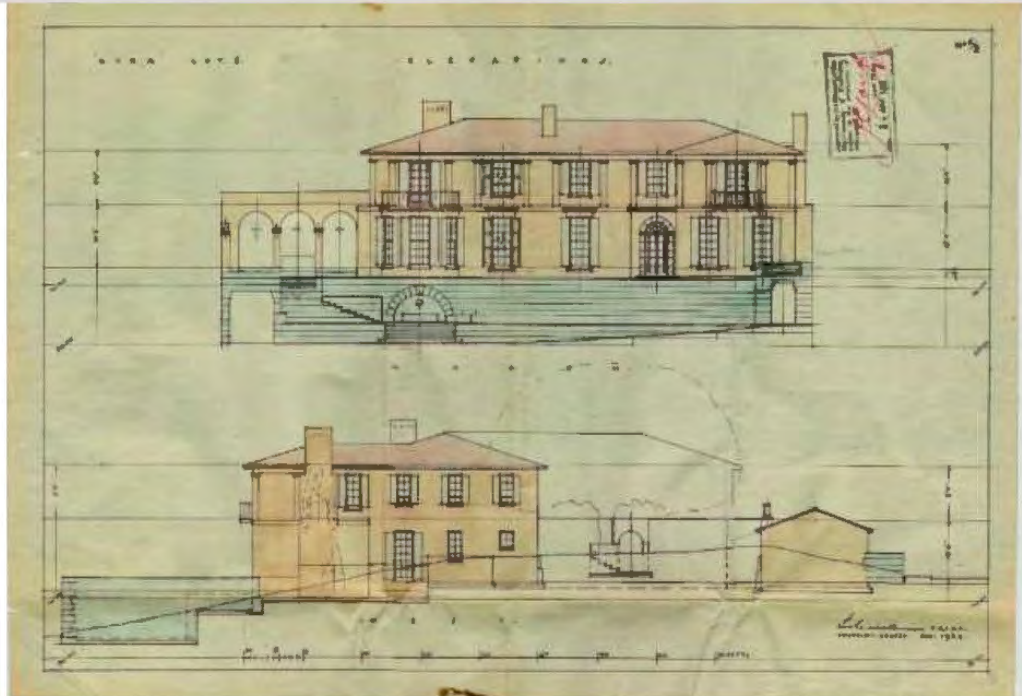


Figure 267 Architectural drawings submitted to Council through BA4/1935 (Woollahra Records)

Sweetapple, 5A Wiston Gardens, Double Bay



Figure 268 Main elevation of Sweetapple
(www.luigrosselli.com)

Previously known as 4 Wiston Gardens and built by H Mott on lot 5 of the Wistonville Estate, this is a two storey house designed by Wilkinson in 1936 for Dr H Sweetapple (BA 187/1936). It was built by H Mott for £2,792.

Designed to complement the adjacent Wilkinson house at 6 Wiston Gardens, this house has stuccoed brick walls, terracotta tiled roof, windows and shutters in the Neo-Georgian and Mediterranean style. The house steps up to follow the contour of the site

Listed in Schedule 5 of the Woollahra LEP 2014 as no.231, also listed on the SHR as No. 209 under the *Heritage Act 1977*.

Listed on the Australian Institute of Architects Register (4700755) and the National Trust of Australia (NSW) Register (S8384).

Sources:

State Library of NSW, PXD 351, Roll No.289, 289A, ff 2823-61, 2861A, 2 rough sketches, 7 sketches, 3 plans, 14 drawings, 14 prints dated 1936, House No.5 Wiston Gardens, Double Bay.

Falkiner, Suzanne (ed.), *op.cit.* 1936, *Dr. H. Sweetapple, House, 4 Wiston Gardens, Double Bay, £2,792, H. Mott.*

Woollahra Records, BA187/1936



Figure 269 The residence of Dr and Mrs H A Sweetapple (Source: *The Home*, No.19, No.1, 3 January 1938)

Sweetapple, 5A Wiston Gardens, Double Bay



Figure 270 Drawings by Leslie Wilkinson of Sweetapple (Source: State Library of NSW, PXD 351, Roll. No. 289, ff 2855 and 2856)

5-7 Trahlee Road Bellevue Hill



Figure 271 main elevation (Source: www.realestate.com.au)

Sources:

State Library of NSW, PXD 351, Roll No.232A, 232B, 232C, ff 2135-2202, 1936-7 for Mr George Beauford Grant, House Lot 8-9 Trahlee Estate, Trahlee Road, Bellevue Hill.

Falkiner, Suzanne (ed.), *op.cit.*, 1936, G. Beresford Grant, House, 5/7 Trahlee Road Bellevue Hill, £3,955, Carswell.

Woollahra Records, BA232/1936

This is a large, two storey house designed by Wilkinson in 1936 for G Beresford Grant and built by Carswell for a cost of works of £3,955 (BA232/1936).

The house displays characteristic features of Wilkinson's body of work, including north facing orientation, stuccoed walls, timber framed sash windows, prominent staircase, timber shutters, voussoir arch, Juliette balconies and terracotta coloured tiled roof.

Listed in Schedule 5 of the Woollahra LEP 2014 as no.60. Also listed on the Australian Institute of Architects Register (4700698) and the National Trust of Australia (NSW) Register (S8082).



Figure 272 Photo of 5-7 Trahlee Road from the Australian Institute of Architects Register cards, No.4700698.



Figure 273 photo from Savarton's thesis, Plate 22

5-7 Trahlee Road Bellevue Hill

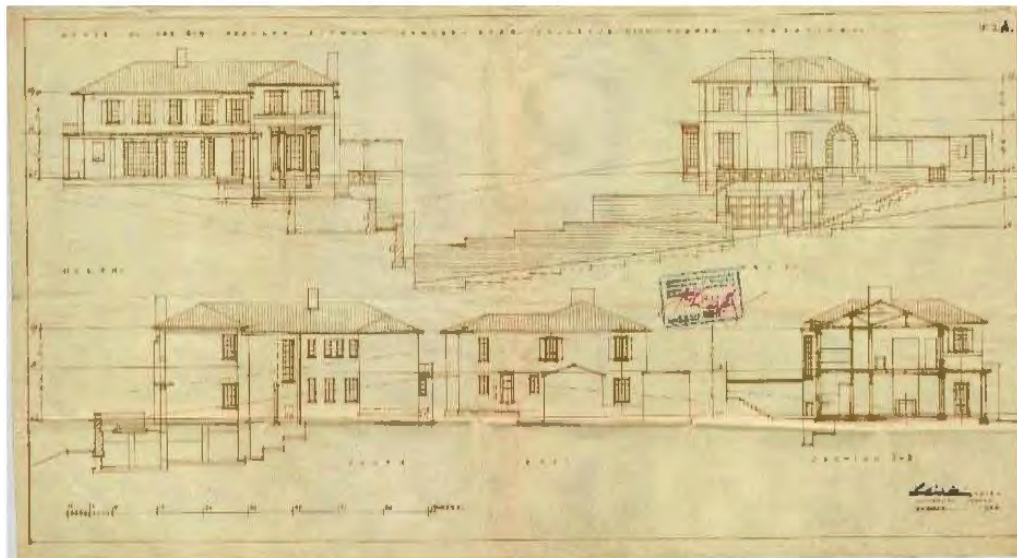
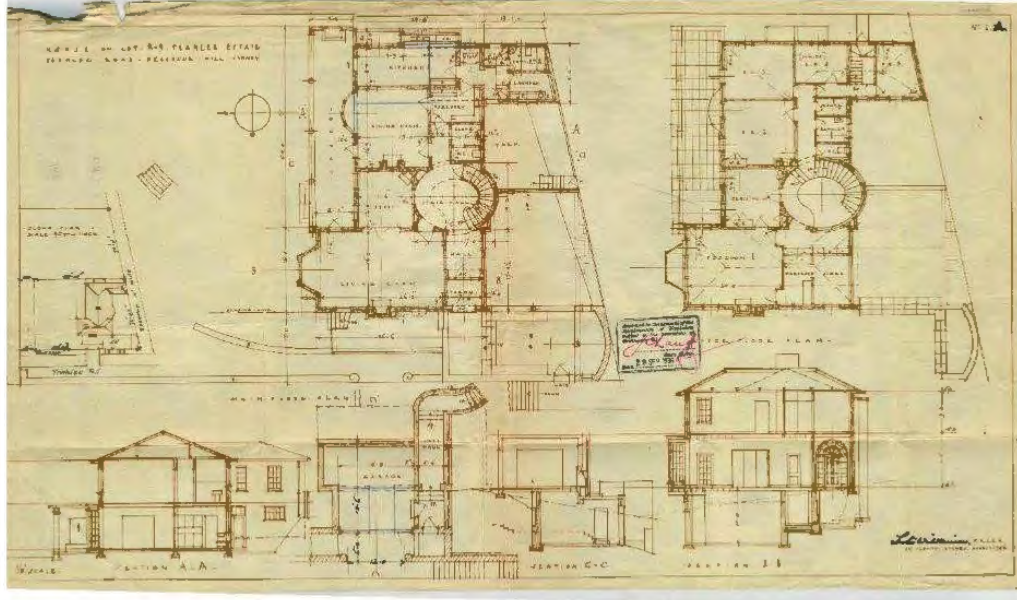


Figure 274 Architectural drawings from BA232/1936 for Mr Beresford Grant (Source: Woollahra Records)

80A Hopetoun Avenue Vaucluse



Designed by Wilkinson in 1937 for Mrs Moseley and formerly known as 88 Hopetoun Avenue, Vaucluse (BA(90)18/1937 former Vaucluse Council), this two-storey Inter-War Mediterranean house was built by Palmer for a cost of works of £3,060.

Overlooking Parsley Bay and located on a battleaxe allotment, the house develops around a forecourt in a 'T' shaped layout with the main rooms facing north. Entry to the house is through a short flight of steps winding around the circular turret containing the main internal stair and separately roofed under a segmented 'cap' style structure.

This house is listed in Schedule 5 of the Woollahra LEP 2014 as no.366.

Figure 275 Entrance to 80A Hopetoun Avenue, Vaucluse

Sources:

State Library of NSW, PXD 351, Roll No.408, ff 4147-64, 2 rough sketches, 1 plan, 8 drawings, 7 prints dated 1936-7, Residence Hopetoun Avenue, Vaucluse, for Dr & Mrs A H Moseley.

Falkiner, Suzanne (ed.), *op.cit.* 1937, *Mrs Moseley, House, 88 Hopetoun Avenue, Vaucluse, £3,060 Palmer.*

Woollahra Records, BA(90)18/1937 (former Vaucluse Council)



Figure 276 Pergola to the north elevation

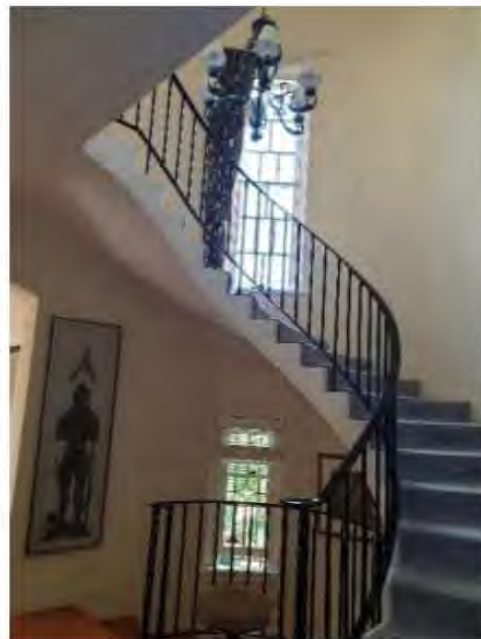


Figure 277 Circular staircase which connects the main entrance to the ground and first floor

80A Hopetoun Avenue Vaucluse



Figure 278 North elevation of 80A Hopetoun Avenue, Vaucluse

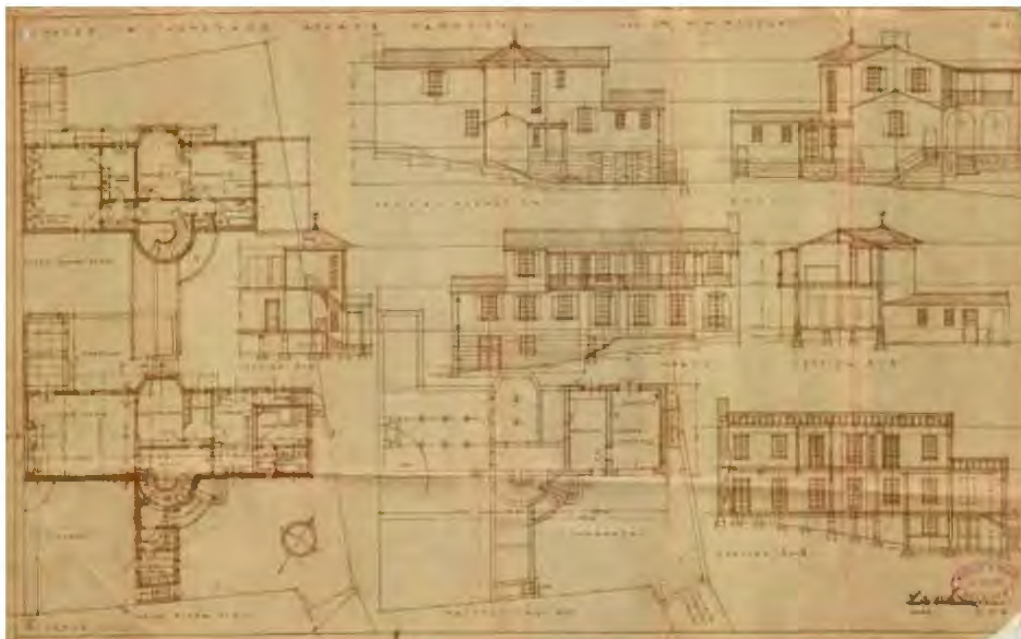


Figure 279 Architectural plans from BA(90)18/1937 (former Vaucluse Council) for Mrs Moseley (Source: Woollahra Records)

St Mary Magdalen's Church, 835 New South Head Road, Rose Bay



This Church was established in 1920 and completed to the design of architect J. Barlow (BA357/1923).

In 1932, Architect Austin McKay designed a tower to complete Barlow's design (BA97/1932), however it was never executed.

In 1933, Wilkinson was engaged to design the tower to complete St Mary's Magdalen's Church. In 1937, Wilkinson's design in association with Fowell, McConnell & Mansfield was lodged with Council (BA213/1937) and then built.

This church is listed in Schedule 5 of the Woollahra LEP 2014 as no.327.

Figure 280 St Mary Magdalen's Church in Rose Bay
(Source: Churches Australia)

Sources:

State Library of NSW, PXD 351, Roll No.75, ff 888-896, 2 sketches, 5 drawings, 1 print dated 1932, 1933, St Mary Magdalen Church Rose Bay

Falkiner, Suzanne (ed.), *op.cit.*, 1933, *Roman Catholic Church, St Mary Magdalene, New South Head Road, Rose Bay (Spire & Belfry)*.

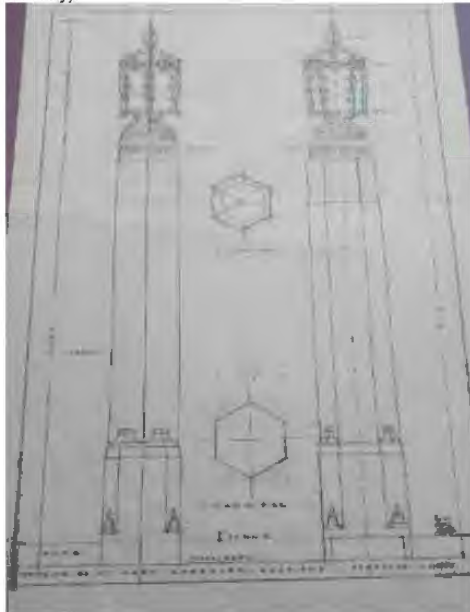


Figure 281 Detail of the lamps of St Mary Magdalen's Church (Source: State Library of NSW, PXD 351, Roll. No. 75 f 895)

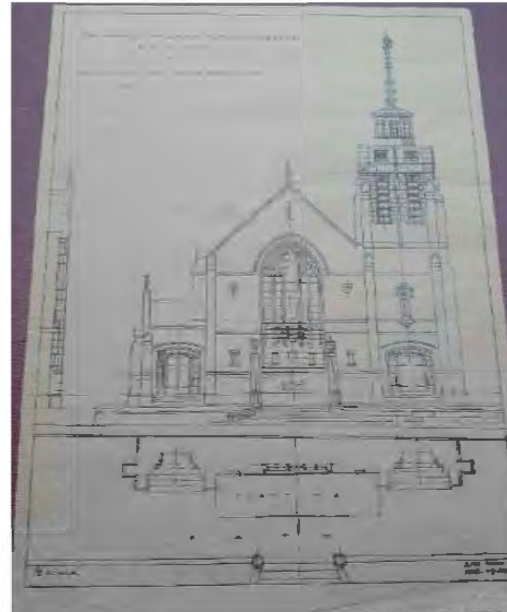


Figure 282 Proposed completion of St Mary Magdalene's Church in Rose Bay (Source: State Library of NSW, PXD 351, Roll. No. 75 f 896)

2 Wallaroy Road Woollahra



This dwelling was designed for Dr C. Parkinson in 1941, built by Coleman & Kirk for a cost of works of £3,083 (BA174/1941).

Another representative example of Wilkinson's Inter-War Mediterranean style, including arched entryway, loggias, French doors, multi-panes timber sash windows and tiled gabled roof form.

Listed in Schedule 5 of the Woollahra LEP 2014 as no.631.

Figure 283 Max Dupain's photograph of 2 Wallaroy Road, Double Bay (Source: Falkiner, Suzanne, ed., *op.cit.*, Plate 46)

Sources:

State Library of NSW, PXD 351, Roll. No.295A, 295B, ff 2981-3031, 1 block plan, 4 rough sketches, 12 sketch plans, 9 plans, 10 drawings, 13 prints, dated 1941-2, 1962, House No.2 Wallaroy Road, Edgecliff, for Dr C Parkinson.

Falkiner, Suzanne (ed.), *op.cit.* 1943, *Dr. Parkinson, House, 2 Wallaroy Road, Double Bay, £2,082, Coleman & Kirk.*

Woollahra Records, BA174/1941



Figure 284 2 Wallaroy Road, Double Bay (Source: www.dharchitect.com.au)



Figure 285 2 Wallaroy Road, Double Bay (Source: www.dharchitect.com.au)

2 Wallaroy Road Woollahra

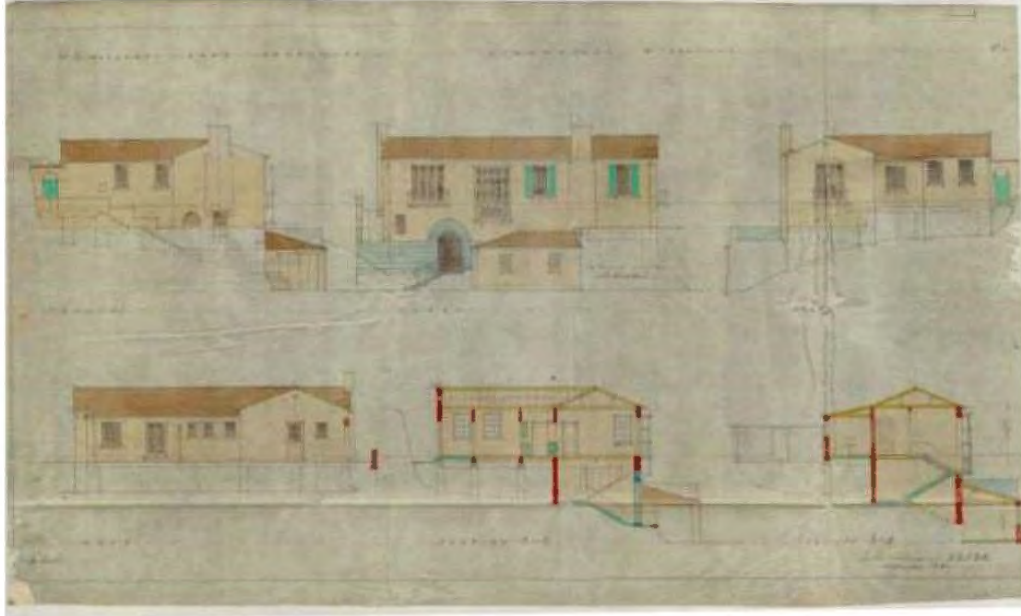


Figure 286 Architectural plans from BA174/1941 (Woollahra Records)

Vaynol at 69 Wolseley Road Point Piper



Previously known as 65 Wolseley Road, Point Piper, *Vaynol* was built by Woodward for a cost of £15,555 (BA256/1955).

This property was designed by Professor Leslie Wilkinson for Colonel Leslie James Moreshead in 1955, a long term client who had previously owned another Wilkinson design, *Westray* at 34 Wentworth Road Vaucluse.

The Colonel only lived in it for a few years, dying in September 1959.

This house is well hidden from the public view, elevated above the street, bounded by a stone retaining wall and accessed through a narrow decorated gateway.

The house underwent alterations and additions in 1985 through the addition of an eastern wing and an internal northern courtyard. A second garage was excavated in the solid rock to the front of the house

This house is listed in Schedule 5 of the Woollahra LEP 2014 as no.294.

*Figure 287 streetfront elevation visible from the street
(Source: David Wilkinson's thesis)*

Sources:

State Library of NSW, PXD 351, Roll No.358A, 358B, 358C, ff 3703-3748, 1 rough sketch, 4 sketch plans, 5 plans, 12 drawings, 23 prints, 1 blueprint dated 1955, House 65 Wolseley Road, Point Piper for Sir Leslie Morehead.

State Library of NSW, PXD 351, Roll No.359, f 3749-68, 2 sketch plans, 13 drawings, 4 prints, 2 blueprints, 1 letter, dated 1955 House No.69 Wolseley Road, point Piper.

Falkiner, Suzanne (ed.), *op.cit.*, 1955 *General Moreshead, House, 69 Wolseley Road Point Piper, £15,555, Woodward.*

Falkiner, Suzanne (ed), *op.cit.* 1963, *General Moreshead, Wolseley Road, Point Piper (Party Wall), £207, Arnold.*



Figure 288 architectural plans of 69 Wentworth Street, Point Piper from BA265/1955 (Source: Woollahra Records)

5 Quambi Place, Edgecliff



Figure 289 Max Dupain photo from Falkiner, plate 54

This two storey rendered house was designed for Tom Reynolds in 1959, built by Girvan Bros for a cost of £13,792 (BA87/1959).

Wilkinson designed also alterations and additions in 1964, built by Girvan Bros for £8,800 (BA648/1964).

This is a two-storey rendered house framed by eucalypts in a cul-de-sac, incorporating a garage in its front elevation.

It is a representative example of Wilkinson's Inter-War Mediterranean style with segmental arches, grilled windows, rendered walls and multi-pane timber framed double hung windows with shutters. The drawing room to the ground floor is extended by a bay window with Juliet balcony above.

This house is listed in Schedule 5 of the Woollahra LEP 2014 as no.242.

Sources:

State Library of NSW, PXD 351, Roll No.298, ff 3038-703, 7 rough sketches, 5 sketch plans, 16 drawings, 5 prints, dated 1958-9, 1964, House Lot 3, No.5 Quambi Place, Edgecliff.

Falkiner, Suzanne (ed.), *op.cit.* 1959, *Tom Reynolds, House, 5 Quambi Place, Edgecliff, £13,792, Girvan Bros.*

Falkiner, Suzanne (ed.), *op.cit.* 1964, *Tom Reynolds, 5 Quambi Place (Alts & Adds), £8,800, Girvan Bros.*

Woollahra Records, BA648/1964



Figure 290 Architectural drawings lodged with BA87/1959 (Source: Woollahra Records)

21 Wentworth Street, Point Piper



Figure 291 Aerial view of 21 Wentworth Street, Point Piper
(Source www.realestate.com.au)

Designed for Mr McGregor and built by Bryant for £24,844 (BA880/1963), this house is Wilkinson's second last house design.

In 1969-70, the house changed ownership and Wilkinson designed some additions for Dr Philip Rundale. These plans however do not appear in the Woollahra Building Register and may have never been lodged.

This is a two storey rough cast stucco brick building with a terracotta tiled roof, six paned double hung sash windows with shutters, laid in a U-shape around a courtyard. Simple detailing, typical of Wilkinson's style, Georgian Revival appearance with a small lantern on the roof.

This house is listed in Schedule 5 of the Woollahra LEP 2014 as no.287 and the National Trust of Australia (NSW) Register (S8379).

Sources:

State Library of NSW, PXD 351, Roll No.354A, 354B, ff 3652-92, 2 rough sketches, 3 sketch plans, 7 plans, 5 drawings, 19 prints and 4 prints by Laurie & Montgomerie Consulting Engineers, dated 1963-4 for Ronald P McGregor.

State Library of NSW, PXD 351, Roll No.355 and 356, ff 3693-8, 3699, 2 sketch plans, 1 plan, 3 prints dated 1969-70 for Dr Philip Rundale, including 1954 survey plan by G Wood Surveyor.

Falkiner, Suzanne (ed), *op.cit.*, 1964, R. P. McGregor, House, 21 Wentworth Street, Point Piper, £24,844, Bryant.

Woollahra Records, BA880/1963



Figure 292 Aerial view of 21 Wentworth Street, Point Piper
(Source www.realestate.com.au)



Figure 293 Aerial view of 21 Wentworth Street, Point Piper
(Source www.realestate.com.au)

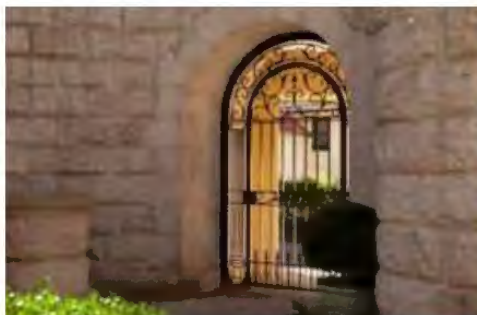


Figure 294 Aerial view of 21 Wentworth Street, Point Piper
(Source www.realestate.com.au)



Figure 295 Aerial view of 21 Wentworth Street, Point Piper
(Source www.realestate.com.au)

21 Wentworth Street, Point Piper

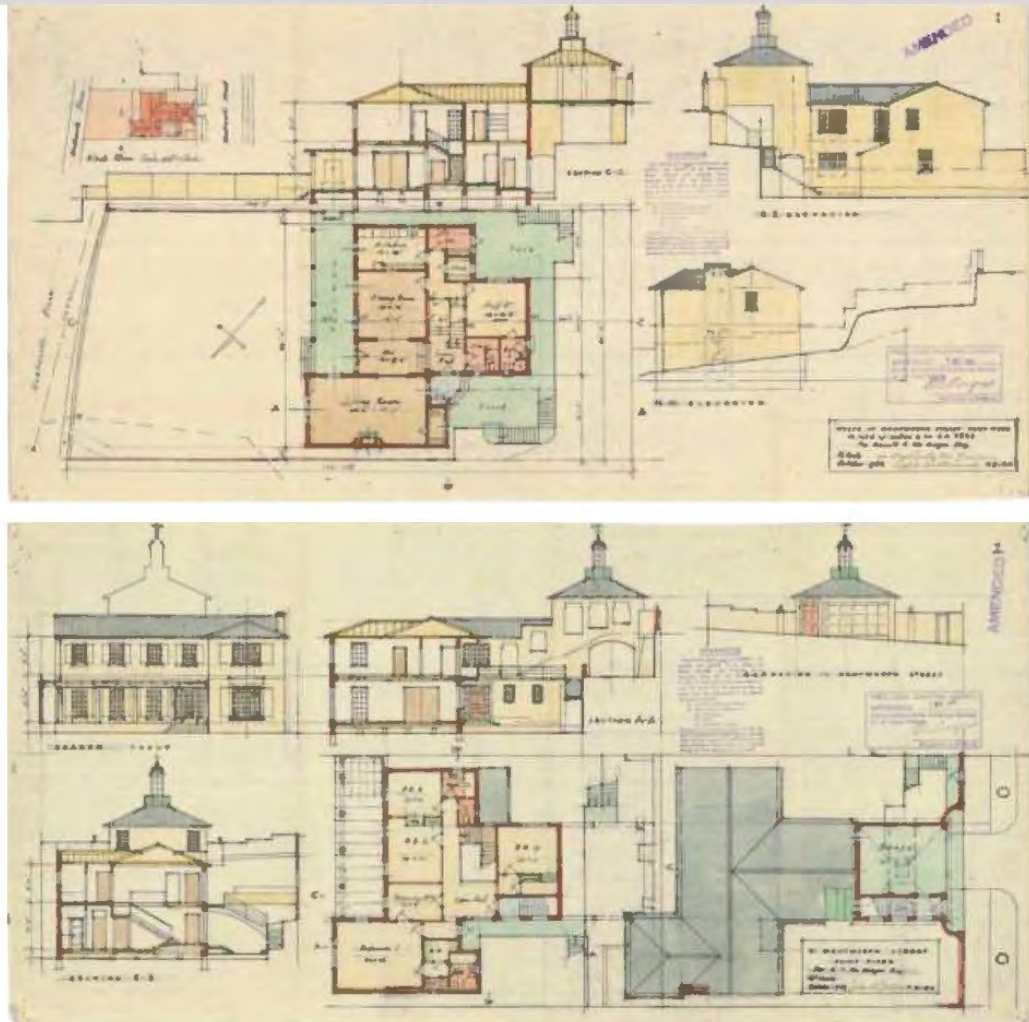


Figure 296 Plans from BA880/1963 for Mr McGregor (Source: Woollahra Records)

20 The Crescent, Vaucluse



Figure 297 20 The Crescent, Vaucluse from the street

Designed for Mr Coote in 1969 and built by Bottomley and Son, this is the last complete house designed by Wilkinson before his death (BA413/1969) for a cost of £80,000.

The client grew up in Bellevue Hill near Rona Estate and, after buying some land in Vaucluse, he commissioned Wilkinson a house that would remind him of Rona Estate, which was inspired by Wilkinson's house *Greenway*.

Designed by Wilkinson with an "L" shaped form and a characteristic 'top knot' or fleche crowning the junction of the two wings, it includes typical Inter-War Mediterranean detailing such as loggias, bagged concrete painted cream walls and gabled roof.

This house is listed in Schedule 5 of the Woollahra LEP 2014 as no.394.

Sources:

State Library of NSW, PXD 351, Roll No.431, ff 4412-55, 3 sketches, 7 sketch plans, 5 plans, 12 drawings, 16 prints and 1 print by Wallis & Moore surveyors, dated 1969 for Anthony Coote.

Falkiner, Suzanne (ed), *op.cit.*, 1969, A.E. Coote, House, 20 The Crescent, Vaucluse, £80,000, Bottomley.

Woollahra Records, BA416/1969



Figure 298 Internal courtyard, from David Wilkinson thesis



Figure 299 Courtyard of 20 The Crescent photographed by Max Dupain (Source: Falkiner, Suzanne, ed., *op.cit.*, Plate 29



Figure 300 20 The Crescent, Vaucluse from David Wilkinson thesis

20 The Crescent, Vacluse

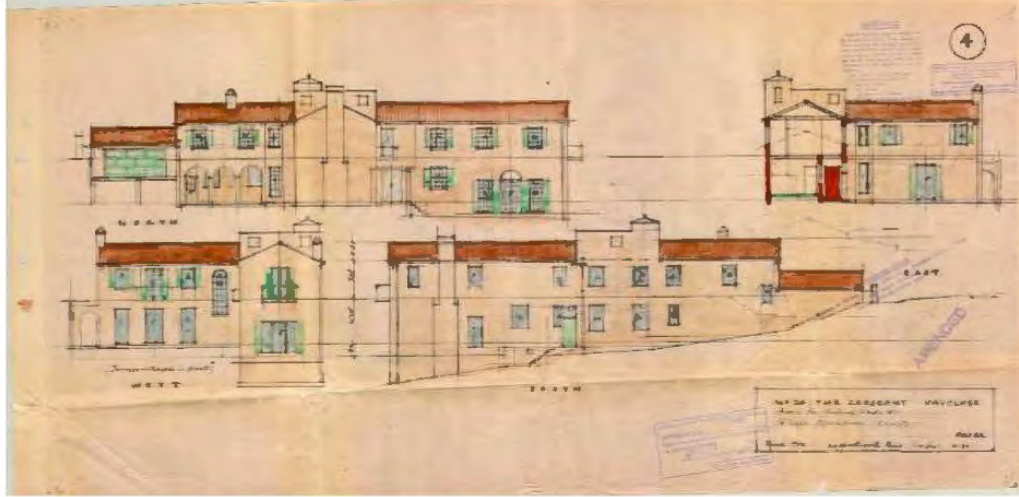


Figure 301 plans submitted with BA413/1969 (Source: Woollahra Records)

A.1.2 Alterations and additions by Leslie Wilkinson

Westray at 34 Wentworth Road Vaucluse



Designed by Wilkinson as alterations and additions for Colonel Moreshead, this two-storey house was built by Wilson Bros in the Mediterranean and Georgian style (BA(9)115/1927) for a cost of works of £3,240.

Wilkinson also designed modifications that were built in 1938 by Palmer for £600 (BA(9)356/1938 former Vaucluse Council).

Entry to the house, both pedestrian and vehicular is through a wall into an enclosed courtyard. Square rendered pillars either side of the wall opening support a curved rail from which a metal and glass faceted light fitting hangs.

This house is listed in Schedule 5 of the Woollahra LEP 2014 as no. 414.

Figure 302 *Westray at 34 Wentworth Road, Vaucluse*
(Source: Alan Stanton, 1992)

Sources:

State Library of NSW, PXD 351, Roll No.428A and 428B, ff 4360-92, 1 rough sketch, 6 sketch plans, 13 drawings, 1 linen, 8 prints, 4 blueprint dated 1927 and 1937, House 'Westray' 34 Wentworth Road, Vaucluse.

Falkiner, Suzanne (ed.), *op.cit.* 1928, *Col. Moreshead, Westray, 34 Wentworth Road, Vaucluse (Alts.)*, £3,240, Builder Wilson Bros.

Falkiner, Suzanne (ed.), *op.cit.* 1938, *Col. Moreshead, 34 Wentworth Road Vaucluse (Alterations)*, £600, F. Palmer.

Woollahra Records, BA(9)115/1927 (former Vaucluse Council)

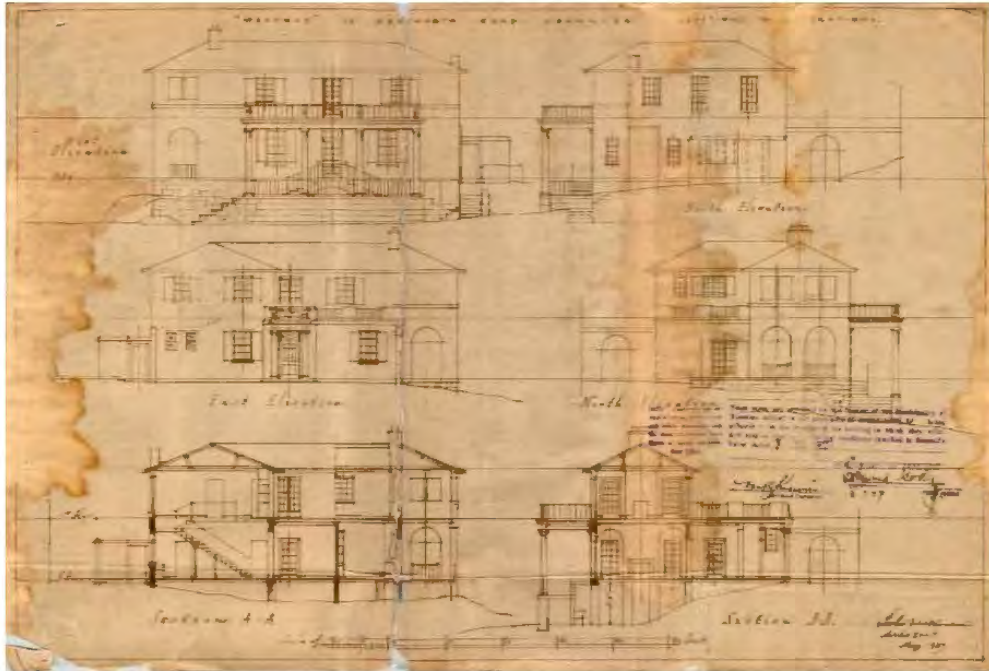


Figure 303 *Architectural plans lodged with BA(9)115/1927* (Source: Woollahra Records, former Vaucluse Council)

Milestone at Robertson Park



Figure 304 Milestone Obelisk at Robertson Park

Erected in 1811 by Governor Macquarie to commemorate the completion of South Head Road, this sandstone obelisk is mounted on a plinth, with an inscription incised in the vertical face of the plinth. Stonemason Cureton obtained the sandstone from the Governor's Domain.

In 1929 Wilkinson designed a plinth to elevate the obelisk, with the drawing being in the State Library's collection. It is believed that this modification of the obelisk were never undertaken, for reasons unknown.

In 1929, an iron rail surrounded the Obelisk and required maintenance (Vaucluse Works Committee, October 1929). On 15 January 1930, £18 authorised for the year 1929 but not yet used were put aside by Vaucluse Council to repair the obelisk. According to the 31 December 1934 Financial Statement for Vaucluse Council, R Joyner & Sons were paid to repair the obelisk. However, several entries in 1938 outline more damage to the iron railing around the obelisk.

The Milestone obelisk is listed as a local heritage item in the Woollahra LEP 2014 as No.459.

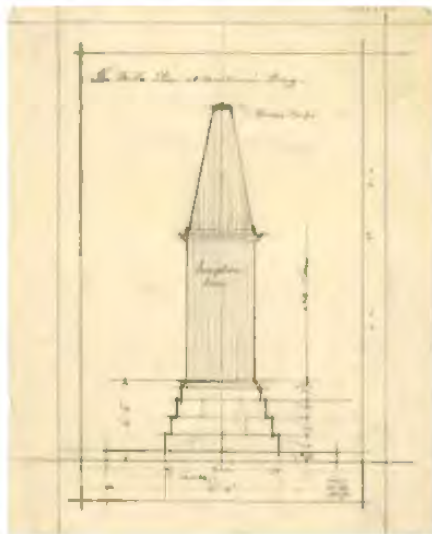


Figure 305 Wilkinson design to upgrade the Milestone Obelisk at Robertson Park (Source: State Library of NSW)

A HISTORICAL RELIC.—This inscription is on a stone obelisk at Watson's Bay, near the old Vaucluse Hotel, and regards the making of a road, presumably the Old South Head road. Just whether we can make any sort of road in the time herewith recorded, however, is a question.



112 YEARS AGO.—The obelisk at Watson's Bay, which bears the above inscription. (See story elsewhere.)

Figure 306 Extract from 'Watsons Bay Curiosity,' Evening News, Wed 6 August 1924, p.12

Sources:

"Roads and Obelisks Played Prominent Part in Our Early History" (20 March 1927). *Sunday Times*, p. 5. Accessed at <http://nla.gov.au/nla.news-article128511242>, viewed 4 February 2022

State Library of NSW, PXD 351, Roll No.141, ff1281, 1 drawing dated 1929

Watsons Bay Curiosity (1924, August 6). *Evening News*, 6 August 1924 (Sydney, NSW : 1869 - 1931), p. 12. Available online at <http://nla.gov.au/nla.news-article119977229>, viewed February 4, 2022

Kamilaroi at 125 Victoria Road, Bellevue Hill



In 1929 Wilkinson designed alterations and additions for Dr Godsall, built by S P Walsh for a cost of works of £4,070 (BA259/1929).

A single storey building with characteristic Mediterranean coloured tiled roofing, cream coloured rendered walls with timber framed sash windows and shutters. The entrance is through a colonnaded porch with semi-circular arches on tapered concrete columns.

Dr Godsall was a prominent ear, nose and throat specialist at the University of Sydney Medical School. He later commissioned Wilkinson a house, *Greyleaves* at Burradoo in 1934.

Listed in Schedule 5 of the Woollahra LEP 2014 as no.69. Also listed on the Institute of Architects Register (4700702).

Figure 307 View of Kamilaroi (Source: www.realestate.com.au)

Sources:

State Library of NSW, PXD 351, Roll No.236, ff 2220-2254, 2 rough sketches, 4 sketch plans, 21 drawings, 7 prints dated 1929-31 for Dr R S Godsall, including 1 survey plan by Frank Mason Land & Engineering Surveyor.

Falkiner, Suzanne (ed), *op.cit.*, 1929, *Dr. Godsall, 125 Victoria Road Bellevue Hill (Alts & Adds)*, £4,070, S.P. Walsh



Figure 308 Photo of 125 Victoria Road from the Australian Institute of Architects Register cards, No.4700702

Kamilaroy at 125 Victoria Road, Bellevue Hill

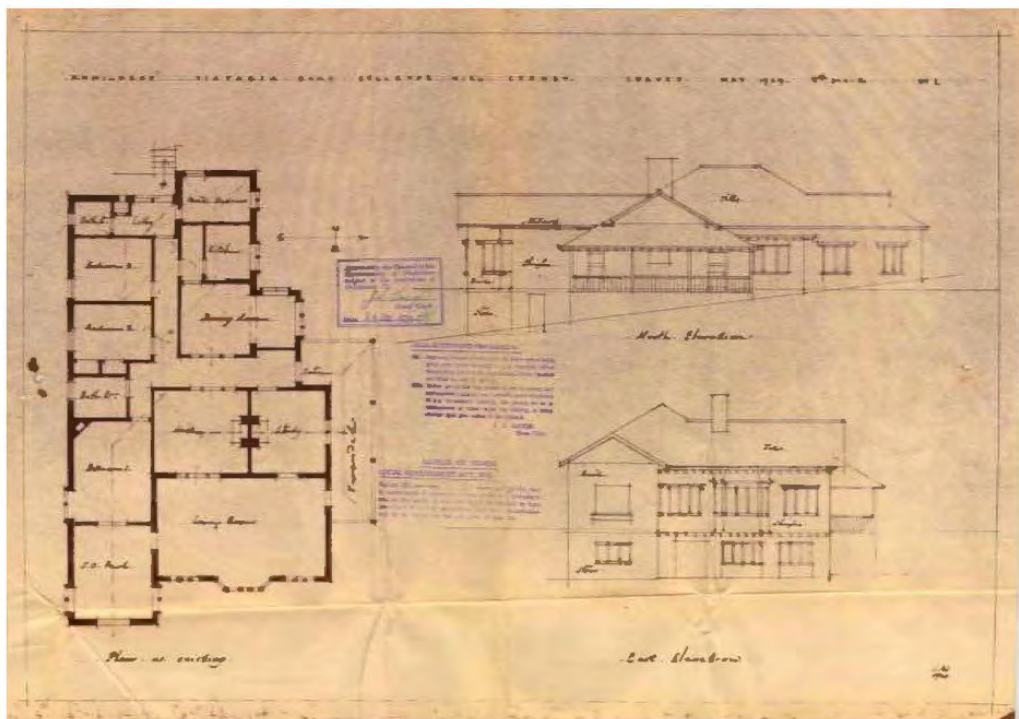
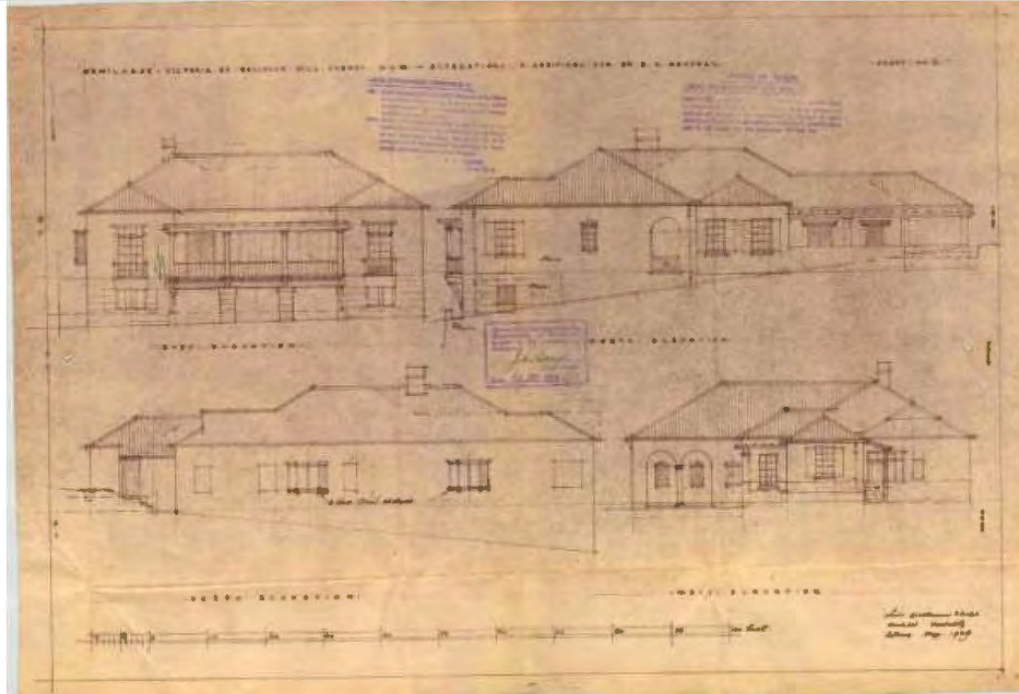


Figure 309 Architectural drawings submitted with BA29/1929 (Woollahra Records)

1 St Michaels Place Vacluse, St Michael's Church



Figure 310 St Michael's Place (Source: www.sydneyorgan.com)

Originally designed by Edmund Blacket in 1875, only part of the original design had been built by 1928 Wilkinson when he was appointed to finish the construction of St Michael's Church.

In 1929, Wilkinson added a Hall, built for £4433 by J M Robertson. In 1931, he added a transept extension (BA(90)64/1931 former Vacluse Council), built for £280 and built by Brent Bros. As Diocesan Architect for the Church of England he continued with further alterations and additions in 1937 (BA(90)85/1937 former Vacluse Council) and 1959 (BA44/1959).

With St Michael's Church, in 1942 Wilkinson was awarded the prestigious Sulman Award, the second of such award for his career.

St Michael's Church is listed in Schedule 5 of the Woollahra LEP 2014 as no.393. Also listed on the Australian Institute of Architects Register (4700879) and the National Trust of Australia (NSW) Register (S9910).

Sources:

Falkiner (ed), *op.cit.*, 1929 Church of England, St Michael's Church, Gilliver Avenue, Vacluse (Hall), £4,433, J M Robertson

Falkiner (ed), *op.cit.*, 1931 Church of England, St Michael's Church, Gilliver Avenue, Vacluse (Transept Extension), £280, Brent Bros

Falkiner (ed), *op.cit.*, 1937 Church of England, St Michael's Church, Gilliver Avenue, Vacluse (Additions), £4,456, F Carswell

Falkiner (ed), *op.cit.*, 1957 Church of England, St Michael's Church, Gilliver Avenue, Vacluse (Alterations), £1,907, V Marshall



Figure 311 St Michaels Church, Vacluse (Source: *Architecture*, Vol.36 No.4, 1 October 1948)



Figure 312 St Michaels Church, Vacluse

1 St Michaels Place Vaucluse, St Michael's Church

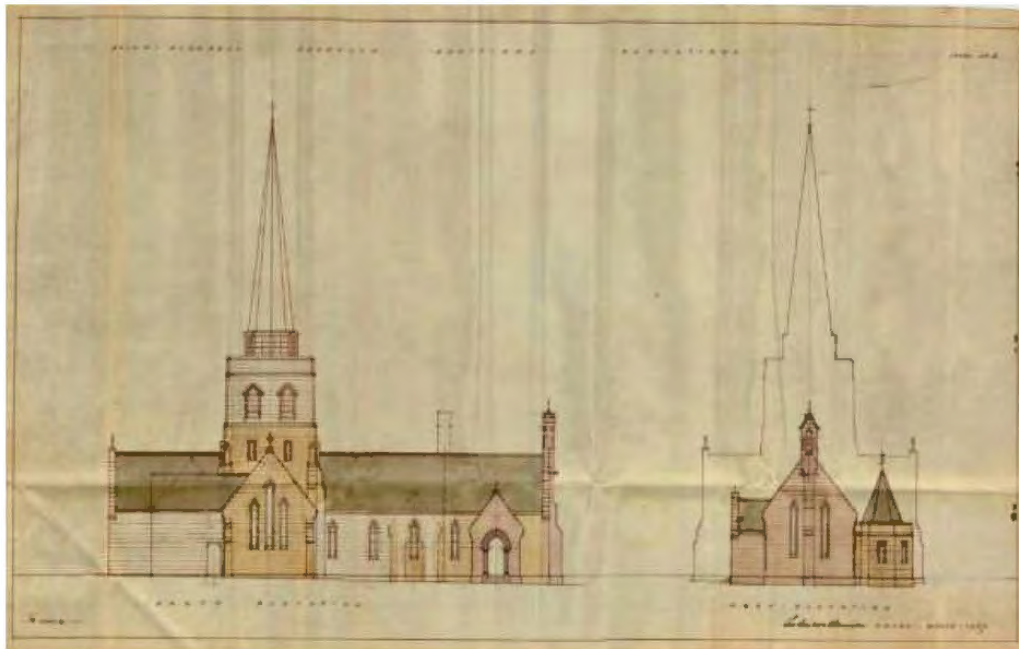
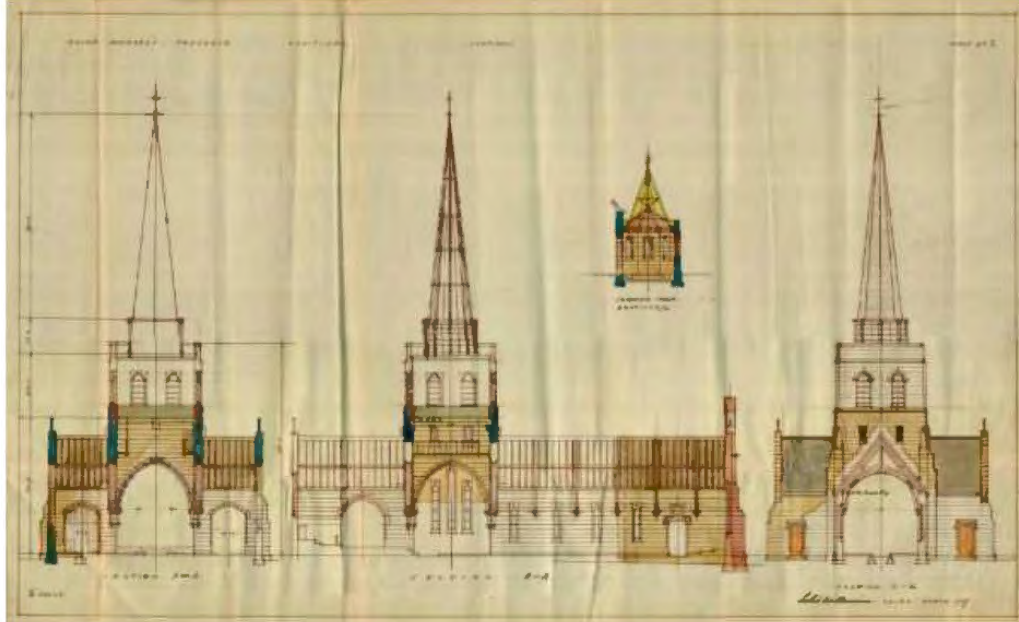


Figure 313 Plans from BA(90)85/1937 for St Michaels Church, Vaucluse (Source: former Vaucluse Council, Woollahra Records)

Clunes at 3 The Grove, Woollahra (153A Queen Street Woollahra)



This group of buildings were built as a rare planned inner suburban development built in 1875 in the Gothic Revival style. They comprise six single storey Italianate houses facing an English style 'green common' originally known as Walker Street.

In 1934 Leslie Wilkinson made alterations to no 3 The Grove, including a first floor addition (BA100/1934). This was built by Sp Walsh for a cost of works of £1,084.

This property is listed in Schedule 5 of the Woollahra LEP 2014 as No. 583 and the National Trust of Australia (NSW) Register (S11498)

Figure 314 aerial from Woollahra MAPS

Sources:

State Library of NSW, PXD 351, Roll No.450, ff 4733-6, 2 plans, 1 drawing, 1 print, dated 1934, House 'Clunes' The Grove off Queen Street Woollahra for Dr J C Hall-Best.

State Library of NSW, PXD 351, Roll No.451, ff 4737-8, 1 plan, 1 drawing dated 1934 and 1939, House No. 3 The Grove 153A Queen Street, Woollahra.

Falkiner, Suzanne (ed.), *op.cit.* 1934, *Dr. Hall-Best, 3 The Grove, Woollahra (Alterations)*. £1,084, S. P. Walsh.

Woollahra Records, BA100/1934

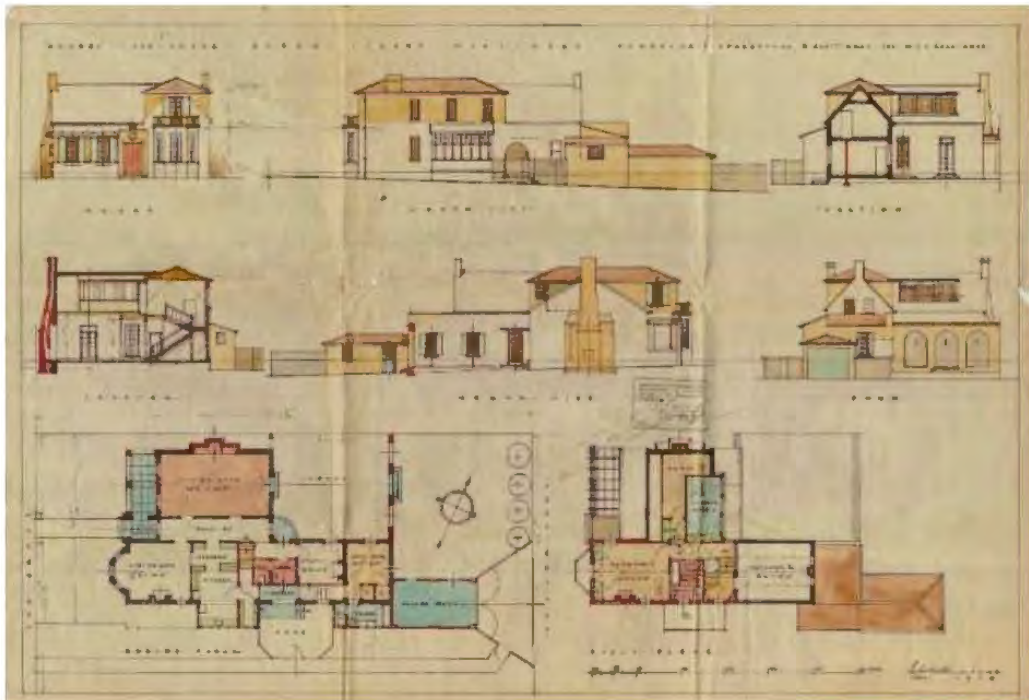


Figure 315 Plans from BA100/1934 for Clunes (Source: Woollahra Records)

Headingley at 11 Wellington Street Woollahra



Figure 316 11 Wellington Street, Woollahra (Source: www.realestate.com.au)

"L" shaped two storey Inter-War Mediterranean house built from the remodelling of an earlier 1880 Victorian house for Sir Norman Kater.

By exploring a new "T" shaped layout, and by inserting Inter-War Mediterranean references to the house such as a new loggia entrance, multi-panes timber sash windows, arched entryway to courtyard, balustrade balcony and a full refit of the interiors, Wilkinson undertook a complete remodeling and additions to this house (BA37/1939).

The works were executed by Roseweare for a cost of £4,708.

In 1949, Headingley was purchased by Sir Percy Spender. By 1958, an application was lodged to split the property into two dwellings (BA228/1958), which was eventually reversed through further approvals.

Listed in Schedule 5 of the Woollahra LEP 2014 as no.652. Referred to on plans as '9 Wellington Street' but actually referring to the property at 11 Wellington Street.

Sources:

State Library of NSW, PXD 351, Roll No.453, 453A, ff 4740-3, 4743A-G, 3 drawings, 1 print, 7 rough sketches dated 1939, 1955 – Residence 'Headingley' No.9 Wellington Street, Woollahra

State Library of NSW, PXD 351, Roll No.454A, 454B, ff 4744-4808, 24 rough sketches, 7 sketches, 10 sketch plans, 4 sketch designs, 6 drawings, 13 prints dated 1938-9, 1950, House No.9 Wellington Street, Woollahra for Sir Norman Kater.

State Library of NSW, PXD 351, Roll No.455, ff 4809-4823, 3 plans, 12 prints, dated 1938-9, 1958 House – Additions & alterations No.9 Wellington Street, Woollahra for Sir Percy Spender.

State Library of NSW, PXD 351, Roll No., Roll No.456, ff 4825, 1 plan, 1 drawing dated 1958 for Sir Percy Spender.

Falkiner, Suzanne (ed.), *op.cit.* 1939, *Sir Norman Kater, 9 Wellington Street, Woollahra (Alts & Adds)*. £4,708, Roseweare.

Woollahra Records, BA37/1939 and BA228/1958



Figure 317 Plans by Leslie Wilkinson for Headingley (Source: State Library of NSW, PXD 351, Roll. No.455, f 4812)

Headingley at 11 Wellington Street Woollahra



Figure 318 Plans by Leslie Wilkinson for Headingley (Source: State Library of NSW, PXD 351, Roll. No.455, f 4816)



Figure 319 Unbuilt option for Headingley with a loggia and a formal garden with water fountain in the front elevation by Leslie Wilkinson (Source: State Library of NSW, PXD 351, Roll. No.455, f 4782)

Banksia, 3 Beach Street, Double Bay



This dwelling is one of the earliest houses built on the Cooper's Estate between 1856 and 1864. It is associated with Joseph Trickett, the first Master of the Royal Mint and Captain Philip Gidley King.

Wilkinson designed proposed additions and alterations to this house in 1945. Proposed works mostly involved a new front verandah with new bedroom and sunroom and new staircase to the rear (BA71/1945).

Banksia is listed in Schedule 5 of the Woollahra LEP 2014 as no.197.

Figure 320 3 Beach Street Double Bay

Sources:

State Library of NSW, PXD 351, Roll No.279, ff 2729-48, 1 rough block plan, 6 sketches, 2 sketch plans, 3 plans, 4 drawings, 4 prints.

Woollahra Records, BA71/1945

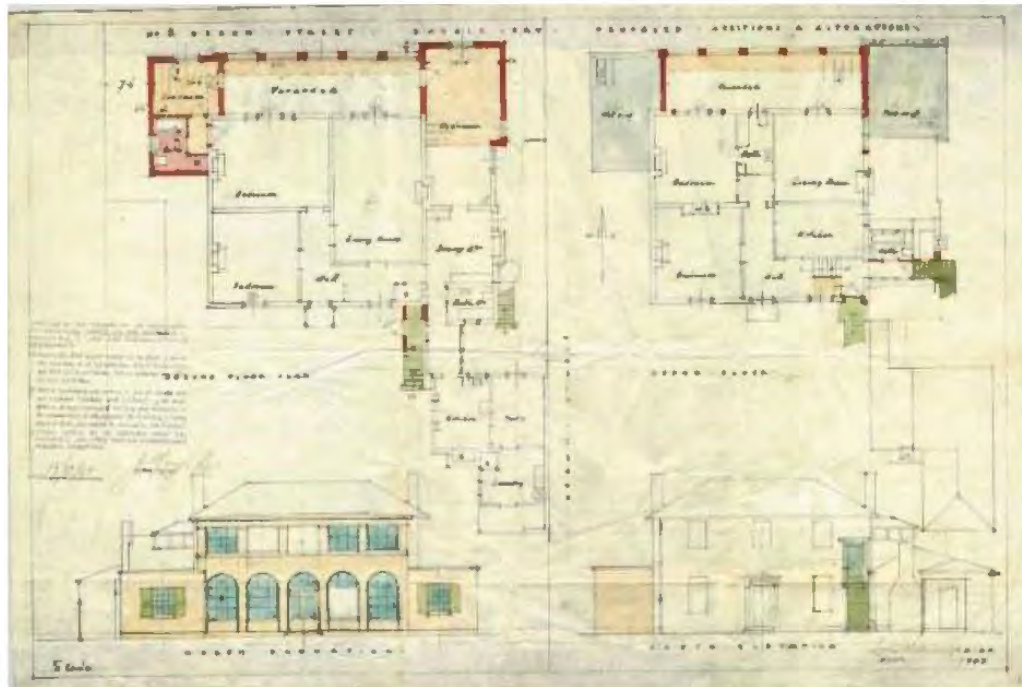


Figure 321 Plans from BA71/1945 (Source: Woollahra Records)

21 Gladswood Gardens Double Bay



Figure 322 Former stables to Gladswood house (Source: www.realestate.com.au)

Sources:

State Library of NSW, PXD 351, Roll No.280, ff 2749-55, 4 rough sketches, 2 sketches, 1 print.

Woollahra Records, BA64/1951

Originally built as stables to Gladswood House at 11 Gladswood Street, this is a single storey sandstone cottage that was formerly part of the grounds of 1865 Gothic marine villa attributed to John Frederick Hilly.

In 1951 Wilkinson designed minor additions for a laundry and a porch, approved by Council in March of the same year (BA64/1951).

This house is listed in Schedule 5 of the Woollahra LEP 2014 as no.204.

This property is also listed on the National Trust Register



Figure 323 Former stables to Gladswood house (Source: www.realestate.com.au)

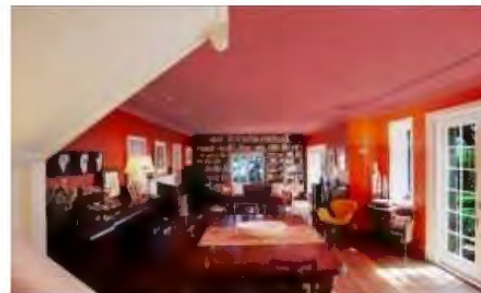


Figure 324 Former stables to Gladswood house (Source: www.realestate.com.au)

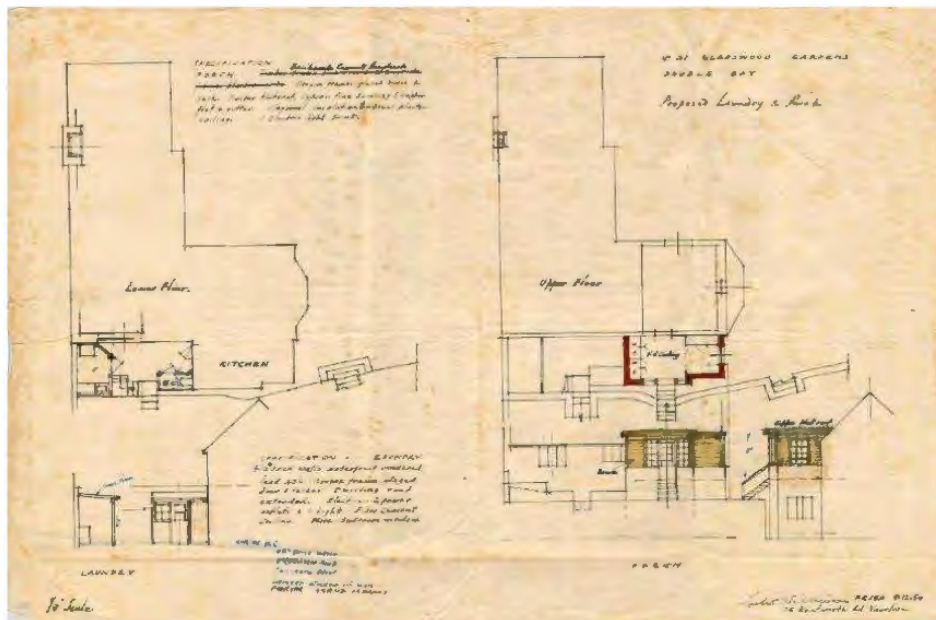


Figure 325 Plans from BA64/1951 (Source: Woollahra Records)

Thaxted at 6 Victoria Road, Bellevue Hill



Figure 326 6 Victoria Road, Bellevue Hill

In 1951, Wilkinson designed minor alterations and additions to this property for Mrs Warry (BA10/1951), built by John Oates for £1,052.

Further investigation into the historic development of this house is needed to fully ascertain Wilkinson's involvement.

This house is listed in Schedule 5 of the Woollahra LEP 2014 as no.204.

Sources:

State Library of NSW, PXD 351, Roll No.287 and 287A, ff 2813, 2816A, 4 sketches, 1 print dated 1951, House 'Thaxted', No.6 Victoria Road, Bellevue Hill, for Mrs Warry.

Falkiner, Suzanne (ed), *op.cit.* 1952, *Mrs Warry, 6 Victoria Road Bellevue Hill, (Adds & Alts), £1,052, Joan Oates*

10 Dunara Gardens Point Piper



Figure 327 10 Dunara Gardens, Point Piper (Source: Photo: SHR, 2015)

In 1957, a BA was lodged by Wilkinson on behalf of C E Fortescue for alterations to this property (BA152/1957).

Wilkinson's alterations and additions aimed to reconfigure the kitchen area, change some openings, erect an internal partition in the living room to create a study and divide a large bedroom into two bedrooms.

This house is listed in Schedule 5 of the Woollahra LEP 2014 as No.276 and on the SHR under the *Heritage Act, 1977* (No.00539).

Sources:

State Library of NSW, PXD 351, Roll No 352 and 353, ff 3650-3651 and 3652, 2 sketch plans dated 1957 and 1 sketch plan.

Carthona, 5 Carthona Avenue, Darling Point



Figure 328 photo by Arthur Ernest Foster of Carthona
(Source: State Library of NSW)

Sources:

State Library of NSW, PXD 351, Roll No.272, ff 2639-2641, 3 drawings, dated 1957, House No.5 'Carthona' Darling Point for Mrs Bushell.

Wilkinson made some drawings for a wrought iron gateway for Mrs Bushell in 1957. No reference in the Woollahra Building Register can be found for this application, however the drawings can be viewed at the State Library.

This property is listed as "Carthona"—house and interiors, grounds, gates, gateposts, flanking wall, iron works, Moreton Bay Fig and Norfolk Island Pine' in Schedule 5 of the Woollahra LEP 2014 as no.82.



Figure 329: plans for a wrought iron gate for Mrs Bushell
(Source: State Library of NSW, PXD 351, Roll. No.455, f 2639)



Figure 330: plans for a wrought iron gate for Mrs Bushell
(Source: State Library of NSW, PXD 351, Roll. No.455, f 2639)



Figure 331: Carthona photographed by Ian Scott in 1958
(Source: Woollahra Libraries, pf002289)



Figure 332 Carthona in Darling Point, c1988 (Source: Caroline Simpson Library)

Bishopscourt, at 11a Greenoaks Avenue, Darling Point



In 1965, Wilkinson designed a sympathetic addition to Archbishop Gough and his wife for their Edmund Blacket's residence, Bishopscourt.

Documentation was undertaken in collaboration with Fowell, Mansfield & Maclurcan Architects (BA709/1964).

The Annexe aimed to link the Mort building to the west lawns by maintaining vehicular access to the stables. It was built by Kall & Rigby.

This property is listed under the *Heritage Act, 1977* on the SHR 00362 and in Schedule 5 of the Woollahra LEP 2014 as an item of State significance (no.133).

Figure 333 Bishopscourt in 2014

Sources:

State Library of NSW, PXD 351, Roll No. 273, 273A, ff 2642-53, 2653A, 1 sketch block plan, 6 rough sketches, 2 sketch plans, 2 prints, including two prints by R Lindsay Little Architect and Fowell, Mansfield & MacLurcan Architect, dated 1958-59, House 'Bishops Court' 11 Green Oak Avenue, Darling Point.

Falkiner, Suzanne (ed.), *op.cit.* 1954 *Cathedral Chapter, Bishopscourt, Greenoaks Avenue, Darling Point (Annexe)*(with Fowell, Mansfield & Maclurcan, Architects), Kell & Rigby



Figure 334 Photo of the Annexe taken in 1965 by Max Dupain, from Falkiner, Suzanne (ed.), *op. cit.*, Plate No.45.)



Figure 335 alternative option by Wilkinson never built
(Source: State Library of NSW, PXD 351, Roll No. 273, f2647)

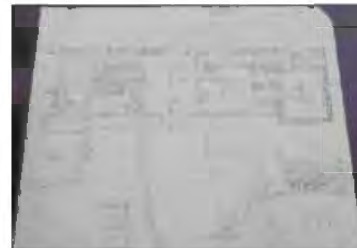


Figure 336 alternative option by Wilkinson never built
(Source: State Library of NSW, PXD 351, Roll No. 273, f 2648)

Bishopscourt, at 11a Greenoaks Avenue, Darling Point

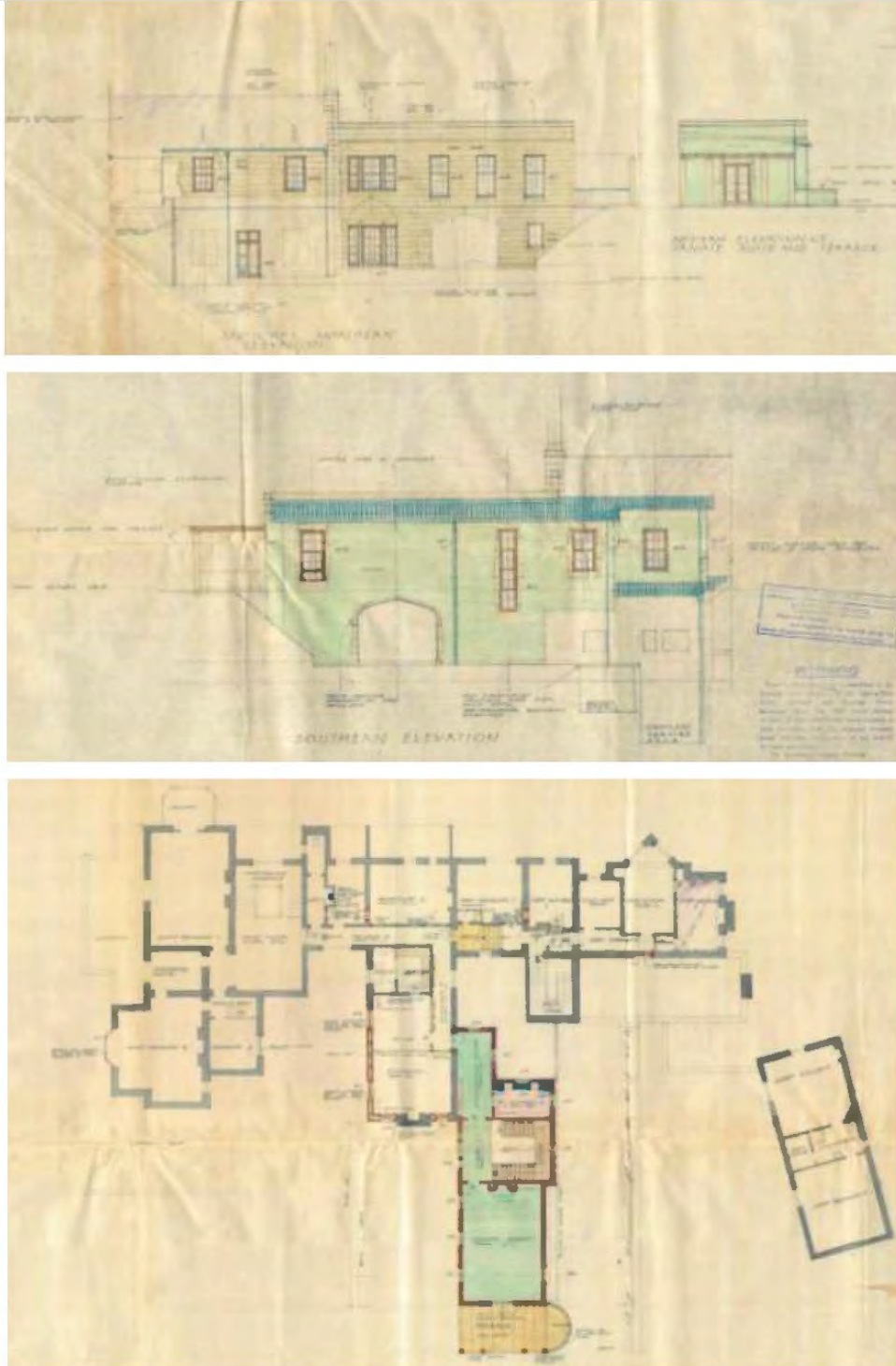




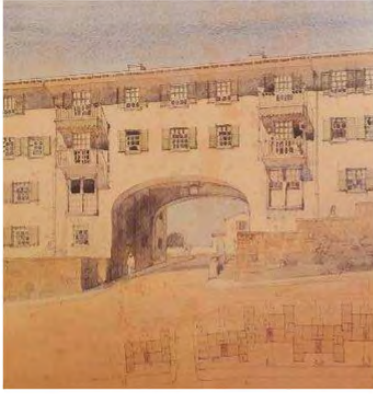




Figure 337 Plans from BA709/1964 drawn with Fowell, Mansfield & Maclurcan




A.2 Other Wilkinson designs outside of Woollahra




The source of this list mostly derives from Falkiner (Falkiner, 1982) and has been complemented with information available on the NSW State Heritage Inventory and the Woollahra and Vaucluse Building Registers. More buildings are to be researched by going through the index of Leslie Wilkinson drawings available at the State Library of NSW (PXD 351).




Property	Comments
<p>University of Sydney buildings</p>  <p>Figure 338 Organic Chemistry Laboratory</p>  <p>Figure 339 Bank Building (Source: DTB Architects)</p>  <p>Figure 340 Physics School (Source: Heritage NSW)</p>  <p>Figure 341 Anderson Stuart building (Source: University of Sydney website)</p>	<p>Wilkinson was instrumental in shaping the development of the University campus during the 1920s. Even into the 1930s and early 1940s, when Wilkinson no longer officially held the position of University Architect, his designs influenced subsequent buildings.</p> <p>His input was given to:</p> <ul style="list-style-type: none"> - Physics Building (alterations) - Medical School (alterations) - School of Agriculture (alterations) - School of Engineering (alterations) - Geology lecture room - School of Organic Chemistry (alterations) - Veterinary School Horse Box - Veterinary School Lodge - Union Kitchen (alterations) - Agriculture Laboratory - Medical School (Pharmacology) - Engineering (addition) - School of Organic Chemistry - Geology (extensions) - Medical School (addition) - Zoology (remodeling) - Union Hall (with Waterhouse & Lake) - Fisher Library Bookstack (with Wilson Neave and Berry) - Lodge and gates at St Pauls' Road entrance (now Carillon Avenue) - Quadrangle Building (with Wilson Neave and Berry) - Chemistry and Physics (remodeling) including Bank Block - Common Room, Union Building - Zoology (additions) - New Lodge and gates at entrance from Parramatta Road - War Memorial Gallery of Fine Arts (with H Ingham Ashworth) - Refectory ceiling St Andrews College (with Ellis Nosworthy) - Moore College (Principal's House, 1928) - School of Public Health and Tropical Medicine (Edward Ford Building) <p>(Source: Falkiner and University of Sydney website)</p> <p>The University of Sydney is a SHR Heritage Conservation Area (SHR01974)</p> <p>It is also listed on the Sydney LEP 2012 as:</p> <ul style="list-style-type: none"> • A Local HCA (C5) • A Local item (No. 188) <p>A number of the buildings to the left column are also listed as individual heritage items on the Sydney LEP 2012.</p> <p><u>Sources:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, List of buildings between 1920 and 1930)</p> <p>Howells, Trevor. 2007 <i>University of Sydney Architecture</i>. Sydney: The Watermark Press</p>

Property	Comments
<p>Way's Terrace workers' housing, Pyrmont (with J C Fowell)</p>  <p>Figure 342 Ways Terrace, Pyrmont (Source: Falkiner, Suzanne, ed., op.cit., Colour Plate 12).</p>	<p>This apartment building was designed for a public competition for the Sydney City Council in 1923 with Architect J C Fowell.</p> <p>These flats are a rare example of a major working class housing development designed by the prominent architect Professor Leslie Wilkinson. It comprises of 5 blocks of dwellings in Pyrmong with harbor views over Black Wattle Bay and Balmain.</p> <p>It is listed as 'Residential flat building "Ways Terrace" including interiors, grounds, sandstone retaining walls', a local heritage item listed on the Sydney LEP 2012 (I1254).</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) op.cit., Sydney City Council, Way's Terrace workers' housing, Pyrmont (with J C Fowell) and University of Sydney website</p>
<p>47 Cremorne Road, Cremorne</p>  <p>Figure 343 47 Cremorne Road (Source: Heritage NSW)</p>	<p>In 1925, Wilkinson designed alterations and additions to this house, which is not individually heritage listed but is in the Cremorne Point Heritage Conservation Area of the North Sydney LEP 2013.</p> <p><u>Source:</u></p> <p>Heritage NSW website https://www.hms.heritage.nsw.gov.au/App/Item/ViewItem?itemId=2181065</p>
<p>Long Puddle Bend, Longueville</p>	<p>This house was altered in 1928 for Dr McLeod and built by Bent Bros for £612.</p> <p>This house has been demolished.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) op.cit., House, Long Puddle Bend, Longueville, £612, Bent Bros</p>
<p>The Haven, 1A McBride Avenue, Hunters Hill</p>  <p>Figure 344 The Haven (Source: Hunters Hill Trust)</p>	<p>Originally built as a sandstone marine villa in 1859, in the 1930s this property was owned by Professor Robert Strachan Wallace, Vice-Chancellor at Sydney University.</p> <p>In 1928 Wallace commissioned Wilkinson to undertake alterations and additions. The building works were undertaken by Molineaux for £1,166.</p> <p>This house is listed as a local item "House, "Gatehouse Cottage," no. I201 on the Hunters Hill LEP 2012.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) op.cit., 1929, Prof. Wallace, House, The Haven, McBride Avenue, Hunters Hill (alterations), £1,166, Molineaux</p>

Property	Comments
<p>Bibury (or St Michael or San Michele or Shadowwood or The Hacienda), 29-31 Burradoo Road, Burradoo</p>  <p><i>Figure 345 Bibury Source: Harold Cazneaux, 1933, available through the National Library of Australia</i></p>	<p>This house was designed by Wilkinson in 1929 for Alexander Robert MacGregor, built by S P Walsh, cost of works £3,745.</p> <p>This house is listed as a local heritage item "Burlington" house and garden' (1578) on the Wingecarribee LEP 2010.</p> <p><u>Source:</u> Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1929, <i>A R MacGregor, House, Shadowwood, Burradoo, £3,745, S P Walsh</i></p>
<p>Northfield, Kurrajong Heights</p>	<p>Alterations to house for Mr Fitzhardinge, built by Kell & Rigby, cost of works £1,650.</p> <p>Unable to locate this house.</p> <p><u>Source:</u> Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1931, <i>Fitzhardinge, Northfield, Kurrajong Heights (alterations), £1,650, Kell & Rigby</i></p>
<p>St James' Church, 182 Victoria Street, Beaconsfield</p>  <p><i>Figure 346 St James Church (Source: Aust Build Supplies)</i></p>	<p>In 1932, Wilkinson designed alterations to this church for the Church of England.</p> <p>This church is listed as a local heritage item 'St James Anglican Church including interior' (No. 137) on the Sydney LEP 2012.</p> <p><u>Source:</u> Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1932, <i>Church of England, St James' Church, Collins Street, Beaconsfield</i></p>
<p>St Peter's Church, 187-209 Princes Highway, St Peters</p>  <p><i>Figure 347 St Peters Church (Source: Wikipedia)</i></p>	<p>In 1932, Wilkinson was engaged by the the Church of England to design a Parish Hall, built by Blow & Cullenson at a cost of £1288.</p> <p>In 1934, modifications to the Church were built to Wilkinson's design by G Billworth for £1030.</p> <p>This church is listed on the SHR under the <i>Heritage Act, 1977</i> (00032).</p> <p>It is also listed as a State heritage item on the Marrickville LEP 2011 (1275 and A-22).</p> <p><u>Source:</u> Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1932, <i>Church of England, St Peter's Parish Hall, Princes Highway, St Peters, £1,288, Blow & Cullenson</i></p>


Property	Comments
<p>Cathedral of St Peter & St Paul, Dogura, Papua</p>  <p><i>Cathedral of St. Peter and St. Paul at Dogura. Cathedral of the Pacific in Papua.</i></p> <p>Figure 348 Picture of this Cathedral (Source: <i>The Age</i>, 26 December 1942, p.6)</p>	<p>1932 Wilkinson designed a new Cathedral for the Anglican Mission Samarai, Papua New Guinea.</p> <p>Wilkinson's plan was found to be too ambitious and had to be considerably modified by Robert Jones.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1932, <i>Anglican Mission Samarai, Papua N G, Cathedral of St Peter & St Paul, Dogura, Papua</i></p> <p>W G T, "Cathedral of Fuzzy-Wuzzies – Papua's Spiritual Progress." <i>The Age</i>, (Sat 26 December 1942), p 6, available online at https://trove.nla.gov.au/newspaper/article/206830012, viewed 3 March 2022.</p>
<p>All Saints School Chapel, Charters Towers, Queensland</p>	<p>In 1933, Wilkinson designed a Chapel for All Saints School at Charters Towers.</p> <p>Unable to locate, possibly within the All Souls' Church of England Boys School campus in Charter Towers.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1933, <i>All Saints School, School Chapel, Charters Towers, Queensland</i></p>
<p>14 Middle Head Road, Mosman</p>  <p>Figure 349 Rear elevation of this house (Source: Google Streetview)</p>	<p>Alterations and additions for Walters in 1934, built by E L Walter, for a cost of £1,168.</p> <p>This house is not individually heritage listed but is in the Bradleys Head Road Heritage Conservation Area of the Mosman LEP 2012 (C1).</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1934, <i>Walters, 14 Middle Head Road, Mosman (Alts & Adds), £1,168, E L Walter</i></p>
<p>St David's Church, 54 Forest Road, Arncliffe</p>  <p>Figure 350 St David's Church (Source: Wikipedia)</p>	<p>In 1934, Wilkinson designed St David's Church in Arncliffe for the Church of England.</p> <p>The building were undertaken by F Carswell for a cost of £3,213.</p> <p>This church is not listed on a statutory heritage register.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1934, <i>Church of England, Corner Pitt-Owen Avenue & Forest Road, Arncliffe, £3,213, F Carswell</i></p>
<p>Greyleaves, Burradoo, 13-15 Greyleaves Avenue, Burradoo</p>	<p>Designed for colleague Dr Godsall in 1934, this house was built by S P Walsh, for a cost of works of £2,460.</p>


Property	Comments
 <p>Figure 351 Greyleaves (Source: www.realestate.com.au)</p>	<p>This house is listed as a local heritage item "Greyleaves" house and garden' (I072 and I342) on the Wingecarribee LEP 2010. It is also listed on the Australian Institute of Architects Register.</p> <p>Source:</p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1934, <i>Dr Godsall, House, Greyleaves, Burradoo</i>, £2,460, S P Walsh</p>
<p>Woodcourt, 34 Heydon Avenue, Warrawee</p>  <p>Figure 352 Woodcourt (Source: www.realestate.com.au)</p>	<p>Woodcourt was built for J Berersford Grant in 1934, built by A W Edwards, cost of works £2,626.</p> <p>This house is listed as a local heritage item 'Dwelling house' (No. I1056) on the Ku-ring-gai LEP 2015.</p> <p>Source:</p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1934, <i>J Beresford Grant, House, Heydon Avenue, Warrawee</i>, £2,626, A W Edwards</p>
<p>Goodwood, Burns Road, Turramurra</p>	<p>Alterations to this house were designed for T C Rethers in 1935. Built by S P Walsh, cost of works £4,852. Unable to locate.</p> <p>Source:</p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1935, <i>T C Rethers, Goodwood, Burns Road, Turramurra (Alterations)</i>, £4,852, AS P Walsh</p>
<p>St Alban's Rectory & Parish Hall, 3 Pembroke Street, Epping</p>  <p>Figure 353 St Alban's Anglican Church Epping (Source: parish website)</p>	<p>In 1935, Wilkinson designed the Rectory and Parish Hall in Epping for the Church of England.</p> <p>This was built by Abby & Cotter for a cost of £2,976.</p> <p>The whole precinct is listed as a local heritage item 'St Alban's Anglican Church and grounds' on the Hornsby LEP 2013 (399).</p> <p>Source:</p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1935, <i>Church of England, St Alban's Rectory & Parish Hall, Pembroke Street, Epping</i>, £2,976, Abby & Cotter</p>
<p>House, 17 Links Road, Burradoo</p>	<p>Designed for A R McGregor in 1936, this house was built by Staphen & Son with a cost of works £1,920.</p> <p>Currently used as a hotel.</p> <p>This house is listed as a local heritage item 'Links House' at 17 Links Road, Burradoo (No.I527) on the Wingecarribee LEP 2010.</p>

Property	Comments
 <p data-bbox="325 680 596 725">Figure 354 Links House (Source: www.realestate.com.au)</p>	<p data-bbox="708 389 778 412"><u>Source:</u></p> <p data-bbox="708 423 1331 472">Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1936, <i>House, Links Road, Burradoo</i>, £1,920, Stephen & Son)</p>
<p data-bbox="325 748 549 770">23 Links Road, Burradoo</p>  <p data-bbox="325 1072 628 1117">Figure 355 23 Links Road, Burradoo (Source: www.realestate.com.au)</p>	<p data-bbox="708 786 1299 831">After A R McGregor's death, his widow, Eva McGregor, engaged Leslie Wilkinson to build another <i>Shadowood</i> at 23 Links Road in 1936.</p> <p data-bbox="708 842 1155 864">This house is not listed on a statutory heritage register.</p> <p data-bbox="708 887 778 909"><u>Source:</u></p> <p data-bbox="708 920 1267 943">Wingecarribee Shire Council, Strategic Land Use Planner (Heritage)</p>
<p data-bbox="325 1135 660 1158">Homestead, Gundry Plains, Goulburn</p>	<p data-bbox="708 1135 1315 1180">Designed in 1936 for K. Maple Brown in 1936, this house was built by G J Wilkes with a cost of works £1,616. Unable to locate.</p> <p data-bbox="708 1202 778 1225"><u>Source:</u></p> <p data-bbox="708 1236 1331 1281">Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1936, <i>K Maple-Brown, Homestead, Gundry Plains, Goulburn</i>, £1,616, G J Wilkes</p>
<p data-bbox="325 1299 628 1344">House, Florida Road, Palm Beach (Dampney System)</p>	<p data-bbox="708 1299 1347 1344">Designed in 1936 for Dr Harvey Sutton, this house was built by G J Wilkes with a cost of works £1,932. Unable to locate.</p> <p data-bbox="708 1366 778 1388"><u>Source:</u></p> <p data-bbox="708 1400 1347 1444">Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1936, <i>Dr Harvey-Sutton, House, Florida Road, Palm Beach (Dampney System)</i>, £1,932, R J Graven</p>
<p data-bbox="325 1462 660 1507">St Paul's Parish Hall, 13 Crown Street, Harris Park</p>  <p data-bbox="325 1823 676 1868">Figure 356 St Paul's in Harris Park (Source: <i>Churches Australia</i>)</p>	<p data-bbox="708 1541 1299 1563">In 1936, Wilkinson designed the Parish Hall for St Paul's in Harris Park.</p> <p data-bbox="708 1574 1347 1619">This complex is not individually heritage listed but it is in the Experiment Farm heritage conservation area of the Parramatta LEP 2011.</p> <p data-bbox="708 1641 778 1664"><u>Source:</u></p> <p data-bbox="708 1675 1347 1720">Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1936, <i>Church of England, St Paul's Parish Hall, Crown Street, Harris Park</i>, £1,010</p>

Property	Comments
<p>Tulagai Church, British Solomon Islands</p>	<p>In 1936, Wilkinson assisted the Church of England with the design of a church in the British Solomon Islands.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1936, <i>Church of England, Tulagai Church, Tulagai, British Solomon Islands</i></p>
<p>St John's Church, 339A Maroubra Road, Maroubra</p>  <p><i>Figure 357 St John's Church, Maroubra (Source: Churches Australia)</i></p>	<p>In 1936, Wilkinson assisted the Church of England with the design of this church. It is unclear whether his design was ever built.</p> <p>This church is not listed on a statutory heritage register.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1936, <i>St Johns Church, Maroubra Road, Maroubra</i></p>
<p>Rosedale, 7832 Illawarra highway, Sutton Forest</p>  <p><i>Figure 358 Rosedale (Source: Australian Institute of Architects)</i></p>	<p>Designed in 1937 for H Beresford Grant, this house was built by A Stephenson for £3,186.</p> <p>This house is listed as a local heritage item "Rosedale" house and grounds' (No.1031) on the Wingecarribee LEP 2010.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1937, <i>H Beresford Grant, Rosedale, Sutton Forest, £3,186, A Stephenson</i></p>
<p>Hazeldean, 1410 Maffra Road The Brothers (Cooma)</p>  <p><i>Figure 359 Hazeldean (Source: www.australiancountry.com.au)</i></p>	<p>In 1937 Wilkinson undertook alterations and additions to a Victorian pastoral homestead for Mr James Litchfield, a pioneer who created a successful Monaro pastoral enterprise in Cooma.</p> <p>This house shows many of Wilkinson's typical detailing, such as: pastel walls, timber framed multi-pane windows with shutters, layout forming a courtyard and pergolas.</p> <p>This house is listed as a local heritage item 'Hazeldean' (No.194) on the Snowy River LEP 2013.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1937, <i>James Litchfield, Hazeldean, Cooma (Alterations)</i></p>

Property	Comments
<p>Maiala, 7 Warrawee Avenue, Warrawee</p>  <p><i>Figure 360 Maiala (Source: National Library of Australia)</i></p>	<p>Designed in 1937 for J Beresford Grant, this house was built by J W Wilson at a cost of £5,160.</p> <p>This house is listed as a local heritage item 'Maiala, dwelling house' (No. I1075) on the Ku-ring-gai LEP 2015.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1937, <i>J Beresford Grant, Maiala, 7 Warrawee Avenue, Warrawee, £5,160, J W Wilson</i></p>
<p>House, Pacific Parade, Dee Why</p>	<p>Wilkinson designed alterations for Dr Britwell-Fraser in 1939, built by Kirkwood, cost of works £1,846. Unable to locate.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1939, <i>Dr Britwell-Fraser, House, Pacific Parade, Dee Why, £1,846, Kirkwood</i></p>
<p>St Matthew's Church, Windsor (Rectory and Church), 12 Tebbutt St, Windsor</p>  <p><i>Figure 361 St Matthew's Church, Windsor (Source: www.sydneycorgan.com)</i></p>	<p>In 1938, Wilkinson designed alterations and additions to the church and rectory of St Matthews in Windsor.</p> <p>The works were built by R B Ashley for £850.</p> <p>In 1958 Wilkinson assisted with painting the ceiling, cost of works £763, undertaken by Woods.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1938, <i>Church of England, St Matthew's Church, Windsor (Rectory and Church, Additions and alterations), £850, R B Ashley ; and 1958 Ceiling painted, £763, Woods</i></p>
<p>Hamer Street, Beecroft</p>	<p>Wilkinson designed alterations and additions for W A Parker in 1939 built by H J Abbey at a cost of £251.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1939, <i>W A Parker, Hamer Street (Alts & Adds), £251, H J Abbey</i></p>
<p>Coreena Homestead, Junee</p>	<p>In 1939, Wilkinson designed a homestead for Philip Ashton. Further information is required to locate this building.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1939, <i>Philip Ashton, Homestead, Coreena, Junee, Kirk</i></p>
<p>St Jude's Rectory, 100-108 Avoca Street, Randwick</p> 	<p>In 1939, Wilkinson designed the Rectory for St Jude's. The works were executed W Bilson & Son for £538 for the Church of England.</p> <p>This precinct is listed on the SHR (No.00012) under the <i>Heritage Act, 1977</i>. It is also listed as a State heritage item (I271) on the Randwick LEP 2012, 'St Jude's Group (St Jude's Anglican Church, Rectory, Old Borough Chambers and Hall' (Note - Cemetery is at 21 Francas Street. I374).</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1939, <i>Church of England, St Jude's Rectory, Avoca Street, Randwick (Renovations), £538, W Bilson & Son</i></p>



Property	Comments
<p>Figure 362 St Jude's Church (Source Wikimedia)</p>	
<p>St Luke's Parish Hall, 11 and 13-35 Stanmore Road, Stanmore</p>  <p>Figure 363 St Jude's Church (Source: Churches Australia)</p>	<p>In 1939, Wilkinson designed a parish hall for the Church of England. Works were executed by F. Carswell for £1,673.</p> <p>This precinct is listed as a local heritage item on the Marrickville LEP 2011 as 'St Luke's Church of England, including interiors' (151).</p> <p>Source: Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1939, <i>Church of England, St Luke's Parish Hall, Stanmore Road, Stanmore, £1,673, F Carswell</i></p>
<p>Christchurch, 1A, 1B and 1C Dunmore Street North, Bexley</p>  <p>Figure 364 Christchurch in Bexley (Source: Churches Australia)</p>	<p>In 1939, Wilkinson assisted the Church of England with designing this church.</p> <p>This precincts is listed as a local heritage item 'Christ Church Anglican Church and hall' on the Bayside LEP 2012 (1114).</p> <p>Source: Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1939, <i>Christchurch, Corner Dunmore & Albyn Street, Bexley</i></p>
<p>St Andrew's Church, 1A St Andrews Place, Cronulla (The Kingsway)</p>  <p>Figure 365 St Andrews Church (Source: www.shipoffouls.com)</p>	<p>In 1939, Wilkinson assisted with the design of this church.</p> <p>This site is listed as a local heritage item 'St Andrews Church of England,— church, rectory and grounds' (1047) on the Sutherland Shire LEP 2015.</p> <p>Source: Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1936, <i>Church of England, St Andrew's Church, The Kingsway, Cronulla</i></p>
<p>Soldiers' Chapel Hut, Ingleburn Army Camp</p>	<p>In 1940 Wilkinson was appointed by the CENEf to design the Soldiers' Chapel Hut at Ingleburn Army Camp. This was built by J Grant for a cost of £1000.</p> <p>This may be part of the Ingleburn Military Heritage Precinct and Mont St Quentin Oval, which is listed on the SHR (01891).</p> <p>Source: Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1940, <i>CENEf Soldiers' Chapel Hut, Ingleburn Army Camp, £1,000, J Grant</i></p>



Property	Comments
<p>Thornhill, 5 Womerah Street, Turramurra</p>  <p>Figure 366 Thornhill (Source: www.realestate.com.au)</p>	<p>In 1940, Wilkinson was appointed by A W Harvey to undertake alterations and additions to this house for £2425, built by Coleman & Kirk.</p> <p>This design remained very sympathetic to the Victorian character of this home, maintaining layout, verandahs and designing subordinate additions.</p> <p>This house is listed as local heritage item 'Dwelling house' (I815) on the Kuring-gai LEP 2015.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1940, A W Harvey, <i>Thornhill, Womerah Street, Turramurra (alterations & additions), £2,425, Coleman & Kirk</i></p>
<p>House, Minnamurra Road, Northbridge</p>	<p>In 1941, D S Aarons appointed Wilkinson to design a house in Northbridge, built by R J Graven at a cost of £3,087. Unable to locate it.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1941, D S Aarons, <i>House, Minnamurra Road, Northbridge, £3,087, R J Graven</i></p>
<p>St Andrew's Cathedral, Sydney</p>  <p>Figure 367 St Andrews Cathedral (Source: Ferguson and Urie)</p>	<p>Several modifications were undertaken by Wilkinson in various years. In 1941 and 1942 he worked on the Tower (£1,143 and £3,200 built by J Grant).</p> <p>After this Wilkinson worked on:</p> <ul style="list-style-type: none"> - New West door (1949, Kell & Rigby, £3,701); - Organ Chapel (1951, Kell & Rigby, £855); - Memorial Flagpole (1951, Kell & Rigby, £295); - Chapter House (1951, Kell & Rigby, £1,843) - Organ case (1953, Kell & Rigby, £2,170) - South-West Bell tower (1965, Girvan Bros). <p>St Andrews Cathedral is listed on the SHR under the <i>Heritage Act, 1977</i> (01708). It is also listed as a State heritage item on the Sydney LEP 2012 (I1793).</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1936, <i>Church of England, St Andrew's Cathedral, City (new work on Tower), £1,143, J Grant ; (new work on Tower), £3,200, J Grant ; (new west door), £3,701, Kell & Rigby, Organ Chapel, £855, Kell & Rigby ; Memorial Flagpole, £295, Kell & Rigby ; Chapter House, £11843, Kell & Rigby ; Organ case, £2,170, Kell & Rigby; and 1965 S W Bell Tower, £5,684, Girvan Bros</i></p>
<p>Extension of Soldier' Hut</p>	<p>In 1943 Wilkinson was appointed by the CENEf to design an extension to the Soldiers' hut, which was built by J Grant for a cost of £1000.</p> <p>This may be part of the Ingleburn Military Heritage Precinct and Mont St Quentin Oval, which is listed on the SHR (01891).</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1943, <i>CENEf, Extension of Soldiers' Hut, £1,000, J Grant</i></p>




Property	Comments
<p>House, 3 May Street, Longueville</p>	<p>In 1945 Wilkinson designed a house for G Perlez at a cost of £1,539, built by C F Pallam. Unable to locate, this address may have changed.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1945, <i>G Perlez, House, 3 May Street, Longueville, £1,530, C F Pallam</i></p>
<p>Currandooley, Currandooley Road, Bungendore</p>  <p><i>Figure 368 Currandooley (Source: Palerang Council Heritage Study 2009)</i></p>	<p>This 1872 rural homestead was designed by Ferdinand Reuss, then altered by Chisholm in the 1930s. Wilkinson only had a minor involvement in 1946 by remodelling the front verandah for Mr Osborne.²</p> <p>This house is listed as a local heritage item 'Currandooley, including stables and garden' (I175) on the Palerang LEP 2014.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1946, <i>Osborne, Currandooley, Bungendore (alterations)</i></p>
<p>Micalago, 751 Micalago Road, Michelago</p>  <p><i>Figure 369 Micalago (Source: Heritage NSW)</i></p>	<p>Wilkinson remodelled this 1849s homestead in various occasions for J A G Ryrie.</p> <p>In 1948, Wilkinson designed a second storey addition.</p> <p>In 1960, Wilkinson designed the north wing and two cottages.</p> <p>In 1964 he added the entrance courtyard.</p> <p>This property is listed as a local heritage item 'Homestead-Michelago Station' on the Cooma-Monaro LEP 2013 (I177).</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1948, <i>Ryrie, House, Micalago, 2nd storey (additions)</i> ; 1960, <i>J A G Ryrie, Micalago North Wing and 2 cottages, £2,604, Coleman & Kirk and 1964 J A G Ryrie, Micalago Entrance Courtyard</i></p>
<p>House, 72 Eaton Street, Willoughby</p>	<p>In 1950, Wilkinson designed a house house built by Nova for G Perlez at a cost of £5,354. Street address has changed. Unable to locate.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1951, <i>G Perlez, House, 72 Eaton Street, Willoughby, £5,354, Nova</i></p>
<p>Factory, Brookvale</p>	<p>1951 Wilkinson designed a factory for G Perlez in Brookvale, built by Hardy for a cost of £3,340. Unable to Locate.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1941, <i>G Perlez, Factory, Brookvale, £3,340, Hardy</i></p>



² Victoria Design & Management, Heritage Inventory – Lake George, Molonglo Valley & Burra, for Palerang Council, April 2009, vol.2, Item LG2.

Property	Comments
<p>Repairs to Roberts Hotel Business & Property</p>	<p>In 1951, Wilkinson undertook repairs of the Roberts Hotel. This may be the Lord Roberts Hotel in Darlinghurst. These repairs cost £4,053 and were undertaken by H W Thompson.</p> <p>If this is the Lord Roberts Hotel, it is listed on the Sydney LEP 2012 as a local heritage item No. 1455.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1951, <i>Roberts Hotel Business & Property, Repairs, £4,053, H W Thompson</i></p>
<p>Markdale, 462 Mulgowrie Road, Binda</p>  <p><i>Figure 370 Markdale (Source: Upper Lachlan Shire Heritage study)</i></p>	<p>In 1951 Wilkinson, redesigned the house around the garden, enclosed some verandahs and designed a second storey for Mr Geoff Ashton. He also added a lantern and opened a number of large windows and timber shutters.</p> <p>The use of the courtyard and the roof lanterns to trap the sun are typical of Wilkinson. Wilkinson's additions aimed to provide light and heat entrance to this cold southern NSW homestead, showing his pioneer interest in internal comfort.</p> <p>This homestead is listed as a local heritage item 'Markdale—stone cottages' on the Upper Lachlan LEP 2010 (114).</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1951, <i>Geoff Ashton, Markdale, Binda (Additions & Alterations)</i> and Dr Lambert Tracey, J, <i>Upper Lachlan Shire Community Heritage Study 2007-2008</i>, p. 56</p>
<p>Cottage, Rosedale Beach</p>	<p>In 1951, Wilkinson designed a cottage for Miss Jean Friend.</p> <p>Unable to locate.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1951, <i>Miss Jean Friend, Cottage, Rosedale Beach</i></p>
<p>House, 29B Albert Street, Beecroft</p>  <p><i>Figure 371 29B Albert Street, Beecroft (Source: www.domain.com.au)</i></p>	<p>In 1953, Wilkinson designed a House for Mrs Pym and built by Woodward at a cost of £6600. The first scheme was for a larger 2 storey house, but then a smaller scheme was built in February 1953.</p> <p>This house shows many of Wilkinson's typical detailing, though in a more modest and simplified form such as: north facing terrace with pergola, pastel walls and timber framed multi-pane windows with shutters.</p> <p>This house is listed as a local heritage item 'House and garden' (35) on the Hornsby LEP 2013.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1953, <i>House, Albert Street, Beecroft, £6,600, Woodward</i></p>

Property	Comments
<p>St Thomas's Church, 4 Morgan Street, Kingsgrove</p>  <p><i>Figure 372 St Thomas' Church, Kingsgrove (Source: Australian Christian Church Histories)</i></p>	<p>In 1953, Wilkinson designed this church in Kingsgrove, built by Girven Bros for a cost of £12,462.</p> <p>This precinct is not listed on a statutory heritage register.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1953, <i>Church of England, St Thomas's Church, Morgan Street, Kingsgrove, £12,462, Girvan Bros</i></p>
<p>Shore School, Memorial Assembly Hall</p>	<p>In 1953, in collaboration with Minnett, Wilkinson designed a new Memorial Assembly Hall for Shore School.</p> <p>This precinct is listed as a local heritage item 'Shore Sydney Church of England Grammar School' on the North Sydney LEP 2013 (I0782).</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1953, <i>Shore School, Memorial Assembly Hall (with Minnett)</i></p>
<p>Factory (Hosiery)</p>	<p>In 1954, Wilkinson designed additions to a Hosiery factory for Mr Perlez, built by Fletchercourt for £2,683. More additions for Perlez factory were designed in 1956 for £3,600, built by N C Russell. Unable to locate.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1954, <i>Perlez, Factory (Hosiery) (Additions), £2,683, Fletchercourt</i></p>
<p>House, Canberra ACT</p>	<p>A house was designed for Dr C L Statham in 1957. Unable to Locate.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1957, <i>Dr C L Statham, House, Canberra ACT</i></p>
<p>St Peter's Church, 384 Windsor Street, Richmond</p>  <p><i>Figure 373 St Peter's Church, Richmond (Source: www.sydneycorgan.com)</i></p>	<p>In 1957, Wilkinson designed a new Spire for this church.</p> <p>The works were built by Webb Bros for £1,600.</p> <p>This precinct is listed on the SHR (No.02028) under the <i>Heritage Act, 1977</i> and listed as 'St Peter's Anglican Church' on the Hawkesbury LEP 2012 (I134).</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1957, <i>Church of England, St Peter's Church, Richmond, £1,600, Webb Bros</i></p>

Property	Comments
<p>St Luke's Church, corner Ourimba & Heydon Road, (4 Heydon Street), Mosman</p>  <p><i>Figure 374 St Luke's Church (Source: Churches Australia)</i></p>	<p>In 1957, Wilkinson designed this church for the Church of England. It was built by Girvan Bros for £28,352.</p> <p>This church is listed as a local heritage item 'St Luke's Anglican Church Group' on the Mosman LEP 2012 (1198).</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1957, <i>Church of England, Corner Ourimba & Heydon Roads, Mosman, £28,352, Girvan Bros</i></p>
<p>St Gabriel's School for Girls, Waverley, Hall (now Waverley Bowling Club) at 163 Birrell Street, Waverley</p>  <p><i>Figure 375 Waverley Bowling Club (Source: SMH, 23 September 2014, Easts Group plans twin 10-storey development for Waverley Bowling Club)</i></p>	<p>In 1958, Wilkinson designed additions to a Hall (now Waverley Bowling Club). This was built by Max Cooper for £11,233.</p> <p>This is listed as a local heritage item 'Post War Modernist style Waverley Bowling Club' on the Waverley LEP 2012 (1451).</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1958, <i>Sisters of CEA, St Gabriels School for Girls, Waverley Hall (now Waverley Bowling Club (Additions), £11,233, Max Cooper</i></p>
<p>House, French's Forest</p>	<p>In 1958, Wilkinson designed a house for P S Blunt in Frenchs Forest, built by Woodward for £6300. Unable to Locate.</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1958, <i>P S Blunt, House, French's Forest, £6,300, Woodward</i></p>
<p>St John's Church Hall, 645 King George's Road, (2 Carrington Street) Penshurst</p>	<p>In 1958, Wilkinson designed the hall for this church for the Church of England. It was built by Bryant for £39,331.</p> <p>More additions were built in 1959 by H A Tritton for £4,574.</p> <p>This church is listed as a local heritage item 'St John the Evangelist's Anglican Church' on the Georges River LEP 2021 (1276).</p> <p><u>Source:</u></p> <p>Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1958, <i>St John's Church Hall, King Georges Road, Penshurst, £39,311, Bryant ; and 1959, £4,574, H A Tritton</i></p>

Property	Comments
 <p data-bbox="325 689 655 757">Figure 376 St John's Church, Penshurst (Source: Penshurst Anglican Church website)</p>	
<p data-bbox="325 779 687 824">St James' Church Hall, 45 Mudgee Street, Rylstone</p>  <p data-bbox="325 1099 643 1144">Figure 377 St James Church, Rylstone (Source: Churches Australia)</p>	<p data-bbox="711 853 1107 875">In 1958, Wilkinson designd a Hall for this church.</p> <p data-bbox="711 891 1334 913">This Hall and St James Church are not listed on a statutory heritage register.</p> <p data-bbox="711 929 778 952"><u>Source:</u></p> <p data-bbox="711 967 1326 1012">Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1958, <i>Church of England, St James' Church Hall, Rylstone, NSW</i></p>
<p data-bbox="325 1200 679 1245">St Matthew's Church Hall, 44 The Corso, Manly</p>  <p data-bbox="325 1570 660 1615">Figure 378 St Matthews Church (Source: www.sydneycorran.com.au)</p>	<p data-bbox="711 1279 1190 1301">In 1959, Wilkinson designed a Hall for this church in Manly.</p> <p data-bbox="711 1317 1158 1339">The works were undertaken by Cockle Bros for £2,400.</p> <p data-bbox="711 1355 1318 1400">The site is listed as a local heritage item 'St. Matthew's Church and church hall' on the Manly LEP 2013 (1113).</p> <p data-bbox="711 1415 778 1438"><u>Source:</u></p> <p data-bbox="711 1453 1347 1498">Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1958, <i>Church of England, St Matthews Church Hall, The Corso, Manly (Adds), £2,400, Cockle Bros</i></p>
<p data-bbox="325 1635 643 1680">House, 5 Adderstone Avenue, North Sydney</p>	<p data-bbox="711 1711 1305 1756">In 1962, Wilkinson designed a house for K G Gee in Adderstone Avenue, North Sydney. It was built by Carroll for £13,817.</p> <p data-bbox="711 1771 1337 1816">This house is listed as a local heritage item, 'House' in the North Sydney LEP 2013 (No.10769).</p> <p data-bbox="711 1832 778 1854"><u>Source:</u></p>

Property	Comments
 <p data-bbox="325 689 654 734"><i>Figure 379 5 Adderstone Avenue, North Sydney (Source: Heritage NSW)</i></p>	<p data-bbox="708 383 1331 427">Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1962, <i>K G Gee, House, Adderstone Avenue, North Sydney, £13,817, Carroll</i></p>
<p data-bbox="325 949 639 994">House, 3 Adderstone Avenue, North Sydney</p>  <p data-bbox="325 1317 663 1361"><i>Figure 380 3 Adderstone Avenue, North Sydney (Source: www.realestate.com.au)</i></p>	<p data-bbox="708 1025 1337 1070">In 1967, Wilkinson designed a new house for R A Swift for a cost of £38,458, built by Bottomley.</p> <p data-bbox="708 1088 1337 1133">This house is listed as a local heritage item, 'House' in the North Sydney LEP 2013 (No.10768).</p> <p data-bbox="708 1151 778 1173"><u>Source:</u></p> <p data-bbox="708 1191 1331 1236">Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1967, <i>R A Swift, House, Adderstone Avenue, North Sydney, £38,458, Bottomley</i></p>
<p data-bbox="325 1382 596 1404">House, Fosters Valley, Rockley</p>	<p data-bbox="708 1382 1347 1426">In 1968, Wilkinson designed alterations and additions for W MacPhillamy for a cost of £12038, built by A Donahue. Unable to locate.</p> <p data-bbox="708 1444 778 1467"><u>Source:</u></p> <p data-bbox="708 1485 1337 1529">Falkiner, Suzanne (ed.) <i>op.cit.</i>, 1968, <i>W MacPhillamy, House, Fosters Valley, Rockley (Adds & Alts), £12,038, A Donahue</i></p>

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Woollahra Records, Woollahra and Vaucluse Building Registers, Building Indexes and Minutes, Woollahra Local History Centre

Drawings and photographs, 1878-1972 / Leslie Wilkinson, State Library of NSW, PXD 351

Residential buildings, eastern suburbs of Sydney / mostly by Thompson, Spooner and Dixon and Leslie Wilkinson (1922-1964), State Library of NSW, PXD 818

University of NSW, University Library

City of Sydney Archives, newspaper articles on Leslie Wilkinson

University of Sydney Archives

Heritage inventory sheet

Based on the NSW Heritage Office State Heritage Inventory sheet

ITEM DETAILS		
Name of Item	Monument to Robert Watson, including sandstone tablet, carvings and setting	
Former name		
Item type	Monument	
Address	Robertson Park, 22 Military Road, Watsons Bay	
Property description	Lot 7093	DP 107469
Use	Current Monument	Former Monument
Statement of significance	<p>Erected by Vaucluse Council upon request from the Royal Australian Historical Society (RAHS), the Monument to Robert Watson has historic, associative, aesthetic, social, rarity and representative heritage significance.</p> <p>Designed in 1929 by Professor Leslie Wilkinson, it demonstrates the proactive and educational role of the RAHS in erecting monuments to celebrate NSW history. It is part of a group of other monuments erected around NSW at the request of RAHS.</p> <p>The monument has associative significance for its links to Professor Leslie Wilkinson. It has aesthetic significance as a sandstone carved monument with landmark qualities and aesthetically distinctive Art Deco marine carvings.</p> <p>Wilkinson is a leading and influential figure in Australian architecture for having founded and led the Faculty of Architecture at Sydney University, but also for having combined neo-Georgian with Inter-War Mediterranean styles in response to the sunny Australian climate. A local resident of Vaucluse, this monument is significant as part of the body of work carried out by eminent Architect Professor Leslie Wilkinson in Woollahra between 1918 and 1971.</p> <p>This monument also has associative significance for its links to Robert Watson, who arrived on the First Fleet on 26 January 1788 and was quartermaster of HMAS Sirius, signal man at South Head, pilot, harbor master and first superintendent of Macquarie lighthouse. It is believed that Watsons Bay was named after Robert Watson.</p>	
Level of significance	State: No	Local: Yes
Heritage listings	None	
DESCRIPTION		
Designer	Professor Leslie Wilkinson (1929)	
Builder	Arnold & Sons (1929)	
Construction years	1929	
Physical Description	<p>Dressed sandstone block with inscription in relief, flanked by pillars depicting dolphins entwined around a trident and scallop shell (left) and a chain entwined anchors (right), surmounted by a moulding comprising three sinuous lines ending in shell-like curves, all supported on a sandstone wall of rusticated blocks with flanking arms and internal seat.</p> <p>The carved inscription reads: 'To commemorate Robert Watson, after whom this bay was named. Quartermaster of the HMS Sirius from 1786 to 1790, Signaling Master, South Head, 1791 to 1811, Pilot and Harbour Master 1811 to 1816, Superintendent of Macquarie Lighthouse 1818 to 1819'.</p> <p>For appreciation of this monument, the setting of this monument is approximately 10 metres of radius surrounding the monument all around.</p>	
Physical condition	Good condition	

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Modification and Dates	
Archaeological potential	No known historic and Aboriginal archaeological potential near the Monument, however it is known that the eastern part of Robertson Park was formerly part of the Clovelly Estate.
Comparative analysis	<p>Other comparable monuments in Woollahra LGA</p> <p><u>Milestone Obelisk at Robertson Park</u></p> <p>Possibly erected in 1811, this obelisk records the completion of the Old South Head Road built by "21 soldiers of his majesty, 73 regiment."</p> <p>One of the few remaining structures from that time, it is a reminder to Governor's Macquarie's activities as a road builder. Professor Leslie Wilkinson proposed a design to elevate the obelisk, however this project did not get ahead.</p> <p>This monument is locally listed as a local item on the Woollahra LEP 2014 (no. 459)</p> <p><u>Landing of Governor Phillips, Camp Cove</u></p> <p>This monument was erected in 1927 at Camp Cove by Vaucluse Council at the request of the Royal Australian Historical Society to commemorate the beach as the first landing place of Governor Phillip in Port Jackson.</p> <p>This monument is comparable to the Thomas Watson monument for its commemorative role and use of material (sandstone) but it however shows a more restrained palette and a more rustic manufacture.</p> <p>This monument is not listed on a statutory heritage register.</p> <p><u>Monument to Lieutenant G. J. Grieve in Gap Park, Watsons Bay</u></p> <p>Erected in 1902 initially as a water fountain, this monument is dedicated to Lieutenant G J Grieve who fell fighting the Battle of Baardeberg in South Africa in 1900.</p> <p>This monument is on four sandstone pillars supported by a cupola. Badly damaged by a car accident in 1989, its top part had to be fully rebuilt.</p> <p>This monument has a more elaborate design than the Robert Watson's Monument, however it is commemorating a war memorial event instead of a local historic personality.</p> <p>This monument is locally listed as a local item on the Woollahra LEP 2014 (no.438)</p> <p><u>War Memorial at Lyne Park, Rose Bay</u></p> <p>The Rose Bay War Memorial was built in 1935 to commemorate those who have served in conflicts in which Australia has been involved. It was originally erected in memory of those who died in service or were killed in action during World War One.</p> <p>This is another Art Deco monument that is far more detailed and grand than the Robert Watson's memorial. It commemorates a war memorial event instead of a local historic personality.</p> <p>This monument is locally listed as a local item on the Woollahra LEP 2014 (no.329)</p> <p><u>War Memorial at Fitzwilliam Road, junction with Wentworth Road, Vaucluse</u></p> <p>This is a simple flagpole commemorating those who served in World War One. It was built in 1918 thanks to the initiative of the Vaucluse Progress Association formed in May 1915.</p> <p>The monument marked the entrance to 'Memory Drive', a planned avenue of trees which the Association anticipated would become "an eternal reminder of our debt</p>

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	<p>to our gallant men, keeping their memory green and their sacrifices in honoured remembrance" (The Vauclusean, 1919). Unfortunately this avenue was never made.</p> <p>This memorial is locally listed as a local item on the Woollahra LEP 2014 (item no.349).</p> <p><u>War Memorial at Steyne Park, Double Bay</u></p> <p>A 1919 War memorial commemorating men and women of the district who served in World War One. It was designed and executed by William Priestly Macintosh and is composed of a pedestal with golden lettering and a bronze statue.</p> <p>This monument is not listed on a statutory heritage register.</p> <p>Conclusion</p> <p>From a review of monuments in Woollahra, the Monument to Robert Watson, associated with a historic event, appears to have representative value at local level.</p> <p>Due to its reference to an historic event rather than a war commemoration, and its Art Deco style, this monument is rare at local level. It is also possibly the only monument designed by Professor Leslie Wilkinson in Woollahra.</p>
HISTORY	
Early historical notes	
<p>The coastal regions of Sydney between Port Jackson and Botany Bay are the ancestral territories of the Eora people. The traditional owners of the land now within the Woollahra Council area were the Gadigal (Gadigal) and the Birrabirragal people. In common with other tribes living by Sydney Harbour, the Gadigal lived in harmony with the natural resources within their country, fishing from canoes or hunting the animals that lived in surroundings. The tribe appears to have moved within their territory in response to the seasons and family connections. Shell middens and other archaeological remains in the area provide material evidence of many centuries of sustained connection to the land that also sustained them. The arrival of white settlers caused the wholesale disruption of traditional life and the cultural practices of the Eora people generally. Despite enormous challenges, today many Indigenous people identify as Eora and maintain cultural practices and a connection to Country.</p>	
Robert Watson's Monument	
<p>On 2 July 1929, a letter from the Royal Australian Historical Society was considered at the Vaucluse Council Minutes to commemorate Robert Watson, pilot, and first Lighthouse Keeper, after whom Watson Bay was named. Initially, the monument was to have a fountain let in.</p> <p>On 18 September 1929, Professor Leslie Wilkinson submitted a design to an estimated cost of £70. Tenders were invited for the work in accordance with the plans, and the monument was unveiled on 2 November 1929 (SMH) by Mr K R Cramp, President of the Royal Australian Historical Society. On the day were present Mr David G Steve, of the Town Planning Association, the Mayor of Vaucluse Alderman A C Samuel, Alderman S Sautelle (President of the Vaucluse and Nielsen Park Trust). A tea party was held afterwards at the Vaucluse Park Kiosk.</p> <p>On 4 June 1987, Robert Bruce Crosson recorded the monument for the Royal Australian Historical Society.</p>	
Robert Watson	
<p>Born in 1756 in Northumberland, England, Robert Watson arrived in Australia on 26 January 1788 as quartermaster of the HMS Sirius.</p> <p>In 1801, Robert Watson was granted land at South Head, where he became a boatswain of the dockyard. In April 1811, Governor Macquarie appointed Watson senior pilot and, two years later, harbourmaster. When South Head Lighthouse was finished in November 1818, Watson was installed as its first superintendent.</p> <p>A seaman of the Sirius, who after that ship was lost at Norfolk Island in 1790 was a signalman & Pilot at South Head and after Pilot and Harbourmaster and first keeper of the Lighthouse Macquarie Tower. He died at his residence "The Rocks" on 1 November 1819 and was buried in Devonshire Cemetery. On the resumption of that site for the Central Railway Station, his remains were moved to La Perouse new cemetery and a broken piece of tombstone now lies on his grave.</p>	

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Professor Leslie Wilkinson		
<p>Born in Middlesex, England, Leslie Wilkinson (1882-1973) was a professor of architecture at the University of Sydney, where he dedicated his life to architecture as both an academic and a practising architect. He is a leading and influential figure in Australian architecture, whose traditional approach combined Australia's colonial heritage with Mediterranean/Neo-Georgian architecture.</p> <p>Arriving in Australia in 1918, Wilkinson was appointed as the Chair of Architecture within the faculty of science at the University of Sydney. He then gained approval for a faculty of Architecture which was created, with himself as the first dean, in 1920.</p> <p>Wilkinson played a major role in the development of the University of Sydney campus, being appointed University Architect in 1919 and designing an ambitious master plan to guide its future growth.</p> <p>Between 1918 and 1973 Wilkinson took many commissions for private houses, 44 commissions for the University of Sydney, as well as designing churches, chapels, flats, a Sydney City Council housing project and numerous alterations and additions to existing buildings. This is in addition to his university career, from which he retired in 1947.</p> <p>In 1923, Wilkinson was the first person to be registered on the newly established Roll of the Board of Architects of New South Wales, with registration number 1. He was also made President in 1934, when the Institute of Architects of New South Wales became a Chapter of the Royal Australian Institute of Architects.</p> <p>In 1934 Wilkinson was awarded the Sulman award for the house designed in Wiston Gardens for Dr and Mrs Charles Parkinson. Another Sulman Award was awarded to him in 1942 for the alterations and additions to St Michael's Church in Vaucluse.</p> <p>In 1960 Professor Wilkinson was awarded the RAI Gold Medal, the highest honour the Royal Australian Institute of Architects can bestow to recognize architects who have given outstandingly distinguished service to their profession.</p> <p>The Wilkinson Award was set up in 1961 in his honour with the aim of recognizing, encouraging and rewarding good domestic architecture.</p> <p>Leslie Wilkinson is one of the most well-known and important Australian architects of the 20th Century.</p>		
HISTORICAL THEMES		
Australian Theme	NSW Theme	Local Theme
3 Developing local, regional and national economies	Events	Governor Phillip landing
4 Building settlements, towns and cities	Towns, suburbs and villages	Early development of Watsons Bay
8 Developing Australia's cultural life	Creative Endeavour	The work of Leslie Wilkinson
9 Marking the phases of life	Persons	Robert Watson
HERITAGE SIGNIFICANCE ASSESSMENT		
<p>Historical significance SHR criteria (a)</p>	<p>Erected by Vaucluse Council upon request from the Royal Australian Historical Society (RAHS), the Monument to Robert Watson was designed in 1929 by Professor Leslie Wilkinson. The monument demonstrates the proactive and educational role of the RAHS in erecting monuments to celebrate NSW history.</p>	
	<p>Guidelines for inclusion</p> <p><input checked="" type="checkbox"/> shows evidence of a significant human activity</p> <p><input checked="" type="checkbox"/> is associated with a significant activity or historical phase</p> <p><input type="checkbox"/> maintains or shows the continuity of a historical process or activity</p>	<p>Guidelines for exclusion</p> <p><input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes</p> <p><input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance</p> <p><input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association</p>
<p>Historical association significance SHR criteria (b)</p>	<p>The Monument to Robert Watson has associative significance for its links to Professor Leslie Wilkinson and Robert Watson.</p>	

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	<p>Wilkinson is a leading and influential figure in Australian architecture for having founded and led the Faculty of Architecture at Sydney University, but also for having combined neo-Georgian with Inter-War Mediterranean styles in response to the sunny Australian climate. A local resident of Vaucluse, this monument is significant as part of the body of work carried out by eminent Architect Professor Leslie Wilkinson in Woollahra between 1923 and 1971.</p> <p>It also has associative significance for its links to Robert Watson, who arrived on the First Fleet on 26 January 1788 and was quartermaster of HMAS Sirius, signal man at South Head, pilot, harbor master and first superintendent of Macquarie lighthouse. It is believed that Watsons Bay was named after Robert Watson.</p> <table border="1" data-bbox="539 656 1278 920"> <thead> <tr> <th data-bbox="539 656 927 689">Guidelines for inclusion</th> <th data-bbox="927 656 1278 689">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="539 689 927 920"> <input type="checkbox"/> shows evidence of a significant human occupation <input checked="" type="checkbox"/> is associated with a significant event, person, or group of persons </td> <td data-bbox="927 689 1278 920"> <input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> shows evidence of a significant human occupation <input checked="" type="checkbox"/> is associated with a significant event, person, or group of persons	<input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association
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<p>Aesthetic significance SHR criteria (c)</p>	<p>The Monument to Robert Watson at Robertson Park has aesthetic significance as a sandstone carved monument with landmark qualities and aesthetically distinctive Art Deco marine carvings.</p> <table border="1" data-bbox="539 1043 1278 1361"> <thead> <tr> <th data-bbox="539 1043 927 1077">Guidelines for inclusion</th> <th data-bbox="927 1043 1278 1077">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="539 1077 927 1361"> <input type="checkbox"/> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input checked="" type="checkbox"/> is aesthetically distinctive <input checked="" type="checkbox"/> has landmark qualities <input checked="" type="checkbox"/> exemplifies a particular taste, style or technology </td> <td data-bbox="927 1077 1278 1361"> <input type="checkbox"/> is not a major work by an important designer or artist <input type="checkbox"/> has lost its design or technical integrity <input type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> has only a loose association with a creative or technical achievement </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input checked="" type="checkbox"/> is aesthetically distinctive <input checked="" type="checkbox"/> has landmark qualities <input checked="" type="checkbox"/> exemplifies a particular taste, style or technology	<input type="checkbox"/> is not a major work by an important designer or artist <input type="checkbox"/> has lost its design or technical integrity <input type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> has only a loose association with a creative or technical achievement
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<p>Social significance SHR criteria (d)</p>	<p>While a full social significance is beyond the scope of this assessment, the Monument would have been held in great regard by the RAHS, the Woollahra History & Heritage Society and the Woollahra local community for its association with Robert Watson and its location in Robertson Park. As part of the body of work of eminent architect Professor Leslie Wilkinson, it may hold some social significance for the Woollahra community and the Australian Institute of Architects.</p> <table border="1" data-bbox="539 1552 1278 1702"> <thead> <tr> <th data-bbox="539 1552 927 1585">Guidelines for inclusion</th> <th data-bbox="927 1552 1278 1585">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="539 1585 927 1702"> <input checked="" type="checkbox"/> is important for its associations with an identifiable group <input checked="" type="checkbox"/> is important to a community's sense of place </td> <td data-bbox="927 1585 1278 1702"> <input type="checkbox"/> is only important to the community for amenity reasons <input type="checkbox"/> is retained only in preference to a proposed alternative </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input checked="" type="checkbox"/> is important for its associations with an identifiable group <input checked="" type="checkbox"/> is important to a community's sense of place	<input type="checkbox"/> is only important to the community for amenity reasons <input type="checkbox"/> is retained only in preference to a proposed alternative
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<p>Technical/Research significance SHR criteria (e)</p>	<p>This site does not have potential to yield substantial scientific and/or archaeological information that will contribute to an understanding of the cultural history of the local area.</p> <table border="1" data-bbox="539 495 1286 757"> <thead> <tr> <th data-bbox="539 495 922 524">Guidelines for inclusion</th> <th data-bbox="922 495 1286 524">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="539 524 922 757"> <input type="checkbox"/> has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> is an important benchmark or reference site or type <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere </td> <td data-bbox="922 524 1286 757"> <input type="checkbox"/> the knowledge gained would be irrelevant to research on science, human history or culture <input checked="" type="checkbox"/> has little archaeological or research potential <input type="checkbox"/> only contains information that is readily available from other resources or archaeological sites </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> is an important benchmark or reference site or type <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere	<input type="checkbox"/> the knowledge gained would be irrelevant to research on science, human history or culture <input checked="" type="checkbox"/> has little archaeological or research potential <input type="checkbox"/> only contains information that is readily available from other resources or archaeological sites
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<p>Rarity SHR criteria (f)</p>	<p>Possibly the only monument designed by Professor Leslie Wilkinson in Woollahra. His proposed changes to the Milestone Obelisk were never implemented.</p> <p>Due to its reference to an historic event rather than a war commemoration, and its Art Deco style, this monument is rare at local level.</p> <p>Due to its association with a historic event rather a war commemoration, it appears to be rare at local level.</p> <table border="1" data-bbox="539 994 1286 1406"> <thead> <tr> <th data-bbox="539 994 922 1023">Guidelines for inclusion</th> <th data-bbox="922 994 1286 1023">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="539 1023 922 1406"> <input type="checkbox"/> provides evidence of a defunct custom, way of life or process <input type="checkbox"/> demonstrates a process, custom or other human activity that is in danger of being lost <input checked="" type="checkbox"/> shows unusually accurate evidence of a significant human activity <input checked="" type="checkbox"/> is the only example of its type <input checked="" type="checkbox"/> demonstrates designs or techniques of exceptional interest <input type="checkbox"/> shows rare evidence of a significant human activity important to a community </td> <td data-bbox="922 1023 1286 1406"> <input type="checkbox"/> is not rare <input type="checkbox"/> is numerous but under threat </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> provides evidence of a defunct custom, way of life or process <input type="checkbox"/> demonstrates a process, custom or other human activity that is in danger of being lost <input checked="" type="checkbox"/> shows unusually accurate evidence of a significant human activity <input checked="" type="checkbox"/> is the only example of its type <input checked="" type="checkbox"/> demonstrates designs or techniques of exceptional interest <input type="checkbox"/> shows rare evidence of a significant human activity important to a community	<input type="checkbox"/> is not rare <input type="checkbox"/> is numerous but under threat
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<p>Representativeness SHR criteria (g)</p>	<p>The Monument to Robert Watson is part of a group of other monuments erected in NSW to the request of RAHS. Another example in Woollahra is the 1927 Monument commemorating the landing of Governor Phillip at Camp Cove.</p> <table border="1" data-bbox="539 1525 1286 1986"> <thead> <tr> <th data-bbox="539 1525 922 1554">Guidelines for inclusion</th> <th data-bbox="922 1525 1286 1554">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="539 1554 922 1986"> <input checked="" type="checkbox"/> is a fine example of its type <input type="checkbox"/> has the principal characteristics of an important class or group of items <input type="checkbox"/> has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity <input type="checkbox"/> is a significant variation to a class of items <input checked="" type="checkbox"/> is part of a group which collectively illustrates a representative type <input type="checkbox"/> is outstanding because of its setting, condition or size <input checked="" type="checkbox"/> is outstanding because of its integrity or the esteem in which it </td> <td data-bbox="922 1554 1286 1986"> <input type="checkbox"/> is a poor example of its type <input type="checkbox"/> does not include or has lost the range of characteristics of a type <input type="checkbox"/> does not represent well the characteristics that make up a significant variation of a type </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input checked="" type="checkbox"/> is a fine example of its type <input type="checkbox"/> has the principal characteristics of an important class or group of items <input type="checkbox"/> has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity <input type="checkbox"/> is a significant variation to a class of items <input checked="" type="checkbox"/> is part of a group which collectively illustrates a representative type <input type="checkbox"/> is outstanding because of its setting, condition or size <input checked="" type="checkbox"/> is outstanding because of its integrity or the esteem in which it	<input type="checkbox"/> is a poor example of its type <input type="checkbox"/> does not include or has lost the range of characteristics of a type <input type="checkbox"/> does not represent well the characteristics that make up a significant variation of a type
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	is held			
Integrity	Highly intact			
RECOMMENDATIONS				
Recommendations	It is recommended that the Monument to Robert Watson and its setting in Robertson Park is listed as a local heritage item in the Woollahra Local Environmental Plan.			
INFORMATION SOURCES				
Type	Author/Client	Title	Year	Repository
Study	Megan Martin	Watsons Bay – Thematic History	1997	Woollahra Local Studies Collection
Record	Woollahra Municipal Council	Woollahra Council Minutes	Various	Woollahra Local Studies Collection
Written		Watsons Bay Memorial to be unveiled to-day, Sydney Morning Herald	2 November 1929	Trove
Written		Memorial Tablet unveiled at Watsons Bay, Sydney Morning Herald, Monday 4 November 1929, p.10	4 November 1929	Trove
Written		Monument to founder of Watson's Bay. The Daily Telegraph, Thursday, p 3	19 September 1929	Trove
Written	James Jervis	The History of Woollahra, p.4, 7 and 147.		
Written	Henderson, B (ed)	Monuments and memorials NSW, RAHS	1988	RAHS
Written	Lea Scarlett, E J	Robert Watson (1756-1819), Australian Dictionary of Biography, Vol.2 1788-1850	1967	ANU

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IMAGES			
Image Caption	Photo by Bruce Crosson taken 1987		
			
Image Year	1987	Image author and Copyright Holder	Bruce Crosson, Woollahra History & Heritage Society


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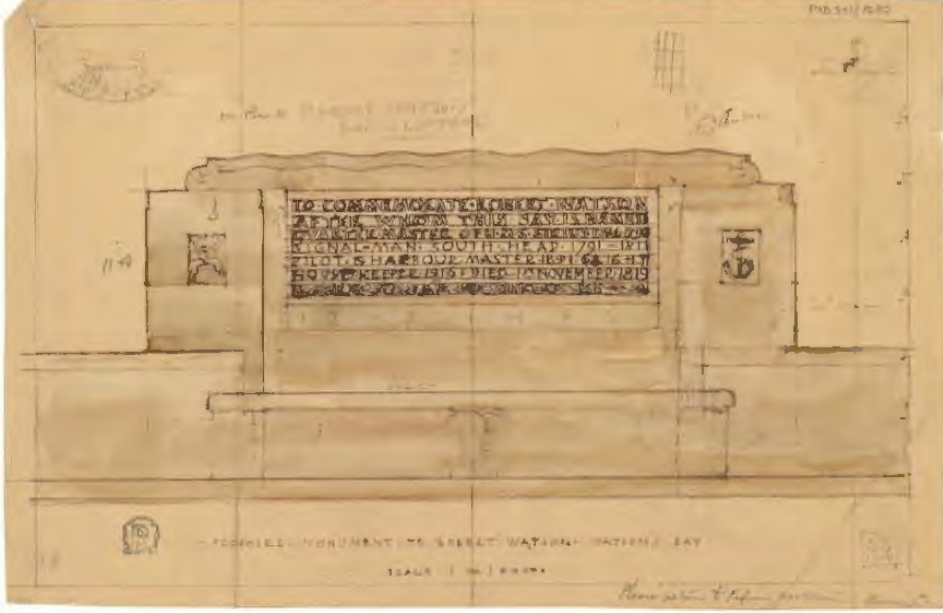
IMAGES			
Image Caption	View of the northern side of the Monument to Robert Watson		
			
Image Year	2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

IMAGES			
Image Caption	View of the southern side of the Monument to Robert Watson		
			
Image Year	2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

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IMAGES			
Image Caption	Carvings to the design of Leslie Wilkinson		
			
Image Year	2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

IMAGES			
Image Caption	Drawings from the State Library Collection (PXD 351, Roll 141, F 1280)		
			
Image Year	1929	Image author and Copyright Holder	Wilkinson Estate

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IMAGES			
Image Caption	Drawings from the State Library Collection (PXD 351, Roll 141, F 1279)		
Image Year	1929	Image author and Copyright Holder	Wilkinson Estate


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IMAGES			
Image Caption	Curtilage map of the Robert Watson Monument		
Image Year	2022	Image author and Copyright Holder	Woollahra Council

Heritage inventory sheet

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IMAGES			
Image Caption	Aerial map of Robertson Park showing approximate location of the Robert Watson Monument		
			
Image Year	2022	Image author and Copyright Holder	Woollahra Council

AUTHOR OF THIS REPORT	
Name	Date
Flavia Scardamaglia, Senior Strategic Heritage Officer – Woollahra Council	July 2022

Draft Woollahra 2015: Heritage inventory sheet

Based on the NSW Heritage Office State Heritage Inventory sheet

ITEM DETAILS			
Name of Item	Hampden Lodge, including interiors and garage		
Former name			
Item type	Built		
Address	12	Hampden Avenue	Darling Point
Property description	Lot 1		DP 1184885
Use	Current Residential		Former Stables
Statement of significance	<p>12 Hampden Avenue, Darling Point was originally built as the stables to the 1830s Winslow mansion (which was subsequently demolished in the late 1950s). The building was constructed in the Federation period, and converted into a residence by Sydney Gilchrist in 1922 following its subdivision from Winslow.</p> <p>The site is of local heritage significance for its association with Winslow and for its providing historically significant evidence of the early development of Darling Point, the Winslow mansion and the Winslow Estate.</p> <p>It is also significant for its association with eminent architect Professor Leslie Wilkinson, who designed alterations additions in 1936, 1941 and 1947 for Mrs Florence Emily Nesbitt. In this instance, Wilkinson's design maintained the Federation character of this building while harmoniously adding some modest additions showing classical references.</p> <p>Detailing of his restrained classicism include: pastel coloured rendered walls, wrought iron gate, decorative window grilles, bull's eye windows of the garage, voussoir archway, timber sash windows with louvered shutters, gabled tiled roof and sandstone fireplace finished with a coat of arms. Many of Hampden Lodge's significant interiors by Wilkinson can be found in the State Library drawings prepared for Mrs Nesbitt.</p> <p>Wilkinson is a leading and influential figure in Australian architecture for having founded and led the Faculty of Architecture at Sydney University, but also for having combined neo-Georgian with Inter-War Mediterranean styles in response to the sunny Australian climate. His Neo-Georgian detailing references classical architecture while re-interpreting it in a restrained and modern fashion that made Wilkinson one of the most influential architects of Australia.</p>		
Level of significance	State: No	Local: Yes	
Heritage listings	None		
DESCRIPTION			
Designer	Leslie Wilkinson (alterations and additions, 1936, 1941 and 1947)		
Builder	T Harper (1922) , Bent Bros (1936), H Mott (1941), Stuart Bros (1947)		
Construction years	Between 1902 and 1909		
Physical Description	<p>A single storey building built on a rock sandstone base with terracotta pitched roof with eaves, timber double hung sash windows with blue painted Venetian shutters. It features some rustic simple detailing such as a timber screen in the timber gable (originally with finial), window sills on timber brackets and chimney with chimney pot.</p> <p>The site is accessed through a voussoir arch with wrought iron gate and a single storey garage with a flat parapet roof. The 1941 garage has bull's eye windows to the north elevation.</p> <p>A note in the State Library plan reads in relation to the roof tiles: <i>"Blue Marseille pattern tiles". Samples of colour to be submitted (like the new white house at corner of Victoria Road & New South Head Road Rose Bay).</i>" This note refers to Villa D'Este by Joseland & Gilling.</p>		

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	Internally it has mostly original joineries, with some contemporary fittings in the kitchen and bathrooms. Original grated windows, front door with entablature, fireplace and joinery.
Physical condition	Generally in good condition, with some maintenance needed to the rear addition.
Modification and Dates	BA51/1922 Alterations & Additions Part Lot 9, Hampden Avenue, for S Gilchrist, builder T Harper BA98/1936 Additions for Mrs Nesbitt, Architect Leslie Wilkinson, builder Bent Bros Ltd BA113/1941 Addition of loft for Mrs Nesbitt, Architect Leslie Wilkinson, builder H Mott) BA55/1947 Garage for Mrs Nesbitt, Architect Leslie Wilkinson, builder Stuart Bros BA1115/1966 - 317A Application for Mr Lawrence BA337/2012 Land subdivision boundary realignment between 10 & 12 Hampden
Archaeological potential	No known historic archaeological potential. Identified as being on potentially sensitive land on the Aboriginal sensitivity mapping.
Comparative analysis	<p>Other lodges or small cottages designed by Wilkinson:</p> <p><u><i>The Haven</i>, 1A McBride Avenue, Hunters Hill</u></p> <p>Alterations and additions to this house occurred in 1929, built by Molineaux for a cost of works of £1,166.</p> <p>Alterations undertaken by Wilkinson were respectful of the original character of this house that was sympathetically renovated for his college Professor Robert Strachan Wallace, Vice Chancellor at Sydney University.</p> <p>This sympathetic approach to the existing, similar to Bishops court, Dunara, University of Sydney Quadrangle, Vaucluse or St Michael's Church is also similar to Hampden Lodge's renovations for Mrs Nesbit.</p> <p>This house is listed as a local item "House, 'Gatehouse Cottage,'" number I201 on the Hunters Hill LEP 2012.</p> <p><u>21 Gladwood Gardens, Double Bay</u></p> <p>This is a part two storey sandstone house formerly used as Stables for 1865 Gladwood House mansion (formerly known as Glenyarrah). It was subdivided from Gladwood around 1927 when the Gladwood Gardens estate was formed and redeveloped.</p> <p>Wilkinson undertook minor alterations to adapt this building into a house, with a sympathetic approach similar to Hampden Lodge aiming to retain the building's rustic presentation.</p> <p>This house is listed as a local item "House and interiors, stone works" number 204 of the Woollahra LEP 2014.</p> <p><u><i>Gatekeeper's Lodge</i> at Parramatta Road entrance, University of Sydney</u></p> <p>This lodge was purpose built as an ancillary building to provide accommodation for a caretaker of the Veterinary Faculty, hence its former name Veterinary Sciences Lodge.</p> <p>It was designed by Wilkinson in 1920-21 and built by Taylor for a cost of £1,580. Inside and out, Wilkinson's identifiable use of Georgian style six-paned sash windows with timber shutters, six-panelled timber doors and cream painted stucco are clearly evident. Other rare aspects of this cottage are its unusually steep roof and the angled buttresses along the northern elevation.</p> <p>Overall this cottage is representative of a domestic ancillary building to the Veterinary faculty for the University of Sydney.</p> <p>This building is listed as a local item "Gatekeeper's Lodge, University of Sydney' including interior" number I53 of the Sydney LEP 2012 and is also listed on S170 Heritage Register of the Heritage Act, 1977 (part of SHR 01974).</p> <p><u><i>Baxter's Lodge</i>, University Avenue, University of Sydney</u></p> <p>Originally known as the Yeoman Bedell's Lodge, the Baxter's Lodge was designed by Leslie Wilkinson in the Gothic Revival style, with the picturesque insertion of a verandah</p>

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	<p>and a bay window facing Parramatta Road.</p> <p>It was built in 1940 by builder Roseweare for a cost of works of £2,790.</p> <p>Wilkinson may have reused some of the building fabric from the demolished Messenger's Lodge, once standing near the City Road entrance of the University. This 1885 lodge was demolished in 1939, just before Baxter's Lodge was being built.</p> <p>This house is listed as a local item "Baxter's Lodge, University of Sydney including interior and gates" number 186 of the Sydney LEP 2012 and is also listed on S170 Heritage Register of the Heritage Act, 1977 (part of SHR 01974).</p> <p>Conclusion</p> <p>From a review of other similar cottages and lodges designed by Leslie Wilkinson, Hampden Lodge at 12 Hampden Avenue, Darling Point is representative of lodges designed by Wilkinson throughout Sydney deriving from either the readaptation of earlier structures or the construction of new lodges ancillary to bigger mansions or precincts.</p>
HISTORY	
Early historical notes	
<p>The coastal regions of Sydney between Port Jackson and Botany Bay are the ancestral territories of the Eora people. The traditional owners of the land now within the Woollahra Council area were the Cadigal (Gadigal) and the Birrabirragal people. In common with other tribes living by Sydney Harbour, the Gadigal lived in harmony with the natural resources within their country, fishing from canoes or hunting the animals that lived in surroundings. The tribe appears to have moved within their territory in response to the seasons and family connections. Shell middens and other archaeological remains in the area provide material evidence of many centuries of sustained connection to the land that also sustained them. The arrival of white settlers caused the wholesale disruption of traditional life and the cultural practices of the Eora people generally. Despite enormous challenges, today many Indigenous people identify as Eora and maintain cultural practices and a connection to Country.</p>	
12 Hampden Avenue Darling Point	
<p>The land on which Hampden Lodge was built was originally granted to Thomas Barker on 28 November 1833. It was initially subdivided as the Delamere Estate in 1833, and became later known as lot 4 of a subdivision of lot 9 (Winslow Estate).</p> <p>Lot 9 was developed as a mansion, Winslow or Winslowe, visible on the 1885 Metropolitan Detail Series map and the 1889 Map of the Woollahra Municipality by Higginbotham & Robinson. By 1860, Winslow was on the market.¹ It is described in the sales advertisement as built of cut stone, with a verandah on both sides, occupying the crown of the dell approached by a handsome drive. It was bound on the west by a private road, the 'portion which fronts the latter [east] might be separated from the rest without prejudice, to form a first rate building site'. It was complemented by a coach house and stabling and identified as one of the most complete and comfortable homes in the colony.</p> <p>In 1892 and 1896, Winslow was advertised for lease.² Up until 1896 Hampden Avenue was called Thornton Lane,³ renamed soon after the sewerage was connected to this rear street.⁴</p> <p>In 1900, at the death of Sir George Innes, Winslow was put on the market with all its contents.⁵ However, it didn't get sold and it was on the market again in 1921 from agent Raine and Horne. This time the advertisement specifically mentioned a large brick garage and stabling fronting Hampden Avenue.⁶ A fine</p>	

¹ Advertising (1860, March 10). Empire (Sydney, NSW : 1850 - 1875), p. 6. Retrieved November 26, 2021, from <http://nla.gov.au/nla.news-article60406936>

² Property Sales. (1896, March 28). The Sydney Morning Herald (NSW : 1842 - 1954), p. 11. Retrieved November 26, 2021, from <http://nla.gov.au/nla.news-article14043399>

³ Borough of Woollahra (1896, January 29). *New South Wales Government Gazette (Sydney, NSW : 1832 - 1900)*, p. 632. Retrieved November 26, 2021, from <http://nla.gov.au/nla.news-article222648347>

⁴ Advertising (1894, October 4). The Sydney Morning Herald (NSW : 1842 - 1954), p. 2. Retrieved November 29, 2021, from <http://nla.gov.au/nla.news-article13970893>

⁵ Advertising (1900, February 13). The Sydney Morning Herald (NSW : 1842 - 1954), p. 3. Retrieved November 26, 2021, from <http://nla.gov.au/nla.news-article14293797>

⁶ Advertising (1921, January 29). The Sydney Morning Herald (NSW : 1842 - 1954), p. 18. Retrieved November 26, 2021, from <http://nla.gov.au/nla.news-article16886003>

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residence is listed, together with 'an attractive bungalow', Hampden Lodge, and tennis courts in large grounds.⁷

The structure fronting Hampden Avenue was likely built between 1902 and 1909 as stables for the main house. It is not shown on a 1902 subdivision plan for Darling Point, indicating it had not been built as yet. Ordinance 70 (which amended the *Local Government Extension Act, 1906*) came into effect at Woollahra in June 1909, requiring all building applications to receive Council approval and reported in the Council Minutes. All applications lodged to Woollahra Council from June 1909 onwards have been reviewed from the Building Register and there are no applications related to this property between 1909 and 1921. It can therefore be assumed that the stables had been already built by June 1909.

After the 1921 sale, Sydney Gilchrist became the new owner and the following year he applied for alterations and additions (BA51/1922), indicating builder T Harper. The building was added to the east, giving it an L-shape to form a courtyard. The fact that these are identified as alteration and additions confirm that a building had been already built by 1922.

In 1921, an application to convert Winslow into flats was lodged with Council (BA203/1921). In 1922, Gilchrist applied to subdivide the land into four lots, with Hampden Lodge being Lot 4 (Woollahra Council S471/1922). The building fronting Hampden Avenue is shown on the subdivision plan as a rectangular block with a small square outbuilding. When the Winslow Estate subdivision was advertised however, the new approved additions to Hampden Lodge had already been plotted.

In 1930 Mrs Florence Emily Nesbitt purchased lot 4 of the Winslow Estate and applied for a new Torrens Certificate of Title (Vol 4385 Folio 69). In the Certificate of Title she is identified as a 'Femme Sole'.

Over the years Mrs Nesbitt undertook a few improvements to her property. In 1936 she commissioned Leslie Wilkinson to design alterations and additions, a new addition to the southern end and a new 'Florentine doorway' to access the property (BA98/1936). The existing slated roof was changed with blue Marseille tiles. Plans at the State Library show a variety of different schemes for the new addition and internal details such as cornices, grilles, fireplaces, a new wardrobe, a new bathroom and other decorated treatments to be agreed to by Mrs Nesbitt.

In 1941 an application was lodged with Council to create a loft with a rear dormer in the northern section of the house, also designed by Leslie Wilkinson (BA113/1941). In 1947 a new garage was built, also by Leslie Wilkinson (BA55/1947), with bull's eye windows and decorated grills to the long (northern) elevation.

Mrs Nesbitt died on 20 February 1965. The following year Robert McGregor was registered as the owner, but the property was sold the following year to Lorraine Cecile Lawrence. The chain of ownership was not researched after this date.

Professor Leslie Wilkinson

Born in Middlesex, England, Leslie Wilkinson (1882-1973) was a professor of architecture at the University of Sydney, where he dedicated his life to architecture as both an academic and a practising architect. He is a leading and influential figure in Australian architecture, whose traditional approach combined Australia's colonial heritage with Mediterranean/Neo-Georgian architecture.

Arriving in Australia in 1918, Wilkinson was appointed as the Chair of Architecture within the faculty of science at the University of Sydney. He then gained approval for a faculty of Architecture which was created, with himself as the first dean, in 1920.

Wilkinson played a major role in the development of the University of Sydney campus, being appointed University Architect in 1919 and designing an ambitious master plan to guide its future growth.

Between 1918 and 1973 Wilkinson took many commissions for private houses, 44 commissions for the University of Sydney, as well as designing churches, chapels, flats, a Sydney City Council housing project and numerous alterations and additions to existing buildings. This is in addition to his university career, from which he retired in 1947.

In 1923, Wilkinson was the first person to be registered on the newly established Roll of the Board of Architects of New South Wales, with registration number 1. He was also made President in 1934, when the Institute of Architects of New South Wales became a Chapter of Royal Australian Institute of Architects.

In 1934 Wilkinson was awarded the Sulman award for the house designed in Wiston Gardens for Dr and Mrs Charles Parkinson. Another Sulman Award was awarded to him in 1942 for the alterations and additions to St Michael's Church in Vaucluse.

⁷ Forthcoming Auctions (1922, June 24). The Daily Telegraph (Sydney, NSW : 1883 - 1930), p. 17. Retrieved November 29, 2021, from <http://nla.gov.au/nla.news-article245727316>

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<p>In 1960 Professor Wilkinson was awarded the RAI A Gold Medal, the highest honour the Royal Australian Institute of Architects can bestow to recognize architects who have given outstandingly distinguished service to the their profession.</p> <p>The Wilkinson Award was set up in 1961 in his honour with the aim of recognizing, encouraging and rewarding good domestic architecture.</p> <p>Leslie Wilkinson is one of the most well-known and important Australian architect of the 20th Century.</p>		
HISTORICAL THEMES		
Australian Theme	NSW Theme	Local Theme
4. Building settlements, towns and cities	Towns, suburbs and villages	Early development of Darling Point
8. Developing Australia's cultural life	Creative Endeavour	The work of Leslie Wilkinson
HERITAGE SIGNIFICANCE ASSESSMENT		
<p>Historical significance SHR criteria (a)</p>	<p>As evidence of the Federation development of Darling Point and association with former mansion Winslow, Hampden Lodge has historical significance as part of the 1833 Delamere Estate and 1922 Winslow Estate.</p> <p>Originally built as stables to Winslow mansion between 1902 and 1909, Hampden Lodge is significant as an adaptive re-use of a Darling Point structure associated with an early mansion. It was subdivided from the main house in 1922 by Sydney Gilchrist. It was altered and added by Professor Leslie Wilkinson in 1936, 1941 and 1947 for Mrs Florence Emily Nesbitt. Winslow was demolished for flats in the late 1950s.</p>	
	<p>Guidelines for inclusion</p> <p><input type="checkbox"/> shows evidence of a significant human activity</p> <p><input checked="" type="checkbox"/> is associated with a significant activity or historical phase</p> <p><input type="checkbox"/> maintains or shows the continuity of a historical process or activity</p>	<p>Guidelines for exclusion</p> <p><input checked="" type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes</p> <p><input checked="" type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance</p> <p><input checked="" type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association</p>
<p>Historical association significance SHR criteria (b)</p>	<p>Associative significance as an example of the work of prominent architect and architectural academic, Professor Leslie Wilkinson and for its association with an early Darling Point mansion, Winslow. Wilkinson designed alterations and additions to this property for Mrs Florence Emily Nesbitt in 1936, 1941 and 1947.</p>	
	<p>Guidelines for inclusion</p> <p><input type="checkbox"/> shows evidence of a significant human occupation</p> <p><input checked="" type="checkbox"/> is associated with a significant event, person, or group of persons</p>	<p>Guidelines for exclusion</p> <p><input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes</p> <p><input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance</p> <p><input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association</p>
<p>Aesthetic significance SHR criteria (c)</p>	<p>Wilkinson's design maintained the Federation character of this building while harmoniously adding some modest additions. A modest building with a fine presentation to Hampden Avenue, it shows its early rustic origin in the use of timber gable screen, double hung timber sash windows and sandstone base.</p> <p>The voussoir archway with gate is a finely crafted detailing showing Wilkinson's touches of restrained classicism. Internally, original joineries, sandstone fireplace with coat of</p>	

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	<p>arms, Federation vents and wrought iron grills are part of the significant fabric of this building.</p> <p>The modest flat roofed garage features significant bulls'eye windows to the north elevation with decorative grilles.</p> <table border="1" data-bbox="523 524 1327 869"> <thead> <tr> <th data-bbox="523 524 928 555">Guidelines for inclusion</th> <th data-bbox="928 524 1327 555">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="523 555 928 869"> <input checked="" type="checkbox"/> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input checked="" type="checkbox"/> is aesthetically distinctive <input type="checkbox"/> has landmark qualities <input type="checkbox"/> exemplifies a particular taste, style or technology </td> <td data-bbox="928 555 1327 869"> <input type="checkbox"/> is not a major work by an important designer or artist <input type="checkbox"/> has lost its design or technical integrity <input type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> has only a loose association with a creative or technical achievement </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input checked="" type="checkbox"/> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input checked="" type="checkbox"/> is aesthetically distinctive <input type="checkbox"/> has landmark qualities <input type="checkbox"/> exemplifies a particular taste, style or technology	<input type="checkbox"/> is not a major work by an important designer or artist <input type="checkbox"/> has lost its design or technical integrity <input type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> has only a loose association with a creative or technical achievement
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<p>Social significance SHR criteria (d)</p>	<p>While a full social assessment may be beyond this heritage assessment, as part of the body of work of eminent architect Professor Leslie Wilkinson, 12 Hampden Avenue may hold some social significance for the Woollahra community and the Australian Institute of Architects.</p> <table border="1" data-bbox="523 1010 1327 1182"> <thead> <tr> <th data-bbox="523 1010 928 1041">Guidelines for inclusion</th> <th data-bbox="928 1010 1327 1041">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="523 1041 928 1182"> <input checked="" type="checkbox"/> is important for its associations with an identifiable group <input checked="" type="checkbox"/> is important to a community's sense of place </td> <td data-bbox="928 1041 1327 1182"> <input type="checkbox"/> is only important to the community for amenity reasons <input type="checkbox"/> is retained only in preference to a proposed alternative </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input checked="" type="checkbox"/> is important for its associations with an identifiable group <input checked="" type="checkbox"/> is important to a community's sense of place	<input type="checkbox"/> is only important to the community for amenity reasons <input type="checkbox"/> is retained only in preference to a proposed alternative
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<p>Technical/Research significance SHR criteria (e)</p>	<p>This property does not have potential to yield substantial scientific and/or archaeological information that will contribute to an understanding of the cultural history of the local area.</p> <table border="1" data-bbox="523 1279 1327 1559"> <thead> <tr> <th data-bbox="523 1279 928 1310">Guidelines for inclusion</th> <th data-bbox="928 1279 1327 1310">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="523 1310 928 1559"> <input type="checkbox"/> has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> is an important benchmark or reference site or type <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere </td> <td data-bbox="928 1310 1327 1559"> <input checked="" type="checkbox"/> the knowledge gained would be irrelevant to research on science, human history or culture <input checked="" type="checkbox"/> has little archaeological or research potential <input type="checkbox"/> only contains information that is readily available from other resources or archaeological sites </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> is an important benchmark or reference site or type <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere	<input checked="" type="checkbox"/> the knowledge gained would be irrelevant to research on science, human history or culture <input checked="" type="checkbox"/> has little archaeological or research potential <input type="checkbox"/> only contains information that is readily available from other resources or archaeological sites
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<p>Rarity SHR criteria (f)</p>	<p>A rare building providing evidence of one of the early mansions of Darling Point, Winslow.</p>			
<p>Representativeness SHR criteria (g)</p>	<p>12 Hampden Avenue, Darling Point is part of a group of lodges and small cottages that are representative of the body of work of prominent Australian architect Professor Leslie Wilkinson. In this instance, representative Mediterranean references were used such as the voussoir archway, wrought iron gate and window grilles, panel door with entablature and timber shutters.</p>			
<p>Integrity</p>	<p>Generally in good structural condition, with some maintenance required to the rear addition.</p>			
<p>RECOMMENDATIONS</p>				
<p>Recommendations</p>	<p>It is recommended that the house, interiors and garage be listed as a local heritage item in the Woollahra Local Environmental Plan.</p>			
<p>INFORMATION SOURCES</p>				
<p>Type</p>	<p>Author/Client</p>	<p>Title</p>	<p>Year</p>	<p>Repository</p>
<p>Study</p>	<p>Broomham, Rosemary</p>	<p>Darling Point – Thematic History</p>	<p>2002</p>	<p>Woollahra Local Studies Collection</p>

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Records	NSW Valuer General	NSW Valuer General Assessments	Various	Woollahra Local Studies Collection
Plans	Various	Subdivision Plans	Various	State Library of NSW
Record	Woollahra Municipal Council	Building Application Records	Various	Woollahra Local Studies Collection
Record	Woollahra Municipal Council	Rates Book Records	Various	Woollahra Local Studies Collection
Record	Woollahra Municipal Council	Woollahra Council Minutes	Various	Woollahra Local Studies Collection
Plans	Leslie Wilkinson	Architectural drawings PXD351	Various	State Library of NSW
Plans	Leslie Wilkinson	BA98/1936 ; BA113/1941 ; BA55/1947	1939	Woollahra Records
Written	Falkiner S (ed.)	Leslie Wilkinson, A Practical Idealist	1982	State Library of NSW

IMAGES			
Image Caption	Plan of the estate of Delamere, drawn between 1839 and 1849		
Image Year	1839-49	Image author and Copyright Holder	State Library of NSW

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IMAGES			
Image Caption	Extract from the 1885 Metropolitan Detail Series of Woollahra, Sheet 11. Hampden Lodge had not been built.		
			
Image Year	1885	Image author and Copyright Holder	State Library of NSW

IMAGES			
Image Caption	Extract from 1889 H&R Municipality Map showing Winslow		
			
Image Year	1889	Image author and Copyright Holder	Woollahra Local History

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IMAGES			
Image Caption	Winslow at 66 Darling Point Road in 1958, a few years prior to its demolition		
			
Image Year	C1958	Image author and Copyright Holder	Woollahra Local History Centre

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IMAGES			
Image Caption	Advertising (1860, March 10). <i>Empire</i> (Sydney, NSW : 1850 - 1875), p. 6. Retrieved November 26, 2021, from http://nla.gov.au/nla.news-article60406936		
<p>DARLING POINT.</p> <p>WINSLOW HOUSE & GROUNDS, A NEST CHARMING RESIDENCE ON THE DARLING POINT ROAD,</p> <p>Overlooking the waters of our beautiful Harbour, Government House, the City, and the North Shore, on the west side; and taking in the scenery from Double Bay to the Heads on the east; views amongst the very finest this beautiful locality enjoys, and which cannot be surpassed elsewhere.</p> <p>Title, unquestionable.</p> <p>Terms: A portion of the purchase-money may remain secure upon the property by mortgage if desired.</p> <p>MORT and CO. have been instructed by the Proprietor, Captain Pike, whose departure for Europe alone induces him to dispose of it, to sell by public auction, at the Rooms, Pitt-street, at 11 o'clock, On WEDNESDAY, 31st March,</p> <p>That most beautifully situated, and really delightful residence WINSLOWE HOUSE and GROUNDS, on the Darling Point Road, immediately beyond Delamere House, and opposite to Mount Adelaide.</p> <p>THE HOUSE is built of cut stone, with a verandah on both sides; the rooms are exceedingly well finished, and the drawing and dining rooms very spacious. It occupies the crown of the dell, and is approached through shrubbery and lawn by a handsome drive. The views from every part of the land, as before stated, are unsurpassed. The property is bounded on the east by the Darling Point Road, and on the west by a private road, and the portion which fronts the latter might be separated from the rest without prejudice, to form a first-rate building site.</p> <p>The COACH-HOUSE, STABLING, and other offices are most substantial erections, and the whole property may be considered as one of the most complete and comfortable homes in the colony.</p> <p>*.* Inspection of the property is particularly invited Parties wishing to examine it will be pleased to apply for cards to MORT and CO., the Rooms, Pitt-street.</p>			
Image Year	10 March 1860	Image author and Copyright Holder	National Library of Australia

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IMAGES			
Image Caption	Advertising (1921, January 29). <i>The Sydney Morning Herald</i> (NSW : 1842 - 1954), p. 18. Retrieved November 26, 2021, from http://nla.gov.au/nla.news-article16886003		
<div style="border: 1px solid black; padding: 10px;"> <p>Under instructions from THE PERPETUAL TRUSTEE COMPANY, LIMITED, and R. H. LONG INNES, Esq., K.C., as Trustees</p> <p>DARLING POINT.</p> <p>WINSLOW, DARLING POINT-ROAD.</p> <p>A CHARMING HOME, with Extensive Harbour Views.</p> <p>WINSLOW, beautifully situated in spacious grounds, laid out in Gardens, Tennis Lawn, well-grown shrubs and shade trees, is of pleasing design, and solidly constructed of stone and brick, with slate roof.</p> <p>The accommodation comprises tiled enclosed Vestibule, Verandah, Hall, 3 well-proportioned Reception-rooms, Billiard-room, large verandah at rear, and complete and ample domestic requirements. Upstairs are 7 Bedrooms, several of which open on to Balconettes, Dressing-room, Sewing-room, 2 Bathrooms, and 2 Maids' Rooms.</p> <p>At the rear, facing HAMPDEN-AVENUE, are a large brick Garage and Stabling.</p> <p>THE LAND has a frontage of 145ft 10in to Darling Point-road by a depth on one side of 303ft, and on the other 430ft, the frontage to Hampden-avenue being 118ft 9in.</p> <p>TITLE FREEHOLD.</p> <p>Cards to view must be obtained from the Auctioneers.</p> <p>THIS DELIGHTFUL PROPERTY, SITUATED IN SYDNEY'S MOST DESIRABLE RESIDENTIAL AREA, ADJOINS SWIFTS, AND IS NEARLY OPPOSITE THE WELL-KNOWN RESIDENCE OF SIR SAMUEL HORDERN. IT SHOULD PROVE PARTICULARLY ADAPTABLE FOR CONVERSION INTO A PROFITABLE FLAT INVESTMENT.</p> <p>RAINE and HORNE will offer the above at PUBLIC AUCTION, in the Rooms, 70 Pitt-street, Sydney, on THURSDAY, 17th FEBRUARY, 1921, at 11.30 a.m.</p> <p style="text-align: right;">(29)</p> </div>			
Image Year	29 January 1921	Image author and Copyright Holder	National Library of Australia

Draft Woollahra 2015: Heritage inventory sheet

Based on the NSW Heritage Office State Heritage Inventory sheet

IMAGES			
Image Caption	Plan from the subdivision application S471/1922		
Image Year	1922	Image author and Copyright Holder	Woollahra Local History Centre

IMAGES			
Image Caption	Extract from 1902 subdivision plan: Darling Point, 5 Choice Double Fronted Building Sites, Saturday 29 November 1902 Raine & Horne. There are no buildings fronting Hampden Avenue as yet.		
Image Year	1902	Image author and Copyright Holder	State Library of NSW

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Based on the NSW Heritage Office State Heritage Inventory sheet

IMAGES			
Image Caption	Winslow Estate Darling Point subdivision showing Hampden Lodge already modified by S Gilchrist.		
Image Year	1922	Image author and Copyright Holder	State Library of NSW

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Based on the NSW Heritage Office State Heritage Inventory sheet

IMAGES			
Image Caption	BA51/1922 for S Gilchrist, builder T Harper		
Image Year	1922	Image author and Copyright Holder	Woollahra Council Archives

IMAGES	
Image Caption	Wilkinson drawings for 12 Hampden Avenue, Darling Point (BA98/1936)

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Based on the NSW Heritage Office State Heritage Inventory sheet

Image Year	1936	Image author and Copyright Holder	Woollahra Records
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IMAGES

Image Caption	Wilkinson drawings for a new loft (BA113/1941)
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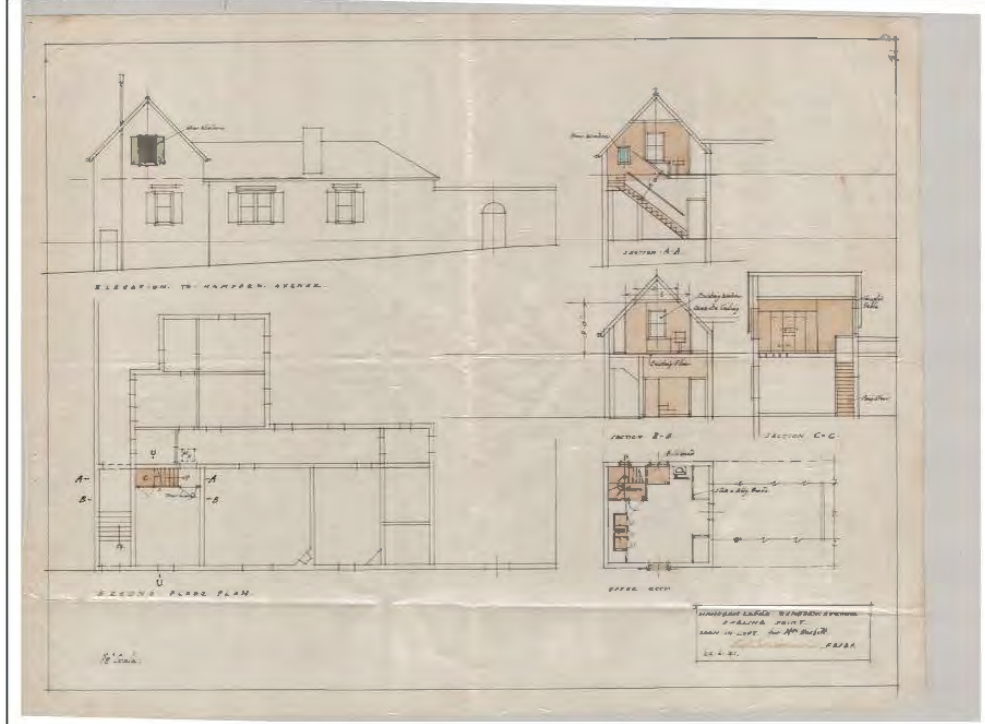
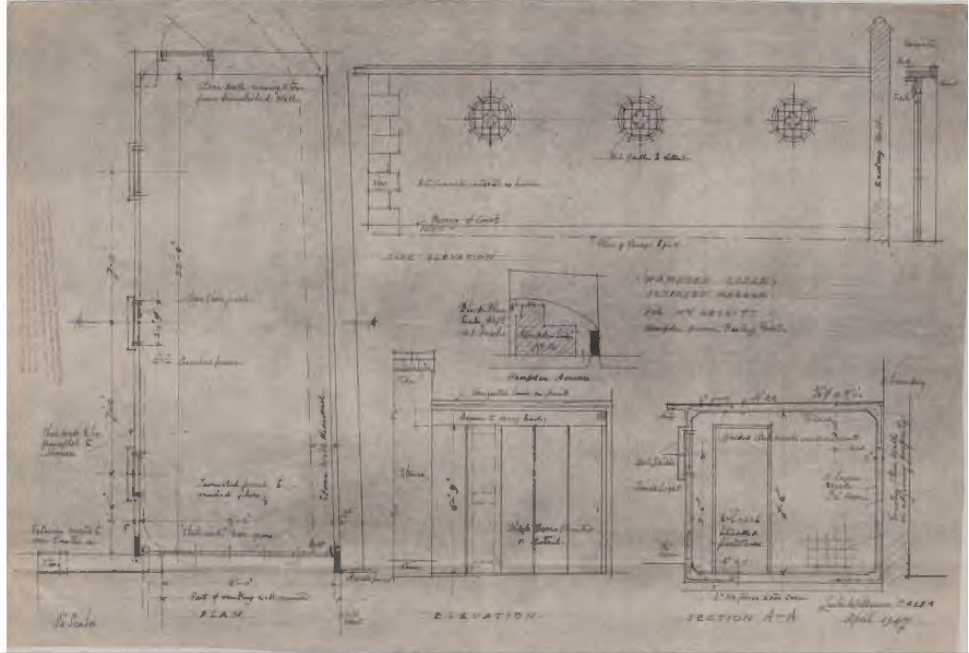


Image Year	1941	Image author and Copyright Holder	Woollahra Records
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Draft Woollahra 2015: Heritage inventory sheet


Based on the NSW Heritage Office State Heritage Inventory sheet

IMAGES			
Image Caption	Wilkinson drawings for a new garage (BA55/1947)		
			
Image Year	1947	Image author and Copyright Holder	Woollahra Records

IMAGES			
Image Caption	View of the garage's bull eye's windows and wrought iron grills		
			
Image Year	2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

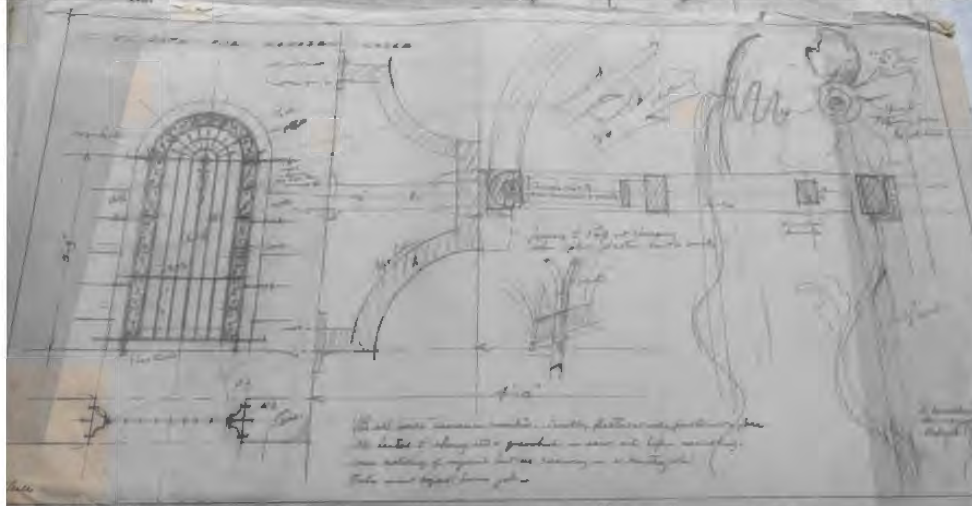
Draft Woollahra 2015: Heritage inventory sheet

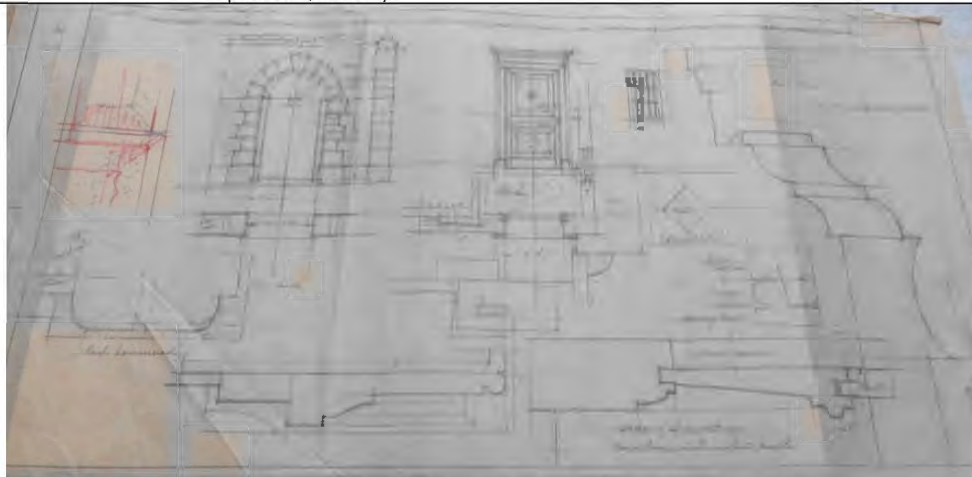
Based on the NSW Heritage Office State Heritage Inventory sheet

IMAGES		
Image Caption	The Florentine Doorway from 14 Ginahgulla Road Bellevue Hill, also used at Hampden Lodge (Source: The Home, Vol.19, No.6, 1 June 1938, p.60)	
 <p style="text-align: center; font-size: small;"> THE FLORENTINE DOORWAY The entrance to Mr. Samuel Hudson's house, Ginahgulla Road, Bellevue Hill. From the garden staircase one enters through a wrought-iron gate into a walled loggia leading to the stable front door. </p>		
Image Year	1938	Image author and Copyright Holder
		National Library of Australia via Trove

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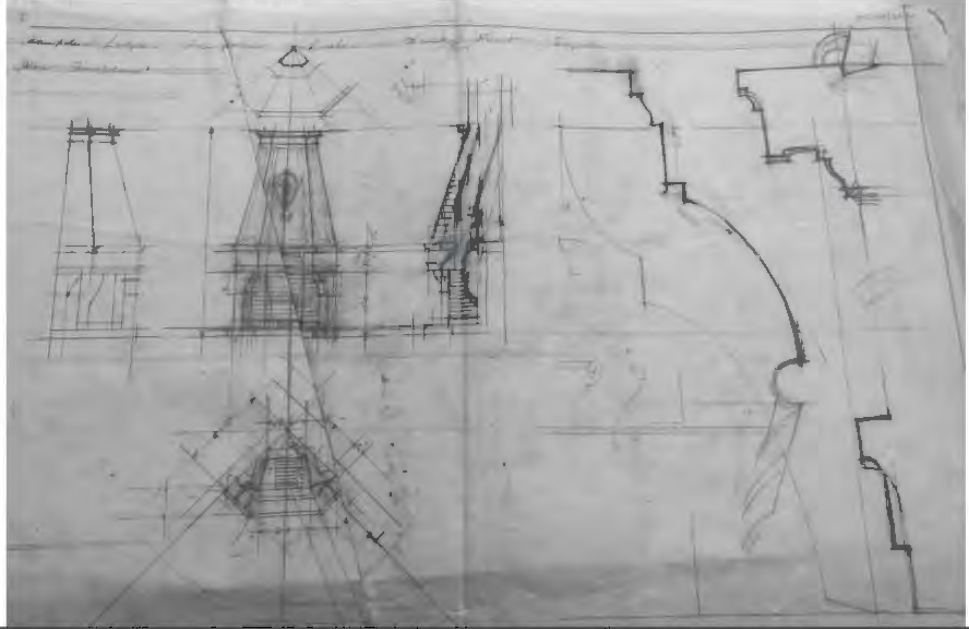
Based on the NSW Heritage Office State Heritage Inventory sheet

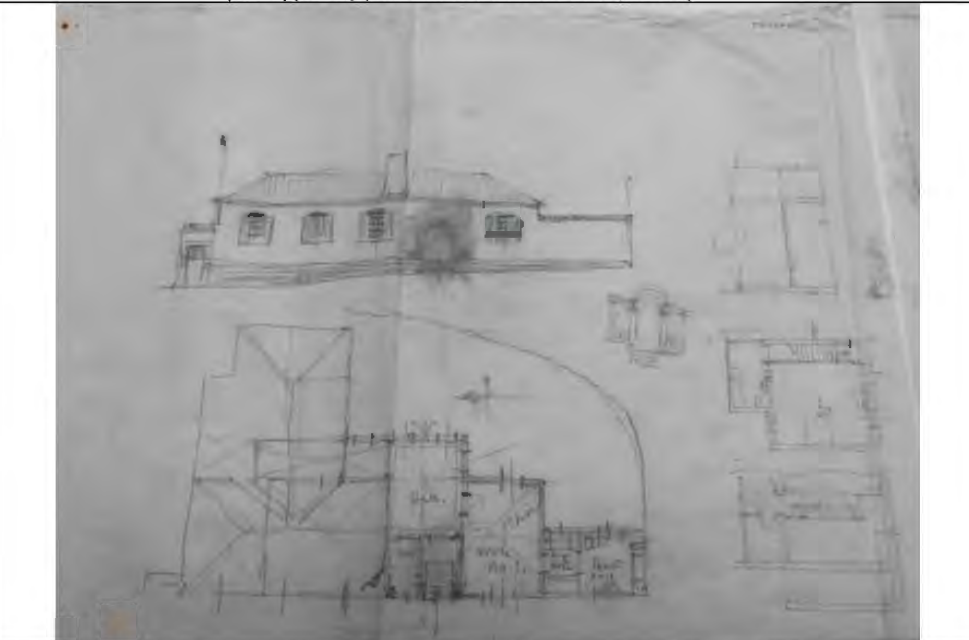
IMAGES			
Image Caption	Details of the front gate grill and other detailing (PXD351 Roll No.274, f 2663)		
			
Image Year	1936	Image author and Copyright Holder	State Library of NSW

IMAGES			
Image Caption	Detailing of the Florentine Archway, front door and other comices (PXD351 Roll No.274, f. 2664)		
			
Image Year	1936	Image author and Copyright Holder	State Library of NSW

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IMAGES			
Image Caption	Detail of the fireplace and entablature over the front door (PXD351 Roll No. 274, f 2661)		
			
Image Year	1936	Image author and Copyright Holder	State Library of NSW

IMAGES			
Image Caption	Preliminary sketch of the alterations and additions to the house (never lodged for approval) (PXD351 Roll No. 274-274A, f 2655)		
			
Image Year	1936	Image author and Copyright Holder	State Library of NSW

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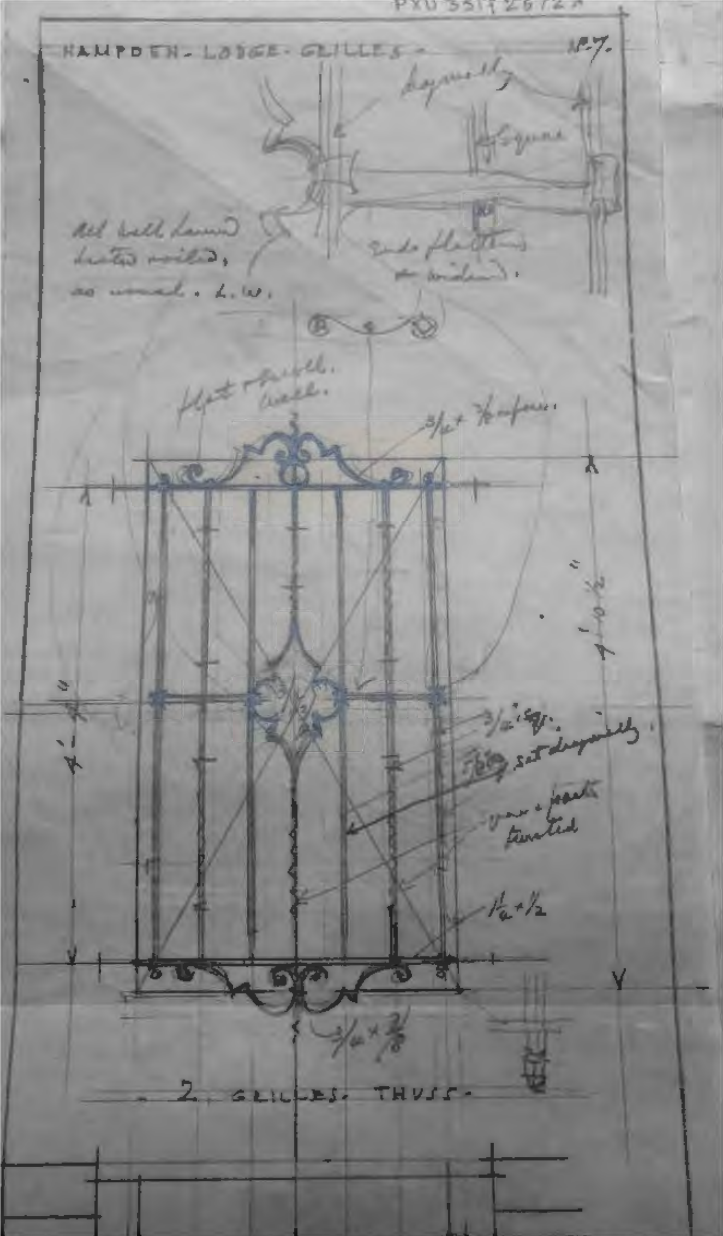
Based on the NSW Heritage Office State Heritage Inventory sheet

IMAGES			
Image Caption	Preliminary sketch of the alterations and additions to the house (never lodged for approval) (PXD351 Roll No. 274-274A, f 2654)		
			
Image Year	1936	Image author and Copyright Holder	State Library of NSW

IMAGES			
Image Caption	Internal hall with the original stable windows opening onto the new Wilkinson addition		
			
Image Year	June 2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)


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IMAGES			
Image Caption	Hampden Lodge Grilles (PXD351 Roll No.274-274A, f 2672A)		
	Image Year	Image author and Copyright Holder	State Library of NSW
	unknown		

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IMAGES			
Image Caption	Front elevation looking north		
			
Image Year	June 2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

IMAGES			
Image Caption	Front elevation looking south		
			
Image Year	June 2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

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Based on the NSW Heritage Office State Heritage Inventory sheet

IMAGES			
Image Caption	Living room fireplace. Note the Federation vents, the coat of arms over the fireplace and the picture rail which form part of the significant interiors.		
			
Image Year	June 2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

IMAGES			
Image Caption	Stable front door with entablature based on Wilkinson drawings.		
			
Image Year	June 2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

Draft Woollahra 2015: Heritage inventory sheet

Based on the NSW Heritage Office State Heritage Inventory sheet

IMAGES			
Image Caption	Voussoir Arch with flower pattern wrought iron gate		
			
Image Year	June 2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

AUTHOR OF THIS REPORT	
Name	Date
Flavia Scardamaglia, Senior Strategic Heritage Officer at Woollahra Council	July 2022

Heritage inventory sheet

Based on the Heritage NSW State Heritage Inventory sheet

ITEM DETAILS			
Name of Item	House, including interiors and gardens		
Former name			
Item type	Built		
Address	Number 43	Street Latimer Road	Suburb Bellevue Hill
Property description	Lot A A 1	DP 312687 318717 131019	
Use	Current Residential		Former Residential
Statement of significance	<p>The house at 43 Latimer Road, Bellevue Hill is significant as part of the body of work carried out by eminent Architect Professor Leslie Wilkinson in Woollahra between 1923 and 1971.</p> <p>Wilkinson is a leading and influential figure in Australian architecture for having founded and led the Faculty of Architecture at Sydney University, but also for having combined neo-Georgian with Inter-War Mediterranean styles in response to the sunny Australian climate. His Neo-Georgian design references classical architecture and re-interprets it in a more modern, domestic and restrained way in a fashion that made Wilkinson one of the most influential architects of Australia.</p> <p>Developed on a terraced block of land, and designed to face north towards the spectacular views of Rose Bay, this house provide historical evidence of the early development of the Coopers's Bellevue Hill-Bondi Estate subdivision in the Inter-War period.</p> <p>Architect John D Moore originally designed a house on the higher section of the block for Mrs F Clinton in 1925 which was subsequently built by Francis & Sons. In 1939 the new owner Mr Russell then commissioned Professor Leslie Wilkinson to design extensive alterations and additions to the house, which included a new level. These alterations and additions were constructed by builder Coleman & Kirk.</p> <p>The house exhibits aesthetic significance for its Neo-Georgian /Inter-War Mediterranean influence and detailing. As an intact Inter-War Mediterranean/Neo-Georgian style house in Bellevue Hill, this house and its landscaped setting are rare in Woollahra. Internally, the house has been renovated, with original finishes having been replaced by newer ones. The original layout has been minimally modified, original doors, joineries and fireplace in the living room are noted as being fabric of significance.</p> <p>43 Latimer Road is part of a group of houses that are representative of the distinct style of architecture by the prominent Australian architect Professor Leslie Wilkinson between 1918 and 1971. Wilkinson's domestic designs are mostly concentrated in Sydney's eastern suburbs, but can also be found on the North Shore and in the Southern Highlands.</p>		
Level of significance	State: No	Local: Yes	
Heritage listings	None		
DESCRIPTION			
Designer	John D Moore (1925, 1926), Professor Leslie Wilkinson (1939)		
Builder	Francis & Sons (1925) ; Francis & Sons (1926) ; Coleman & Kirk (1939)		
Construction years	1925, 1926, 1939		

Heritage inventory sheet

Based on the Heritage NSW State Heritage Inventory sheet

Physical Description	<p>Located on a battle-axe allotment accessed from Latimer Road and Vista Lane, this is a two-storey house with terracotta gabled roof, timber double hung sash windows, north facing front elevation with loggia in a terraced block of land overlooking Rose Bay.</p> <p>To the rear is a single storey garage accessed from Vista Lane. The house is set within a substantially landscaped and terraced garden. Sandstone walls for the terraces and a sandstone water fountain to the lower terrace form part of the setting of the house.</p> <p>Internally, the house has been renovated, with previous finishes having been replaced by newer ones. The original layout has been minimally modified, original doors, joineries and fireplace in the living room are noted as being fabric of significance.</p>
Physical condition	<p>The house is generally in good condition but requires some investigation and maintenance works in relation to water ingress, possibly from the roof.</p>
Modification and Dates	<p>BA45/1925 House & Garage for Mrs F Clinton, builder H Francis & Sons, Architect John D Moore BA373/1926 alterations and additions for Mrs G Gordon Russell, builder H Francis & Sons, Architect John D Moore BA3/1939 Addition for G Russell, Architect Leslie Wilkinson, Builder Coleman & Kirk BA1281/1973 Swimming Pool for Dr R G Talbot (lapsed)</p>
Archaeological potential	<p>No known historic archaeological potential. The site is identified as being on potentially sensitive land as part of the Aboriginal sensitivity mapping available on Council's website.</p>
Comparative Analysis	<p>The work of Professor Leslie Wilkinson</p> <p><u>Greenway, 24 Wentworth Road, Vaucluse</u></p> <p>Designed by Leslie Wilkinson as his own house in 1922, Greenway demonstrates the Architects interest in the confluence of Mediterranean architecture with the Australian climate and the simple symmetry and well-mannered detailing of the Australian Colonial Georgian architecture.</p> <p>Wilkinson chose a site on a small plateau and wrapped the house in an L-shape to embrace the sun, the views and to shelter the north garden from cold southerly winds. This house re-employs some interiors from demolished buildings such as the front door, the sandstone fireplace and the timber balustrade of the staircase. Greenway is the first Inter-War Mediterranean house in Woollahra LGA and possibly the first in NSW.</p> <p>Greenway is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no. 413. It is also listed on the Australian Institute of Architects Register (4700880) and the National Trust of Australia (NSW) Register (S7822).</p> <p><u>1 Rose Bay Avenue, Vaucluse</u></p> <p>Designed in partnership with John D Moore for Captain John Laidley Dowling in 1924, Wilkinson also designed additions to this house in the 1950s.</p> <p>The building is large and simply arranged with characteristic Neo-Georgian/Mediterranean details including light rendered elevations, hipped terracotta tiled roof, white painted timber double hung windows with timber shutters and restrained classical detailing.</p> <p>The layout of the house wraps around an internal courtyard which give it a 'U' shape, which is a reference to Italian classical layouts to provide natural light and ventilation to the house.</p> <p>This house is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no. 51 and the National Trust of Australia (NSW) Register (S8382).</p> <p><u>34 Wentworth Road, Vaucluse</u></p> <p>Designed by Wilkinson as alterations and additions for Colonel Moreshead, this two-storey house was built by Wilson Bros in the Mediterranean/Georgian style (BA(9)115/1927 former Vaucluse Council) for a cost of works of £3,240.</p> <p>Wilkinson also designed modifications that were built in 1938 by Palmer for £600 (BA(9)356/1938 former Vaucluse Council).</p>

Heritage inventory sheet

Based on the Heritage NSW State Heritage Inventory sheet

<p>Entry to the house, both pedestrian and vehicular is through a wall into an enclosed courtyard. The main entrance on the east elevation is emphasized by a porch with columns and entablature with upper balustraded balcony. Timber framed multi-paned windows with painted shutters, the light rendered colour scheme and arched openings clearly reference the new Mediterranean influence occurring in the Eastern Suburbs.</p> <p>This house is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no. 414.</p> <p><u>7 Boambillee Avenue, Vaucluse</u></p> <p>In 1933, Leslie Wilkinson designed this house for Professor Cyril S. Spooner, who was Dean of Civil Engineering at Sydney University and a close friend of Wilkinson who at the time was Dean of the newly created Faculty of Architecture.</p> <p>Built by S P Walsh for a cost of £1,315 (BA(90)74/1933), Wilkinson also designed a new garage the same year (BA(9)143/1933) and alterations and additions in 1946 (BA(900)4/1946).</p> <p>Additional alterations were also carried out for the new owner Claude Annivitti in 1960 (BA116/1960), built by Coleman & Kirk for a cost of £2,604.</p> <p>This house is north- oriented with flagstone-paved terrace connecting to the living areas. Wilkinson referred to this house as a 'one-and-a-half storey house' due to the steep roof raked back steeply to give full height to the bedrooms.</p> <p>This house is locally listed as 'House and interiors' in Schedule 5 of the Woollahra LEP 2014 as item no.338. Also listed on the Australian Institute of Architects Register (4700874).</p> <p><u>80A Hopetoun Avenue, Vaucluse</u></p> <p>Designed by Wilkinson in 1937 for Mrs Moseley and formerly known as 88 Hopetoun Avenue, Vaucluse (BA(90)18/1937 former Vaucluse Council), this two-storey Inter-War Mediterranean house was built by Palmer for a cost of works of £3,060.</p> <p>Overlooking Parsley Bay and accessed via a battleaxe drive, the house develops around a forecourt in a 'T' shaped layout with main rooms facing north. Entry to the house is through a short flight of steps winding around the circular turret containing the main circular stair and separately roofed under a segmented 'cap' style structure.</p> <p>This house is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no.366.</p> <p>Inter-War Mediterranean houses in Woollahra</p> <p><u>9 Trelawney Street Woollahra</u></p> <p>A 1927 two-storey Inter-War Mediterranean style house designed by Architect Gilbert Hughes. Very little is known of this remarkable architect who became a partner of Hughes & Moloney and designed some significant private houses for prominent clients in the Eastern Suburbs.</p> <p>The symmetrical treatment of the façades shows the influence of the Inter-war Georgian Revival and Spanish Mission style with its symmetry and shuttered, multi-paned windows. An arched loggia and a projecting First Floor Tudor Revival oriel window are also visible on the drawings.</p> <p>This house is not individually heritage listed but is a contributory item to the Woollahra Heritage Conservation Area of the Woollahra LEP 2014.</p> <p><u>67 Wallaroy Road, Woollahra</u></p> <p>Heavily remodelled by Frederick Deane in 1930, this house is in a less resolved Inter-War Mediterranean style with Arts and Crafts insertions. More research on the work of Frederick Deane in Woollahra should be undertaken.</p> <p>Inter-War Mediterranean elements include is the L-shaped north facing orientation with porch at the junction of the two wings and wrought iron balustrade of the terraces.</p>

Heritage inventory sheet

Based on the Heritage NSW State Heritage Inventory sheet

	<p>Whilst being influenced by the Mediterranean style, this house still employs late Federation detailing.</p> <p>This house is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no.634.</p> <p><u>Rovello, 12 Ginahgulla Road, Bellevue Hill</u></p> <p>Designed in 1936 by Wilson, Neave and Berry, this house was built to complement the neighbouring building by Leslie Wilkinson at 14 Ginahgulla Road, Bellevue Hill - Rona Estate.</p> <p>The house has an entrance courtyard with columns with a rendered walls and a tiled roof. Timber framed multi-pane windows with shutters are in common with the Mediterranean style. With its simple forms, elegant detailing and classical restraint detailing, this is one of the most prominent houses designed by the firm of Wilson, Neave and Berry.</p> <p>This house is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no.33.</p> <p><u>30 Wyuna Road, Point Piper</u></p> <p>Designed by prominent architects Joseland & Gilling in 1941 for Mrs Macral on a very steep block of land, this house is a restrained late iteration of the Inter-War Mediterranean style.</p> <p>Elements of the Mediterranean style noted in this house are the use of multi-pane timber framed windows, elegant central curved staircase and the use of wrought iron detailing. The loss of excessive ornamentation typical of earlier designs is a progression of the firm towards Modernism.</p> <p>30 Wyuna Road is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no.685.</p> <p>With its domestic simplicity and Neo-Georgian approach, 43 Latimer Road appears to be closely related to the work of Leslie Wilkinson and William Hardy Wilson.</p> <p>Through its use of light rendered elevations, simple geometric forms deriving from the Georgian Colonial influence, restrained classical motifs and overall simplicity, this house shows to have been influenced by Wilkinson's own 1922 Mediterranean house <i>Greenway</i> in the Woollahra municipality.</p> <p>From a review of other Inter-War Mediterranean houses in Woollahra, 43 Latimer Road, Bellevue Hill appears to be representative of the Inter-War Mediterranean style in the Woollahra LGA.</p>
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HISTORY

Early historical notes

The coastal regions of Sydney between Port Jackson and Botany Bay are the ancestral territories of the Eora people. The traditional owners of the land now within the Woollahra Council area were the Gadigal (Gadigal) and the Birrabirragal people. In common with other tribes living by Sydney Harbour, the Gadigal lived in harmony with the natural resources within their country, fishing from canoes or hunting the animals that lived in surroundings. The tribe appears to have moved within their territory in response to the seasons and family connections. Shell middens and other archaeological remains in the area provide material evidence of many centuries of sustained connection to the land that also sustained them. The arrival of white settlers caused the wholesale disruption of traditional life and the cultural practices of the Eora people generally. Despite enormous challenges, today many Indigenous people identify as Eora and maintain cultural practices and a connection to Country.

43 Latimer Road, Bellevue Hill

The land on which 43 Latimer Road was built was originally granted to Daniel Cooper and Solomon Levey on 22 March 1830 (Point Piper Estate). The estate became exclusively the property of Daniel Cooper in 1847 and his family and their trustees made a series of releases of land from the Point Piper Estate from the 1880s. The so-called 'Cooper's Bellevue Hill-Bondi Estate' was one of the last sales made from on this land. Three releases were made in this large subdivision – the first in 1912, and two later ones in 1915 and 1919.

43 Latimer Road was built on Lots 10 and 11 of DP 10577 (Section A of the 1919 Cooper's Bellevue Hill-Bondi Estate No.3). Frances Mallalieu Clinton purchased both lots in 1924 (Vol Folio 3498-188 and 3475-43), re-

Heritage inventory sheet

Based on the Heritage NSW State Heritage Inventory sheet

subdivided the land in the early 1920s (Subdivision S677/1924) and sold part of it to George Gordon Gray Russell of Sydney, Company Director in 1926 (Vol Folio 3781-88).

Valuations for 1923 show the land unimproved, while by 1926 the land appears to be improved on the Valuation list. It was developed as a single storey house by architect John D Moore for Mrs F Clinton (BA45/1925), built by builder K Francis & Sons, cost £1,720, approved on 9 February 1925.

Alterations and additions were undertaken by the Russell family in 1926 (builder Francis & Sons) under BA373/1926 (John D Moore). These included minor eastern and western additions to the side elevations to accommodate additional rooms. Additional land from a re-subdivision of neighbouring lot 20 section 2 (43 Latimer) was added in 1927 and is today the lowest part of the land.

A new second storey designed by Leslie Wilkinson remodelled the house in 1939 (BA3/1939), built by builder Coleman & Kirk for Mr Gordon Russell. These additions completely changed the house to the current Inter-War Mediterranean/Neo-Georgian style.

The property stayed in the Russell family until 1973 when it was purchased by Robert Grayson Howe Talbot of Rose Bay (Vol Folio 3781-88). A swimming pool was approved in 1973 (BA1281/73) but was never built.

Professor Leslie Wilkinson

Born in Middlesex, England, Leslie Wilkinson (1882-1973) was a professor of architecture at the University of Sydney, where he dedicated his life to architecture as both an academic and a practising architect. He is a leading and influential figure in Australian architecture, whose traditional approach combined Australia's colonial heritage with Mediterranean/Neo-Georgian architecture.

Arriving in Australia in 1918, Wilkinson was appointed as the Chair of Architecture within the faculty of science at the University of Sydney. He then gained approval for a faculty of Architecture which was created, with himself as the first dean, in 1920.

Wilkinson played a major role in the development of the University of Sydney campus, being appointed University Architect in 1919 and designing an ambitious master plan to guide its future growth.

Between 1918 and 1973 Wilkinson took many commissions for private houses, 44 commissions for the University of Sydney, as well as designing churches, chapels, flats, a Sydney City Council housing project and numerous alterations and additions to existing buildings. This is in addition to his university career, from which he retired in 1947.

In 1923, Wilkinson was the first person to be registered on the newly established Roll of the Board of Architects of New South Wales, with registration number 1. He was also made President in 1934, when the Institute of Architects of New South Wales became a Chapter of Royal Australian Institute of Architects.

In 1934 Wilkinson was awarded the Sulman award for the house designed in Wiston Gardens for Dr and Mrs Charles Parkinson. Another Sulman Award was awarded to him in 1942 for the alterations and additions to St Michael's Church in Vacluse.

In 1960 Professor Wilkinson was awarded the RAI Gold Medal, the highest honour the Royal Australian Institute of Architects can bestow to recognize architects who have given outstandingly distinguished service to their profession.

The Wilkinson Award was set up in 1961 in his honour with the aim of recognizing, encouraging and rewarding good domestic architecture.

Leslie Wilkinson is one of the most well-known and important Australian architect of the 20th Century.

HISTORICAL THEMES

Australian Theme	NSW Theme	Local Theme
4. Building settlements, towns and cities	Towns, suburbs and villages	Early development of Darling Point
8 Developing Australia's cultural life	Creative Endeavour	The work of Leslie Wilkinson

HERITAGE SIGNIFICANCE ASSESSMENT

Historical significance SHR criteria (a)	Developed on a re-subdivision of lots 10 and 11 Section A of the Cooper's Bellevue Hill-Bondi Estate on a terraced block, designed to face north towards the spectacular views of Rose Bay, this house provide historical evidence of the early development of the Cooper's Bellevue Hill-Bondi Estate subdivision in the Inter-War period. Architect John D Moore originally designed a house on the higher section of the block
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Heritage inventory sheet

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	<p>for Mrs F Clinton in 1925 which was subsequently built by Francis & Sons. In 1939 the new owner Mr G Russell commissioned Professor Leslie Wilkinson to design extensive alterations and additions to the house which included a new level. These alterations and additions were constructed by builder Coleman & Kirk.</p> <table border="1" data-bbox="523 488 1316 797"> <thead> <tr> <th data-bbox="523 488 928 521">Guidelines for inclusion</th> <th data-bbox="928 488 1316 521">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="523 521 928 797"> <input type="checkbox"/> shows evidence of a significant human activity <input checked="" type="checkbox"/> is associated with a significant activity or historical phase <input type="checkbox"/> maintains or shows the continuity of a historical process or activity </td> <td data-bbox="928 521 1316 797"> <input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> shows evidence of a significant human activity <input checked="" type="checkbox"/> is associated with a significant activity or historical phase <input type="checkbox"/> maintains or shows the continuity of a historical process or activity	<input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association
Guidelines for inclusion	Guidelines for exclusion				
<input type="checkbox"/> shows evidence of a significant human activity <input checked="" type="checkbox"/> is associated with a significant activity or historical phase <input type="checkbox"/> maintains or shows the continuity of a historical process or activity	<input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association				
<p>Historical association significance SHR criteria (b)</p>	<p>Associative significance as an example of the work of prominent architect and architectural academic, Professor Leslie Wilkinson, designed in his favoured Mediterranean/Neo-Georgian style and modifying an earlier design by his university colleague John D. Moore. Wilkinson designed alterations and additions to this property for Mr Gordon Russell in 1939.</p> <table border="1" data-bbox="523 965 1316 1272"> <thead> <tr> <th data-bbox="523 965 928 999">Guidelines for inclusion</th> <th data-bbox="928 965 1316 999">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="523 999 928 1272"> <input type="checkbox"/> shows evidence of a significant human occupation <input checked="" type="checkbox"/> is associated with a significant event, person, or group of persons </td> <td data-bbox="928 999 1316 1272"> <input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> shows evidence of a significant human occupation <input checked="" type="checkbox"/> is associated with a significant event, person, or group of persons	<input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association
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<p>Aesthetic significance SHR criteria (c)</p>	<p>The house exhibits aesthetic significance for its Neo-Georgian /Inter-War Mediterranean influence and detailing of aesthetic significance.</p> <p>43 Latimer Road is a free standing pastel rendered house with a gabled terracotta tiled roof north oriented to maximise water views.</p> <p>The main elevation shows typical Mediterranean detailing in its use of restrained classical detailing such as timber pane sash windows with shutters, bull's eye windows and loggia with entablature supported by Doric columns.</p> <p>The house is set within a substantially landscaped and terraced garden. Sandstone walls have been used to create the terraces in the garden, with a sandstone water fountain in the lower terrace all forming the setting of the house.</p> <p>Internally, the house has been renovated, with previous finishes replaced by newer ones. The original layout has been minimally modified, original doors, joineries and fireplace in the living room are noted as being fabric of significance.</p> <table border="1" data-bbox="523 1720 1316 1995"> <thead> <tr> <th data-bbox="523 1720 928 1753">Guidelines for inclusion</th> <th data-bbox="928 1720 1316 1753">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="523 1753 928 1995"> <input checked="" type="checkbox"/> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input checked="" type="checkbox"/> is aesthetically distinctive <input type="checkbox"/> has landmark qualities </td> <td data-bbox="928 1753 1316 1995"> <input type="checkbox"/> is not a major work by an important designer or artist <input type="checkbox"/> has lost its design or technical integrity <input type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input checked="" type="checkbox"/> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input checked="" type="checkbox"/> is aesthetically distinctive <input type="checkbox"/> has landmark qualities	<input type="checkbox"/> is not a major work by an important designer or artist <input type="checkbox"/> has lost its design or technical integrity <input type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded
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	<input checked="" type="checkbox"/> exemplifies a particular taste, style or technology	<input type="checkbox"/> has only a loose association with a creative or technical achievement														
Social significance SHR criteria (d)	While a full social assessment may be beyond this heritage assessment, as part of the body of work of eminent architect Professor Leslie Wilkinson, 43 Latimer Road may hold some social significance for the Woollahra community and the Australian Institute of Architects. <table border="1" data-bbox="523 591 1302 757"> <thead> <tr> <th data-bbox="523 591 930 622">Guidelines for inclusion</th> <th data-bbox="930 591 1302 622">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="523 622 930 698"> <input checked="" type="checkbox"/> is important for its associations with an identifiable group </td> <td data-bbox="930 622 1302 698"> <input type="checkbox"/> is only important to the community for amenity reasons </td> </tr> <tr> <td data-bbox="523 698 930 757"> <input type="checkbox"/> is important to a community's sense of place </td> <td data-bbox="930 698 1302 757"> <input type="checkbox"/> is retained only in preference to a proposed alternative </td> </tr> </tbody> </table>		Guidelines for inclusion	Guidelines for exclusion	<input checked="" type="checkbox"/> is important for its associations with an identifiable group	<input type="checkbox"/> is only important to the community for amenity reasons	<input type="checkbox"/> is important to a community's sense of place	<input type="checkbox"/> is retained only in preference to a proposed alternative								
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Technical/Research significance SHR criteria (e)	This property does not have potential to yield substantial scientific and/or archaeological information that will contribute to an understanding of the cultural history of the local area. <table border="1" data-bbox="523 882 1302 1160"> <thead> <tr> <th data-bbox="523 882 930 913">Guidelines for inclusion</th> <th data-bbox="930 882 1302 913">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="523 913 930 1012"> <input type="checkbox"/> has the potential to yield new or further substantial scientific and/or archaeological information </td> <td data-bbox="930 913 1302 1012"> <input type="checkbox"/> the knowledge gained would be irrelevant to research on science, human history or culture </td> </tr> <tr> <td data-bbox="523 1012 930 1088"> <input type="checkbox"/> is an important benchmark or reference site or type </td> <td data-bbox="930 1012 1302 1088"> <input checked="" type="checkbox"/> has little archaeological or research potential </td> </tr> <tr> <td data-bbox="523 1088 930 1160"> <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere </td> <td data-bbox="930 1088 1302 1160"> <input type="checkbox"/> only contains information that is readily available from other resources or archaeological sites </td> </tr> </tbody> </table>		Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> has the potential to yield new or further substantial scientific and/or archaeological information	<input type="checkbox"/> the knowledge gained would be irrelevant to research on science, human history or culture	<input type="checkbox"/> is an important benchmark or reference site or type	<input checked="" type="checkbox"/> has little archaeological or research potential	<input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere	<input type="checkbox"/> only contains information that is readily available from other resources or archaeological sites						
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Rarity SHR criteria (f)	As an intact Inter-War Mediterranean/Neo-Georgian style house in Bellevue Hill, this house and its landscaped setting are rare in Woollahra. As an intact Wilkinson design it demonstrates a design of exceptional interest. <table border="1" data-bbox="523 1285 1302 1733"> <thead> <tr> <th data-bbox="523 1285 930 1317">Guidelines for inclusion</th> <th data-bbox="930 1285 1302 1317">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="523 1317 930 1393"> <input type="checkbox"/> provides evidence of a defunct custom, way of life or process </td> <td data-bbox="930 1317 1302 1393"> <input type="checkbox"/> is not rare </td> </tr> <tr> <td data-bbox="523 1393 930 1491"> <input checked="" type="checkbox"/> demonstrates a process, custom or other human activity that is in danger of being lost </td> <td data-bbox="930 1393 1302 1491"> <input type="checkbox"/> is numerous but under threat </td> </tr> <tr> <td data-bbox="523 1491 930 1568"> <input type="checkbox"/> shows unusually accurate evidence of a significant human activity </td> <td></td> </tr> <tr> <td data-bbox="523 1568 930 1644"> <input type="checkbox"/> is the only example of its type </td> <td></td> </tr> <tr> <td data-bbox="523 1644 930 1720"> <input checked="" type="checkbox"/> demonstrates designs or techniques of exceptional interest </td> <td></td> </tr> <tr> <td data-bbox="523 1720 930 1733"> <input type="checkbox"/> shows rare evidence of a significant human activity important to a community </td> <td></td> </tr> </tbody> </table>		Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> provides evidence of a defunct custom, way of life or process	<input type="checkbox"/> is not rare	<input checked="" type="checkbox"/> demonstrates a process, custom or other human activity that is in danger of being lost	<input type="checkbox"/> is numerous but under threat	<input type="checkbox"/> shows unusually accurate evidence of a significant human activity		<input type="checkbox"/> is the only example of its type		<input checked="" type="checkbox"/> demonstrates designs or techniques of exceptional interest		<input type="checkbox"/> shows rare evidence of a significant human activity important to a community	
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Representativeness SHR criteria (g)	43 Latimer Road is part of a group of houses that are representative of the distinct style of architecture by the prominent Australian architect Professor Leslie Wilkinson in the Neo-Georgian/Mediterranean Style in the Woollahra area. <table border="1" data-bbox="523 1861 1302 2000"> <thead> <tr> <th data-bbox="523 1861 930 1892">Guidelines for inclusion</th> <th data-bbox="930 1861 1302 1892">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="523 1892 930 1946"> <input checked="" type="checkbox"/> is a fine example of its type </td> <td data-bbox="930 1892 1302 1946"> <input type="checkbox"/> is a poor example of its type </td> </tr> <tr> <td data-bbox="523 1946 930 2000"> <input checked="" type="checkbox"/> has the principal characteristics of an important class or group of </td> <td data-bbox="930 1946 1302 2000"> <input type="checkbox"/> does not include or has lost the range of characteristics of a type </td> </tr> </tbody> </table>		Guidelines for inclusion	Guidelines for exclusion	<input checked="" type="checkbox"/> is a fine example of its type	<input type="checkbox"/> is a poor example of its type	<input checked="" type="checkbox"/> has the principal characteristics of an important class or group of	<input type="checkbox"/> does not include or has lost the range of characteristics of a type								
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	<p>items</p> <p><input checked="" type="checkbox"/> has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity</p> <p><input type="checkbox"/> is a significant variation to a class of items</p> <p><input checked="" type="checkbox"/> is part of a group which collectively illustrates a representative type</p> <p><input type="checkbox"/> is outstanding because of its setting, condition or size</p> <p><input type="checkbox"/> is outstanding because of its integrity or the esteem in which it is held</p>		<p><input type="checkbox"/> does not represent well the characteristics that make up a significant variation of a type</p>	
Integrity	Intact			
RECOMMENDATIONS				
Recommendations	It is recommended that the building, interiors and gardens are listed as a local heritage item in the Woollahra Local Environmental Plan.			
INFORMATION SOURCES				
Type	Author/Client	Title	Year	Repository
Study	Broomham, Rosemary	Bellevue Hill – Thematic History	2002	Woollahra Local Studies Collection
Records	NSW Valuer General	NSW Valuer General Assessments	Various	Woollahra Local Studies Collection
Plans	Various	Subdivision Plans	Various	State Library of NSW
Record	Woollahra Municipal Council	Building Application Records	Various	Woollahra Local Studies Collection
Record	Woollahra Municipal Council	Rates Book and Valuation Records	Various	Woollahra Local Studies Collection
Record	Woollahra Municipal Council	Woollahra Council Minutes	Various	Woollahra Local Studies Collection
Plans	Leslie Wilkinson	Architectural drawings PXD351	Various	State Library of NSW
Plans	Leslie Wilkinson	Woollahra Records	Various	Woollahra Records
Written	Falkiner S (ed.)	Leslie Wilkinson, A Practical Idealist	1982	State Library of NSW

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IMAGES			
Image Caption	43 Latimer Road from its landscaped grounds		
			
Image Year	22 March 2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

IMAGES			
Image Caption	Photograph to the house from Vista Lane		
			
Image Year	February 2022	Image author and Copyright Holder	Woollahra Council (Flavia Scardamaglia)

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IMAGES			
Image Caption	North elevation of 43 Latimer Road		
 A photograph showing the north elevation of a two-story, light-colored house with a prominent portico supported by white columns. The house has multiple windows with white shutters and is set on a green lawn with some trees and shrubs in the foreground.			
Image Year	2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

IMAGES			
Image Caption	North facing loggia with doric columns and entablature		
 A photograph of a north-facing loggia. The loggia features two white doric columns supporting an entablature. The view from the loggia shows a lush green landscape with trees and a distant view of the ocean under a clear blue sky. There are potted plants and a decorative chair in the foreground.			
Image Year	2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

Heritage inventory sheet

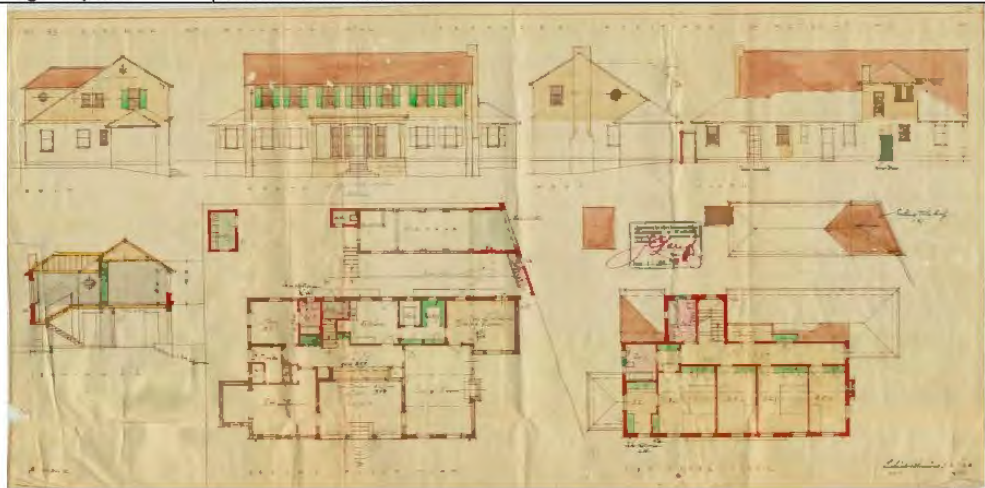
Based on the Heritage NSW State Heritage Inventory sheet

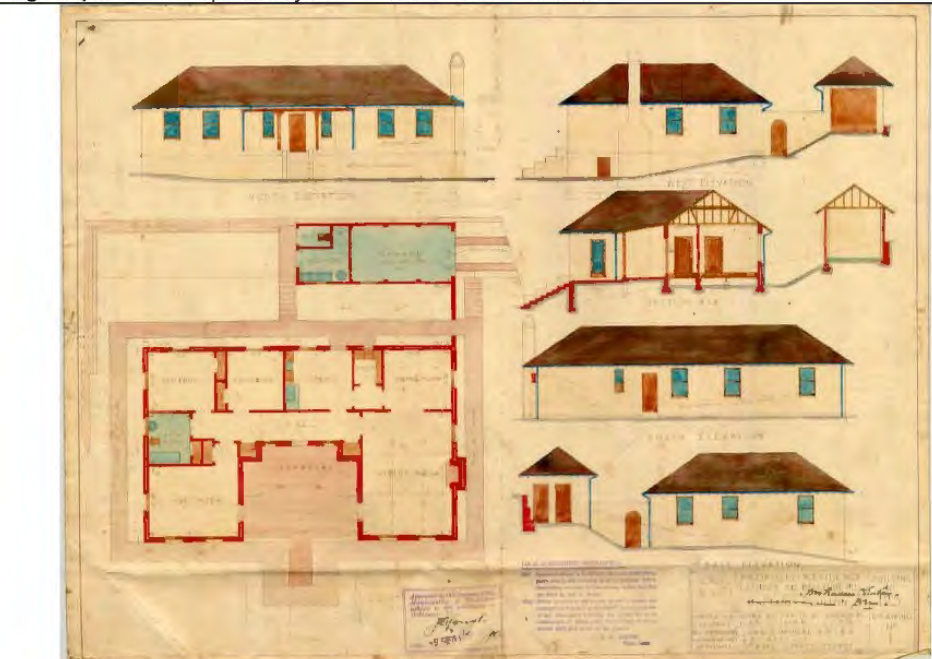
IMAGES			
Image Caption	Historic photographs of 43 Latimer Road Bellevue Hill provided by the owner		
Image Year	Unknown	Image author and Copyright Holder	Unknown

IMAGES			
Image Caption	Historic photographs of 43 Latimer Road Bellevue Hill provided by the owner		
Image Year	Unknown	Image author and Copyright Holder	Unknown

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IMAGES			
Image Caption	Extract from BA3/1939		
			
Image Year	1939	Image author and Copyright Holder	Woollahra Records


IMAGES			
Image Caption	Plans by John D Moore from BA45/1925		
			
Image Year	1925	Image author and Copyright Holder	Woollahra Records

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IMAGES			
Image Caption	1919 Cooper's Bellevue Hill – Bondi Estate, 3 rd subdivision		
Image Year	1919	Image author and Copyright Holder	State Library of NSW


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IMAGES	
Image Caption	Original fireplace in the living room.
	
Image Year	2022
Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

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IMAGES			
Image Caption	One of the original doors		
			
Image Year	2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

Heritage inventory sheet

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IMAGES			
Image Caption	Entry hall with original finishes having been refreshed over the years but original timber doors, architraves and windows.		
			
Image Year	2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

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IMAGES			
Image Caption	Main staircase with timber balustrade.		
			
Image Year	2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)


Heritage inventory sheet

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IMAGES			
Image Caption	Bull's eye window in the first floor bathroom.		
			
Image Year	2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

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IMAGES			
Image Caption	First floor hall with original joineries (doors) and bull's eye window		
			
Image Year	2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

AUTHOR OF THIS REPORT	
Name	Date
Flavia Scardamaglia, Senior Strategic Heritage Officer (Woollahra Municipal Council)	July 2022

Heritage inventory sheet

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ITEM DETAILS			
Name of Item	House, including interiors		
Former name			
Item type	Residential		
Address	Number 56	Street Wallaroy Road	Suburb Woollahra
Property description	Lot 3	DP 17153	
Use	Current Residential	Former Residential	
Statement of significance	<p>On a prominent and highly visible corner and built to the design of Architect Frederick George Leslie Allen for W P Gunning Esq, 56 Wallaroy Road Woollahra is historically significant as an Inter-War Mediterranean house with Spanish Mission influences evidencing the evolution of Wallaroy Road in the Woollahra suburb in the 1930s.</p> <p>56 Wallaroy Road Woollahra is an aesthetically distinctive house showing Inter-War Mediterranean and Spanish Mission influences. Domestic in its siting, it is a free standing pastel rendered house with a hipped terracotta tiled roof. The entrance to Wallaroy Road is emphasised through a formal entry porch with vaulted ceilings leading to a prominent circular staircase with niche complemented by a lancet window.</p> <p>The restrained classical detailing of the elevations featuring timber multi-pane sash windows with shutters, loggias, pergolas, decorative Cordova tile motifs complement the ornate detailing of the interiors, including the vaulted decorated ceilings, leadlight window detailing and intact decorative joineries. Fireplaces, original wrought iron detailing and original joineries are still intact to the ground and first floor.</p> <p>56 Wallaroy Road, Woollahra is a rarely intact house showing the creative endeavour of Architect Frederick George Leslie Allen in Woollahra. It is representative of the appreciation of the Inter-War Mediterranean/Spanish Mission style in the suburb of Woollahra.</p>		
Level of significance	State: No	Local: Yes	
Heritage listings	None		
DESCRIPTION			
Designer	Frederick George Leslie Allen (1932) ; Wilkinson (1953) ; Peter MacDonnell (1984-87)		
Builder	Herbert Edward Whitwell (1932)		
Construction years	1932		
Physical Description	<p>This is a two storey rendered house located on a prominent corner block facing Wallaroy and Glencoe Road. Two garages are located on the Glencoe Road, while the main pedestrian entry is from an arched timber and masonry gate that is original to the house era.</p> <p>The garden is laid on terraces with swimming pool to the lowest north-eastern corner. A masonry wall with another arched door leads to the upper level of the garden and rear courtyard area.</p> <p>A formal entry porch on steps and side statues leads to the front door, which protrudes from the main elevation. The existing entry does not reflect the approved plans with gabled end and lancet window (see BA3/1932).</p> <p>The northern elevation features two inset gables with typical Cordova tile motifs and an enclosed sleep over.</p>		
Physical condition	Good condition internally and externally		

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<p>Modification and Dates</p>	<p>CDC93/2013, Arch Media Solutions P/L, New window and minor internal alterations CDC199/2007, Alterations to form a new kitchen, Harry Levine Architects DA1017/1997, Addition of two bedrooms & linen cupboard & bathroom first floor DA746/1995 BA209/1988 Solar heating for swimming pool BA553/1987 Swimming pool for A Revell, Peter MacDonald BA613/1987 New Garage with above terrace, boundary wall and new bathrooms on the first floor for A Revell, Architect Peter MacDonnell. BA619/1984 New Garage with above terrace, boundary wall and new bathrooms on the first floor for A Revell, Architect Peter MacDonnell. (did not go ahead) BA783/1981 Alterations and additions for A Revell, P McDonnell (courtyard to the rear, new pergola and awning, new drying court). BA1140/1980 Fence for A Revell, L Ulisonas BA47/1976 Bathroom renovation for Mr Lesnie, Normann Ross Riscomb BA139/1953 Garage for Dott Marsden, builder Coleman & Fair, Architect Leslie Wilkinson BA3/1932 House & Garage for W P Gunning, H E Whitwell, Architect F G Leslie Allen</p>
<p>Archaeological potential</p>	<p>No known historic archaeological potential. The site is identified as being on potentially sensitive land as part of the Aboriginal sensitivity mapping available on Council's website.</p> <p>Unexpected findings protocol apply in addition to other Council policies.</p>
<p>Comparative analysis</p>	<p>The work of Frederick George Leslie Allen</p> <p>Other works by Frederick George Leslie Allen show his use of a variety of buildings styles.</p> <ul style="list-style-type: none"> • Nurses' home for Mooroopna Hospital (VIC, 1910): possibly destroyed by a 2011 fire. • Commercial Bakery in Hawthorn (VIC, 1915): Federation Free Style commercial building. • Erroltene Flats in Darlinghurst (1918): demolished Federation Romanesque flats. • Studebaker Corporation at 4-16 Yurong Street, Sydney (1928) • North Sydney Pavilion, St Leonards Park (1929): demolished • House & Garage for W P Gunning, 56 Wallaroy Road, Woollahra, approved through BA3/1932 • House & Garage, 53A Carlotta Road, Double Bay for Mrs A E Devereux & Mrs F A Dovey, approved through BA230/1935 • Residential flats for Mrs P King, 13 Dumaresq Road, Rose Bay, approved through BA235/1935 • 57 Hardy Street Dover Heights (1939): Inter-War Functionalist house for S H Sheedy. <p>Through the analysis of other comparable buildings by the same architect, it appears that there are no other known buildings designed by Frederick George Leslie Allen employing the Inter-War Mediterranean style in Woollahra. Very few of his buildings still exist. As such, 56 Wallaroy Road, Woollahra is a rare example of an Inter-War Mediterranean style house designed by Frederick George Leslie Allen.</p> <p>Inter-War Mediterranean/Spanish Mission houses in Woollahra</p> <p><u>Greenway, 24 Wentworth Road, Vaucluse</u></p> <p>Designed by Leslie Wilkinson as his own house in 1922, Greenway demonstrates the Architects interest in the confluence of Mediterranean architecture with the Australian climate and the simple symmetry and well-mannered detailing of the Australian Colonial Georgian architecture.</p>

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	<p>Wilkinson chose a site on a small plateau and wrapped the house in an L-shape to embrace the sun, the views and to shelter the north garden from cold southerly winds. This house re-employs some interiors from demolished buildings such as the front door, the sandstone fireplace and the timber balustrade of the staircase. Greenway is the first Inter-War Mediterranean house in Woollahra LGA and possibly the first in NSW.</p> <p>Greenway is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no. 413. It is also listed on the Australian Institute of Architects Register (4700880) and the National Trust of Australia (NSW) Register (S7822).</p> <p><u>1 Rose Bay Avenue, Bellevue Hill</u></p> <p>Designed in partnership with John D Moore for Captain John Laidley Dowling in 1924, Wilkinson also designed additions to this house in the 1950s.</p> <p>The building is large and simply arranged with characteristic Neo-Georgian/Mediterranean details including light rendered elevations, hipped terracotta tiled roof, white painted timber double hung windows with timber shutters and restrained classical detailing.</p> <p>The layout of the house wraps around an internal courtyard which give it a 'U' shape, which is a reference to renaissance models to provide natural light and ventilation to the house.</p> <p>This house is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no. 51 and the National Trust of Australia (NSW) Register (S8382).</p> <p><u>34 Wentworth Road, Vaucluse</u></p> <p>Designed by Wilkinson as alterations and additions for Colonel Moreshead, this two-storey house was built by Wilson Bros in the Mediterranean/Georgian style (BA(9)115/1927) for a cost of works of £3,240.</p> <p>Wilkinson also designed modifications that were built in 1938 by Palmer for £600 (BA(9)356/1938 former Vaucluse Council).</p> <p>Entry to the house, both pedestrian and vehicular is through a wall into an enclosed courtyard. The main entrance on the east elevation is emphasized by a trabeated porch on columns with upper balustraded balcony. Timber framed multi-paned windows with painted shutters, the light rendered colour scheme and arched openings clearly reference the new Mediterranean influence occurring in the Eastern Suburbs.</p> <p>This house is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no. 414.</p> <p><u>9 Trelawney Street Woollahra</u></p> <p>A 1927 two-storey Inter-War Mediterranean style house designed by Architect Gilbert Hughes. Very little is known of this remarkable architect who became a partner of Hughes & Moloney and designed some significant private houses for prominent clients in the Eastern Suburbs.</p> <p>The symmetrical treatment of the façades shows the influence of the Inter-war Georgian Revival and Spanish Mission style with its symmetry and shuttered, multi-paned windows. An arched loggia and a projecting First Floor Tudor Revival oriel window are also visible on the drawings.</p> <p>This house is not individually heritage listed but is a contributory item to the Woollahra Heritage Conservation Area of the Woollahra LEP 2014.</p> <p><u>67 Wallaroy Road, Woollahra</u></p>
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Heritage inventory sheet

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<p>Heavily remodelled by Frederick Deane in 1930, this house is in a less resolved Inter-War Mediterranean style with Arts and Crafts insertions. More research on the work of Frederick Deane in Woollahra needs to be undertaken.</p> <p>Inter-War Mediterranean elements include is the L-shaped north facing orientation with porch at the junction of the two wings and wrought iron balustrade of the terraces. Whilst being influenced by the Mediterranean style, this house still employs late Federation detailing.</p> <p>This house is locally listed on the Woollahra LEP 2014 as item no.634.</p> <p><u>Rovello, 12 Ginahgulla Road, Bellevue Hill</u></p> <p>Designed in 1936 by Wilson, Neave and Berry, this house was built to complement the neighbouring building by Leslie Wilkinson at 14 Ginahgulla Road, Bellevue Hill - Rona Estate.</p> <p>The house has an entrance courtyard with columns with a rendered walls and a tiled roof. Timber framed multi-pane windows with shutters are in common with the Mediterranean style. With its simple forms, elegant detailing and classical restraint detailing, this is one of the most prominent houses designed by the firm of Wilson, Neave and Berry.</p> <p>This house is locally listed on the Woollahra LEP 2014 as item no.33.</p> <p><u>80A Hopetoun Avenue, Vaucluse</u></p> <p>Designed by Wilkinson in 1937 for Mrs Moseley and formerly known as 88 Hopetoun Avenue, Vaucluse (BA(90)18/1937 former Vaucluse Council), this two-storey Inter-War Mediterranean house was built by Palmer for a cost of works of £3,060.</p> <p>Overlooking Parsley Bay and accessed via a battleaxe drive, the house develops around a forecourt in a 'T' shaped layout with main rooms facing north. Entry to the house is through a short flight of steps winding around the circular turret containing the main circular stair and separately roofed under a segmented 'cap' style structure.</p> <p>This house is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no.366.</p> <p><u>30 Wyuna Road, Point Piper</u></p> <p>Designed by prominent architects Joseland & Gilling in 1941 for Mrs Macral on a very steep block of land, this house is a restrained late iteration of the Inter-War Mediterranean style.</p> <p>Elements of the Mediterranean style noted in this house are the use of multi-pane timber framed windows, elegant central curved staircase and the use of wrought iron detailing. The loss of excessive ornamentation typical of earlier designs is a progression of the firm towards Modernism.</p> <p>30 Wyuna Road is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no.685.</p> <p><u>1 Fisher Avenue, Vaucluse</u></p> <p>This 1941 mansion is another accomplished design by Joseland and Gilling that features prominently along Fisher Avenue.</p> <p>Located on an elevated grounds from the street and sitting on a sandstone base, this house features voussoir arches, squared (enclosed) loggias, inset dormer elements, pointed arch chimneys, balustraded terraces, coloured roof tiles (blue), multi-paned timber framed windows, wrought iron balustrading, wall niches and long arched leadlight window to the circular main stair and arched interior openings.</p> <p>This house is locally listed in Schedule 5 of the Woollahra LEP 2014 as item no.345.</p>

Heritage inventory sheet

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	<p>With its domestic simplicity approach, 56 Wallaroy Road appears to be closely related to the work of Leslie Wilkinson and William Hardy Wilson, although influenced by the flamboyant Hollywood/Spanish Mission influences as evidenced by some detailing.</p> <p>Through its use of light rendered elevations, simple geometric forms deriving from the Georgian Colonial influence, restrained classical motifs and overall simplicity, this house shows to have been influenced by Wilkinson's own 1922 Mediterranean house <i>Greenway</i> in the Woollahra municipality.</p> <p>From a review of other Inter-War Mediterranean houses in Woollahra, 56 Wallaroy Road, Woollahra appears to be representative of the Inter-War Mediterranean style in the Woollahra LGA.</p>
HISTORY	
Early historical notes	
<p>The coastal regions of Sydney between Port Jackson and Botany Bay are the ancestral territories of the Eora people. The traditional owners of the land now within the Woollahra Council area were the Cadigal (Gadigal) and the Birrabirragal people. In common with other tribes living by Sydney Harbour, the Gadigal lived in harmony with the natural resources within their country, fishing from canoes or hunting the animals that lived in surroundings. The tribe appears to have moved within their territory in response to the seasons and family connections. Shell middens and other archaeological remains in the area provide material evidence of many centuries of sustained connection to the land that also sustained them. The arrival of white settlers caused the wholesale disruption of traditional life and the cultural practices of the Eora people generally. Despite enormous challenges, today many Indigenous people identify as Eora and maintain cultural practices and a connection to Country.</p>	
56 Wallaroy Road Woollahra	
<p>The land on which 56 Wallaroy Road Woollahra was built formed part of 1130 acres originally granted to Daniel Cooper and Solomon Levey on 22 March 1830. The subject land was first subdivided in 1927 as part of the Glencoe Estate (Lot 3 shown on S904/1927), then resubdivided in 1929 (S1113/1929) and 1931 (S1144/1931).</p> <p>The land was acquired by William Patterson Gunning, Director of Thomas and Gunning, York street, agents and softgoods merchants, in December 1931 (Vol Folio 4249-1) and then transferred to his wife Nellie A Gunning the following year.¹ Gunning commissioned Architect Frederick George Leslie Allen to design the house and an addition to the south the same year under Building Application 3/1932, built by Whitwell Brothers of Hurstville. The house was approved by Woollahra Council on 11 January 1932.</p> <p>Following Gunning's divorce, the property was transferred to George A Robinson in 1936, Catherine M G Dakin in 1939, Nora F Marsden in 1941, Covelee Investments in 1969 and Caxflex Holdings in 1980 (Vol Folio 4516-216). Dr Marsden engaged Professor Leslie Wilkinson to design a second garage for this house facing Glencoe Road (BA139/1953). Alterations and additions were built in 1976, 1981, 1984, 1997 and 2007, however they only marginally affect significant fabric, resulting in mostly sympathetic additions.</p> <p>In 1985, the house was owned by Alan and Annette Revell, who then sold the building in 2011.</p>	
Architect Frederick George Leslie Allen	
<p>Born in Hawthorn (VIC) in 1885, Frederick George Leslie Allen was trained at the Working Men's College,² and was a member of VASS (Victorian Architecture Students' Society) of the Royal Victorian Institute of Architects (RVIA). In the 1907 RVIA annual competition, he won first prize in the sketches competition and a bronze medal award in the measured drawing competition.³</p> <p>In 1910, he earned the commission for a 13-bedroomed nurses' home for Mooroopna Hospital, Victoria, and the building was built for the price of £ 2150.⁴</p>	

¹ Truth, 23 June 1935, p.15. Retrieved 1 June 2022, from <http://nla.gov.au/nla.news-article169348801> and Vol Folio 4516-216.

² The Age, 21 February 1906, p.7. Retrieved 1 June 2022, from <https://trove.nla.gov.au/newspaper/page/18539538> and The Age, 3 July 1906, p.7. Retrieved 1 June 2022, from <https://trove.nla.gov.au/newspaper/page/18540945>.

³ Journal of Proceedings, Melbourne January 1908, *Exhibition of Architecture Arts and Crafts*, The Royal Victorian Institute of Architects, pp.165-167. Retrieved 1 June 2022, <https://rest.neptune-prod.its.unimelb.edu.au/server/api/core/bitstreams/81542509-da3d-5346-9839-89e4d3a586c1/content>

⁴ Benalla Standard, 23 July 1912, p.4. Retrieved 1 June 2022, from <http://nla.gov.au/nla.news-article155582312>

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After divorcing from his first wife, Ivy Guy Alma Robinson (from whom he had two sons, Maxwell Henry Allen and Ivan Maurice Allen), Allen moved to Sydney, living in Mosman in 1913 (Ancestry Electoral Roll), but also initially retaining his Block Arcade office in Melbourne CBD.⁵ He tendered for alterations and additions to bakery premises in Strathfield in 1913,⁶ a timber framed and brick cottage in Beecroft⁷ and a commercial bakery in Hawthorn (VIC) in 1915 for William Alfred Farey.⁸ The same year a large residence and shop and dwelling were advertised in Mosman.⁹

By 1918, he was mostly active in Sydney, designing the now demolished Errolene Flats in Darlinghurst.¹⁰ Additions to a residence were designed in Port Hacking in 1924.¹¹

In 1924, his offices were based in Richard House at 84 Pitt Street, Sydney, then in 1927 at 18-20 Martin Place.¹²

In 1926 Allen and E C Bender, solicitor, invented an automatic safety signal for railway level crossings.¹³

In 1928, Allen married Doris A Cleere and together they lived at 20 Kardinia Road, Mosman until 1933, then 33 George Street, Rose Bay, and from 1943 until 1949 at 170 New South Head Road, Edgecliff. In the same year he completed the new Studebaker Corporation Building at 4-16 Yurong Street Darlinghurst.

In 1929, Leslie Allen designed a reinforced concrete pavilion in the North Sydney Oval at St Leonards Park, which replaced an earlier pavilion. When completed, it was considered to be the largest suburban grandstand of NSW, with seating for 1,500 spectators and dressing rooms, it was named after Duncan Thompson, Australian representative footballer.¹⁴

In 1932 Allen designed a house and garage at 56 Wallaroy Road, Woollahra for W P Gunning (BA3/1932). In 1935 he designed a house and garage for Mrs A E Devereux and Mrs F A Dovey at 53A Carlotta Road Double Bay (BA230/1935) and residential flats at 13 Dumaresq Road, Rose Bay (BA235/1935).

In 1939, Allen completed a Functionalist house at 57 Hardy Street Dover Heights, built for S H Sheedy. In 1945 F G Allen was a finalist in the 1945 Wynne Art Prize with the painting "North Coast Landscape."¹⁵

Frederick George Leslie Allen died in Sydney in 1949 (NSW Births, Deaths & Marriages).

HISTORICAL THEMES

Australian Theme	State Theme	Local Theme
4. Building settlements, towns and cities	Towns, suburbs and villages	Inter-War development of Woollahra
8. Developing Australia's cultural life	Creative Endeavour	Architect designed house

⁵ The Argus, 17 July 1915, p.3. Retrieved 1 June 2022, from <http://nla.gov.au/nla.news-article1537866>

⁶ Sydney Morning Herald, 24 May 1913, p.16. Retrieved 1 June 2022, from <https://trove.nla.gov.au/newspaper/page/1285870>

⁷ Sydney Morning Herald, 3 October 1914, p.16. Retrieved 1 June 2022, from <https://trove.nla.gov.au/newspaper/page/1277155>

⁸ Boroondara Planning Scheme, August 2020, pp. 326-335. Retrieved 1 June 2022, from https://www.planning.vic.gov.au/_data/assets/pdf_file/0022/418153/boro-C284boroPt1boro-Farey-Brothers-Bakery-former-Statement-of-Significance-August-2020.pdf

⁹ Construction and Local Government Journal, 26 March 1915, p.12. Retrieved 1 June 2022, from <https://trove.nla.gov.au/newspaper/page/11148192>

¹⁰ Construction and Local Government Journal, 24 March 1915, p.12. Retrieved 1 June 2022, from <https://trove.nla.gov.au/newspaper/article/109674451/11144963>

¹¹ The Sun, 5 May 1924, p.2. Retrieved 1 June 2022, from <https://trove.nla.gov.au/newspaper/page/24466691>

¹² Architects Roll of NSW for the year 1927, Government Gazette Friday 28 January 1927, p.516. Retrieved 1 June 2022, from <https://trove.nla.gov.au/newspaper/page/13897830>

¹³ The Richmond River Express and Casino Kyogle Advertiser, 21 June 1926, p.2. Retrieved 1 June 2022, from <https://trove.nla.gov.au/newspaper/page/12402183>

¹⁴ Sydney Morning Herald 30 January 1929, p.11. Retrieved 1 June 2022, from <https://trove.nla.gov.au/newspaper/page/1198032>

¹⁵ Wynne Prize 1945. Retrieved 1 June 2022, from <https://www.artgallery.nsw.gov.au/prizes/wynne/1945/>

Heritage inventory sheet

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HERITAGE SIGNIFICANCE ASSESSMENT					
<p>Historical significance SHR criteria (a)</p>	<p>Built on a prominent and highly visible corner and built to the design of Architect Frederick George Leslie Allen for W P Gunning Esq., 56 Wallaroy Road Woollahra is historically significant as an Inter-War Mediterranean house evidencing the development of Wallaroy Road in Double Bay and Woollahra in the 1930s and the influx of architecturally designed houses at the time.</p> <table border="1" data-bbox="539 562 1279 846"> <thead> <tr> <th>Guidelines for inclusion</th> <th>Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="539 607 927 779"> <input type="checkbox"/> shows evidence of a significant human activity <input checked="" type="checkbox"/> is associated with a significant activity or historical phase <input type="checkbox"/> maintains or shows the continuity of a historical process or activity </td> <td data-bbox="927 607 1279 846"> <input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> shows evidence of a significant human activity <input checked="" type="checkbox"/> is associated with a significant activity or historical phase <input type="checkbox"/> maintains or shows the continuity of a historical process or activity	<input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association
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<p>Historical association significance SHR criteria (b)</p>	<p>This house is only marginally associated with prominent architect Professor Wilkinson, who designed a second garage for Dr Marsden in 1953.</p> <table border="1" data-bbox="539 949 1279 1234"> <thead> <tr> <th>Guidelines for inclusion</th> <th>Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="539 994 927 1106"> <input type="checkbox"/> shows evidence of a significant human occupation <input type="checkbox"/> is associated with a significant event, person, or group of persons </td> <td data-bbox="927 994 1279 1234"> <input checked="" type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> shows evidence of a significant human occupation <input type="checkbox"/> is associated with a significant event, person, or group of persons	<input checked="" type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association
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<p>Aesthetic significance SHR criteria (c)</p>	<p>Located on a prominent corner, 56 Wallaroy Road Woollahra is an aesthetically distinctive house showing Inter-War Mediterranean influences.</p> <p>56 Wallaroy Road Woollahra is an aesthetically distinctive house showing Inter-War Mediterranean and Spanish Mission influences. Domestic in its siting, it is a free standing pastel rendered house with a hipped terracotta tiled roof. The entrance to Wallaroy Road is emphasised through a formal entry porch with vaulted ceilings leading to a prominent circular staircase.</p> <p>The restrained classical detailing of the elevations featuring timber multi-pane sash windows with shutters, loggias, pergolas, decorative Cordova tile motifs complement the ornate detailing of the interiors, including the vaulted decorated ceilings, leadlight window detailing and intact decorative joineries. Fireplaces, original wrought iron detailing, niche, lancet window and original joineries are still intact on the ground and first floor.</p> <table border="1" data-bbox="539 1637 1279 1953"> <thead> <tr> <th>Guidelines for inclusion</th> <th>Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="539 1682 927 1930"> <input type="checkbox"/> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input checked="" type="checkbox"/> is aesthetically distinctive <input checked="" type="checkbox"/> has landmark qualities <input checked="" type="checkbox"/> exemplifies a particular taste, style or technology </td> <td data-bbox="927 1682 1279 1953"> <input type="checkbox"/> is not a major work by an important designer or artist <input type="checkbox"/> has lost its design or technical integrity <input type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> has only a loose association with a creative or technical achievement </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input checked="" type="checkbox"/> is aesthetically distinctive <input checked="" type="checkbox"/> has landmark qualities <input checked="" type="checkbox"/> exemplifies a particular taste, style or technology	<input type="checkbox"/> is not a major work by an important designer or artist <input type="checkbox"/> has lost its design or technical integrity <input type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> has only a loose association with a creative or technical achievement
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Heritage inventory sheet

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<p>Social significance SHR criteria (d)</p>	<p>Whilst a full social assessment may be beyond this heritage assessment, 56 Wallaroy Road, Woollahra may hold some social significance for the Woollahra community for its Inter-War Mediterranean style. Further investigation is required in this area.</p> <table border="1" data-bbox="539 517 1278 683"> <thead> <tr> <th data-bbox="539 517 922 546">Guidelines for inclusion</th> <th data-bbox="922 517 1278 546">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="539 546 922 683"> <input type="checkbox"/> is important for its associations with an identifiable group <input type="checkbox"/> is important to a community's sense of place </td> <td data-bbox="922 546 1278 683"> <input checked="" type="checkbox"/> is only important to the community for amenity reasons <input type="checkbox"/> is retained only in preference to a proposed alternative </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> is important for its associations with an identifiable group <input type="checkbox"/> is important to a community's sense of place	<input checked="" type="checkbox"/> is only important to the community for amenity reasons <input type="checkbox"/> is retained only in preference to a proposed alternative
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<p>Technical/Research significance SHR criteria (e)</p>	<p>This property does not have potential to yield substantial scientific and/or archaeological information that will contribute to an understanding of the cultural history of the local area.</p> <table border="1" data-bbox="539 801 1278 1093"> <thead> <tr> <th data-bbox="539 801 922 831">Guidelines for inclusion</th> <th data-bbox="922 801 1278 831">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="539 831 922 1093"> <input type="checkbox"/> has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> is an important benchmark or reference site or type <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere </td> <td data-bbox="922 831 1278 1093"> <input type="checkbox"/> the knowledge gained would be irrelevant to research on science, human history or culture <input checked="" type="checkbox"/> has little archaeological or research potential <input checked="" type="checkbox"/> only contains information that is readily available from other resources or archaeological sites </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> is an important benchmark or reference site or type <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere	<input type="checkbox"/> the knowledge gained would be irrelevant to research on science, human history or culture <input checked="" type="checkbox"/> has little archaeological or research potential <input checked="" type="checkbox"/> only contains information that is readily available from other resources or archaeological sites
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<p>Rarity SHR criteria (f)</p>	<p>This is possibly the only design by Architect Frederick George Leslie Allen in Woollahra showing his creative endeavour and Inter-War Mediterranean influences.</p> <table border="1" data-bbox="539 1211 1278 1594"> <thead> <tr> <th data-bbox="539 1211 922 1240">Guidelines for inclusion</th> <th data-bbox="922 1211 1278 1240">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="539 1240 922 1594"> <input type="checkbox"/> provides evidence of a defunct custom, way of life or process <input checked="" type="checkbox"/> demonstrates a process, custom or other human activity that is in danger of being lost <input type="checkbox"/> shows unusually accurate evidence of a significant human activity <input type="checkbox"/> is the only example of its type <input checked="" type="checkbox"/> demonstrates designs or techniques of exceptional interest <input type="checkbox"/> shows rare evidence of a significant human activity important to a community </td> <td data-bbox="922 1240 1278 1594"> <input type="checkbox"/> is not rare <input type="checkbox"/> is numerous but under threat </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> provides evidence of a defunct custom, way of life or process <input checked="" type="checkbox"/> demonstrates a process, custom or other human activity that is in danger of being lost <input type="checkbox"/> shows unusually accurate evidence of a significant human activity <input type="checkbox"/> is the only example of its type <input checked="" type="checkbox"/> demonstrates designs or techniques of exceptional interest <input type="checkbox"/> shows rare evidence of a significant human activity important to a community	<input type="checkbox"/> is not rare <input type="checkbox"/> is numerous but under threat
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Heritage inventory sheet

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Representativeness SHR criteria (g)	This house is representative of the Inter-War Mediterranean style with Spanish Mission influences in the Municipality of Woollahra.	
	Guidelines for inclusion <input type="checkbox"/> is a fine example of its type <input checked="" type="checkbox"/> has the principal characteristics of an important class or group of items <input checked="" type="checkbox"/> has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity <input type="checkbox"/> is a significant variation to a class of items <input checked="" type="checkbox"/> is part of a group which collectively illustrates a representative type <input type="checkbox"/> is outstanding because of its setting, condition or size <input type="checkbox"/> is outstanding because of its integrity or the esteem in which it is held	Guidelines for exclusion <input type="checkbox"/> is a poor example of its type <input type="checkbox"/> does not include or has lost the range of characteristics of a type <input type="checkbox"/> does not represent well the characteristics that make up a significant variation of a type
Integrity	High	
RECOMMENDATIONS		
Recommendations	It is recommended that the house and interiors are listed as a local heritage item in the Woollahra Local Environmental Plan.	

INFORMATION SOURCES				
Type	Author/Client	Title	Year	Repository
Records	NSW Valuer General	NSW Valuer General Assessments	Various	Woollahra Local Studies Collection
Plans	Various	Subdivision Plans	Various	State Library of NSW
Record	Woollahra Municipal Council	Building Application Records	Various	Woollahra Local Studies Collection
Record	Woollahra Municipal Council	Rates Book Records	Various	Woollahra Local Studies Collection
Record	Woollahra Municipal Council	Woollahra Council Minutes	Various	Woollahra Local Studies Collection

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IMAGES			
Image Caption	The house from an old real estate brochure by Laing + Simmons		
			
Image Year	Unknown	Image author and Copyright Holder	Laing + Simmons

IMAGES			
Image Caption	Eastern elevation of 56 Wallaroy Road Woollahra. The second floor of this wing was added soon after the building of the house to the design of the same architect.		
			
Image Year	2011	Image author and Copyright Holder	www.realestate.com.au (unknown)

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IMAGES			
Image Caption	Interiors of 56 Wallaroy Road, Woollahra. Note the windows and the ornate ceilings.		
			
Image Year	2011	Image author and Copyright Holder	www.realestate.com.au (unknown)

IMAGES	
Image Caption	Significant interiors of 56 Wallaroy Road Woollahra
	

Heritage inventory sheet

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Image Year	2011	Image author and Copyright Holder	www.realestate.com.au (unknown)
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IMAGES	
Image Caption	Vaulted ceiling in the main hallway

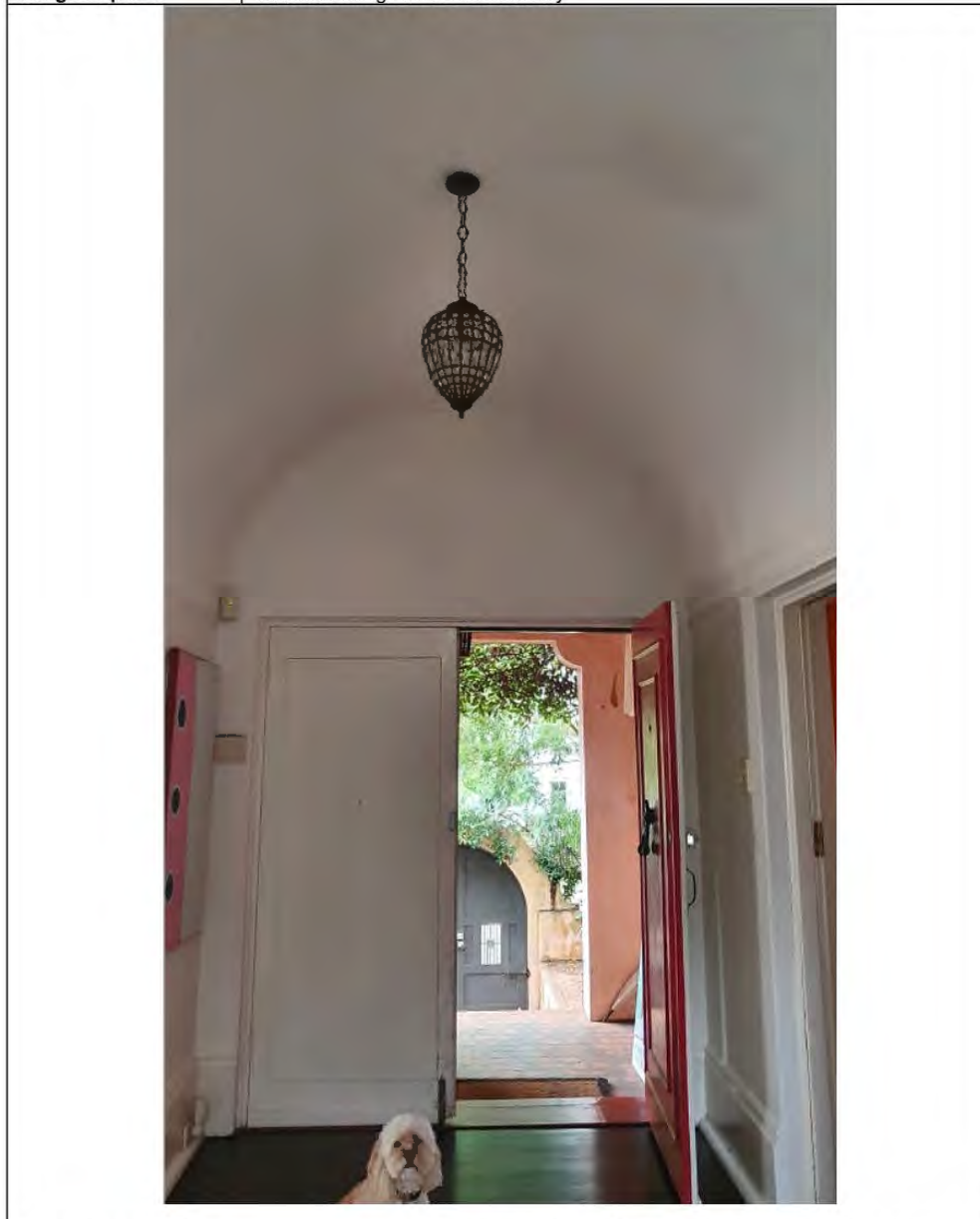


Image Year	2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)
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IMAGES			
Image Caption	56 Wallaroy Road, Woollahra from the corner of Glencoe Road and Wallary Road.		
			
Image Year	2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

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IMAGES			
Image Caption	Front boundary wall and gate. Note the original front gate, in style with the house.		
			
Image Year	2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

IMAGES			
Image Caption	The rear pergola and fountain with Tuscan columns		
			
Image Year	2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

Heritage inventory sheet

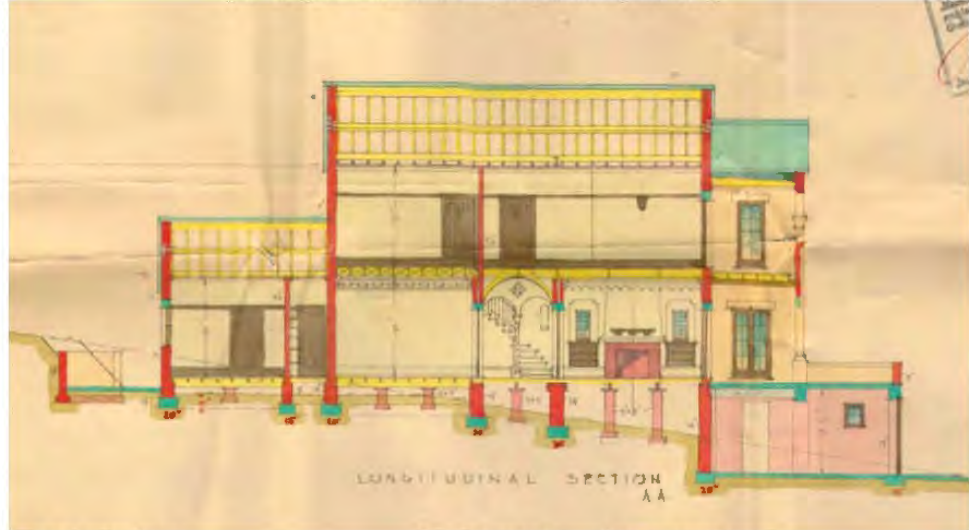
Based on the NSW Heritage Office State Heritage Inventory sheet

IMAGES			
Image Caption	View of the internal circular staircase with niche and lancet window		
			
Image Year	2022	Image author and Copyright Holder	Flavia Scardamaglia (Woollahra Council)

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IMAGES			
Image Caption	Wollaroy Road elevation with its emphasized entrance treatment (BA3/1932)		
			
Image Year	2022	Image author and Copyright Holder	Woollahra Records

IMAGES			
Image Caption	Longitudinal section showing vaulted ceiling for the entrance hall, ornate ceilings to the ground floor and circular staircase (BA3/1932).		
			
Image Year	2022	Image author and Copyright Holder	Woollahra Records

AUTHOR OF THIS REPORT	
Name	Date
Flavia Scardamaglia – Senior Strategic Heritage Officer	July 2022

Heritage inventory sheet

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ITEM DETAILS			
Name of Item	Wrought iron gate and brick posts		
Former name	<i>Shield</i>		
Item type	Built		
Address	Number 28A	Street Wentworth Road	Suburb Vaucluse
Property description	Part of Lot 2 DP 531931		
Use	Current Residential		Former Residential
Statement of significance	<p>The wrought iron gate and brick posts at no. 28A Wentworth Road, Vaucluse are of local heritage significance as part of the body of work carried out by eminent Architect Professor Leslie Wilkinson in Woollahra between 1918 and 1971.</p> <p>While being a late commission for Wilkinson, the exquisite design of this wrought iron gate is testament of the appreciation of Wilkinson's design and fame in the Eastern Suburbs where he was actively working up until his death in the 1970s. The gates were erected after his death in 1973.</p> <p>Wilkinson is a leading and influential figure in Australian architecture for having founded and led the Faculty of Architecture at Sydney University, but also for having combined neo-Georgian with Inter-War Mediterranean styles in response to the sunny Australian climate. His Neo-Georgian design references classical architecture and re-interprets it in a more modern, domestic and restrained way in a fashion that made Wilkinson one of the most influential architects of Australia.</p> <p>The wrought iron gate and brick posts exhibit social, aesthetic and representative significance for their decorative attractive detailing showing typical floral motifs. There are few Wilkinson houses left with the original wrought iron work.</p>		
Level of significance	State: No		Local: Yes
Heritage listings	None		
DESCRIPTION			
Designer	Eric Clarke Pitt (1934) ; altered by John Crawford and Leslie Wilkinson (1971-73) ; Bruce Stafford (2013)		
Builder	B. Coleman		
Construction years	1934		
Physical Description	<p>The main property is set in a battle axe allotment on Wentworth Road accessed through a right of way. It is a two storey rendered masonry building with a hipped, tiled roof and wide eaves. There is an off-set projecting arched entrance porch on the front elevation and a projecting single storey, hipped-roofed, wing to one side.</p> <p>The house has a rather simple mass typical of Neo-Georgian style with an elegant front door with sidelight and arched fanlight. However, it is not intact due to extensive alterations undertaken in the 1980s and 2010s. The interiors and the exteriors of the house have been heavily modified and do not contain fabric of heritage significance.</p> <p>The wrought iron entrance gates are a Wilkinson design, inspired by floreal motifs. They were built soon after his death in 1973.</p>		
Physical condition	In good condition externally and internally.		

Heritage inventory sheet

Based on the NSW Heritage Office State Heritage Inventory sheet

<p>Modification and Dates</p>	<p>Changes to the property occurred from the 1970s, with alterations and additions by John Crawford and Leslie Wilkinson architects. Later changes occurred in the 1980s and 2010s.</p> <p>Approvals include:</p> <p>BA(9)105/1934 (former Vaucluse Council) Dwelling & garage for Mr Macintosh, Architect E C Pitt, Builder B Coleman BA(90)79/1940 (former Vaucluse Council) Enclosure of a first floor verandah for H J Macintosh, builder Coleman & Wisk BA328/1953 Additions (ground floor south east wing with laundry and play room) for Mr E Jackson, builder Bruce Jackson BA481/1962 Alterations and additions to for Mr & Mrs R L Johnston, Architect K B Spain & Associates (enlargement of single storey south east wing) BA46/1964 Additions for Cummings Holdings (refurbishment of front garage wing), builder F W Russell BA452/1964 Alterations and new car port for Mr Cummins, Kell & Rigby BA179/1970 Alterations to detached studio for Dr A L Mather, by John A V Nisbett BA1478/1970 Enquiry for Mr A L Mather from Prof Leslie Wilkinson BA603/1971 Alterations and additions for A L Mather, John Crawford, with Leslie Wilkinson BA746/1971 Swimming pool for Dr A L Mather, Mutual Construction. BA927/1971 Air Conditioning for Dr A L Mather BA1274/1973 Gates and fences designed by Leslie Wilkinson, for Dr A L Mather, F Padella builder BA615/1981 Alterations and additions for A Stevens, E G Nenes & Co (remodeling of south-east elevation) BA1166/1983 Alterations and additions for Mr & Mrs A Stevens, E G Nenes & Co (lower ground floor plan and external spiral staircase) BA969/1999 new timber deck DA295/2013 Alterations and additions (various), Architect Bruce Stafford & Associates</p>
<p>Archaeological potential</p>	<p>No known historic archaeological potential.</p> <p>The northern side of the block is identified as being on sensitive land on the Woollahra Aboriginal sensitivity mapping, available from Council's website.</p>
<p>Comparative analysis</p>	<p>Wilkinson examples of wrought iron work are visible in other Mediterranean and Spanish Mission style heritage listed houses, including:</p> <ul style="list-style-type: none"> - 327C Edgecliff Road, Woollahra (Joseland & Gilling) - 1 Fisher Avenue, Vaucluse (Joseland & Gilling) - 30 Wyuna Road, Point Piper (Joseland & Gilling) - 12 Hampden Avenue, Darling Point, front gate and windows (Wilkinson) - 14 Ginahgulla Road, courtyard gate (Wilkinson) - 6 Wiston Gardens, Double Bay (Wilkinson) - 5A Wiston Gardnes, Double Bay (possibly a copy) (Wilkinson) <p>The elaborate wrought iron work derived from Mediterranean and Spanish Mission influences viewed in Californian examples but during Wilkinson's travels in Spain and Italy.</p> <p>The wrought iron gate at 28A Wentworth Road is a representative detailing of the Mediterranean/Spanish Mission influence noted in Wilkinson and Joseland and Gilling. Wrought iron work is overall rare in Woollahra, due to its gradual replacement.</p>
<p>HISTORY</p>	
<p>Early historical notes</p> <p>The coastal regions of Sydney between Port Jackson and Botany Bay are the ancestral territories of the Eora people. The traditional owners of the land now within the Woollahra Council area were the Cadigal (Gadigal) and the Birrabirragal people. In common with other tribes living by Sydney Harbour, the Gadigal lived in harmony with the natural resources within their country, fishing from canoes or hunting the animals that lived in surroundings. The tribe appears to have moved within their territory in response to the seasons and family connections. Shell middens and other archaeological remains in the area provide material evidence of many centuries of sustained connection to the land that also sustained them. The arrival of white settlers caused the wholesale disruption of traditional life and the cultural practices of the Eora people generally. Despite enormous challenges, today many Indigenous people identify as Eora and maintain cultural practices and a connection to Country.</p> <p>28A Wentworth Road, Vaucluse</p> <p>This house is located on land formerly part of 1130 acres originally granted to William Charles Wentworth on 5 July 1838. Wentworth, barrister, explorer, author, landowner and statesman, had purchased several earlier grants in the immediate vicinity in the 1820s, including Vaucluse House.</p>	

Heritage inventory sheet

Based on the NSW Heritage Office State Heritage Inventory sheet

The first subdivisions on Wentworth's Vaucluse Estate began in 1838 around Parsley Bay, Watsons Bay, Rose Bay and Hermit Bay. Subdivisions of the Estate would continue well into the twentieth century. The site was on Lot 14 of the 7th subdivision of the Vaucluse Estate, which was first auctioned on 18 January 1908 by Richardson & Wrench.

According to land titles, Alexander McCallum Lobban purchased lot 11 of the 1908 Vaucluse Estate (7th subdivision) from the Trustees of the Wentworth Estate on 25 May 1912 (Vol Folio 2256-178). His estate sold in January 1929 to Jean Hawkesworth part of lot 11.

In November 1934, Mrs Hawkesworth sold part of this land to Harold Vernon Macintosh (Vol Folio 4238-185 and 4666-215). In October 1934 an application for a dwelling and a garage was lodged with Vaucluse Council BA(9)105/1934, with architect E C Pitt and builder Coleman. This was approved on 5 November 1934.

In 1951 the property was transferred to Bruce Herbert Jackson and his wife, then in 1955 it was transferred to Roger Louis Johnson, Cummins Holdings P/L in 1963 and Kenneth Burdett York Syme in 1967. The same year it was sold to John Gordon Antcliff (Vol Folio 10650-39), followed by Caroline June Vicars (1970), Allan Paul Stevens (1976) and Akio Takahashi in 1986 (Vol Folio 10966-12). The chain of ownership was not researched after this date.

Most changes to the property occurred in the 1970s, with alterations and additions by John Crawford and Leslie Wilkinson architects, who reinforced the Inter-War Mediterranean/Georgian character of this house. These were later modified in the 1980s and 2010s.

The wrought iron gate and brick posts were designed by Leslie Wilkinson but they were lodged to Council as a separate application (BA1274/1973). By the time the gate was built, Wilkinson had already passed away.

Professor Leslie Wilkinson

Born in Middlesex, England, Leslie Wilkinson (1882-1973) was a professor of architecture at the University of Sydney, where he dedicated his life to architecture as both an academic and a practising architect. He is a leading and influential figure in Australian architecture, whose traditional approach combined Australia's colonial heritage with Mediterranean/Neo-Georgian architecture.

Arriving in Australia in 1918, Wilkinson was appointed as the Chair of Architecture within the faculty of science at the University of Sydney. He then gained approval for a faculty of Architecture which was created, with himself as the first dean, in 1920.

Wilkinson played a major role in the development of the University of Sydney campus, being appointed University Architect in 1919 and designing an ambitious master plan to guide its future growth.

Between 1918 and 1973 Wilkinson took many commissions for private houses, 44 commissions for the University of Sydney, as well as designing churches, chapels, flats, a Sydney City Council housing project and numerous alterations and additions to existing buildings. This is in addition to his university career, from which he retired in 1947.

In 1923, Wilkinson was the first person to be registered on the newly established Roll of the Board of Architects of New South Wales, with registration number 1. He was also made President in 1934, when the Institute of Architects of New South Wales became a Chapter of Royal Australian Institute of Architects.

In 1934 Wilkinson was awarded the Sulman award for the house designed in Wiston Gardens for Dr and Mrs Charles Parkinson. Another Sulman Award was awarded to him in 1942 for the alterations and additions to St Michael's Church in Vaucluse.

In 1960 Professor Wilkinson was awarded the RAIA Gold Medal, the highest honour the Royal Australian Institute of Architects can bestow to recognize architects who have given outstandingly distinguished service to their profession.

The Wilkinson Award was set up in 1961 in his honour with the aim of recognizing, encouraging and rewarding good domestic architecture.

Leslie Wilkinson is one of the most well-known and important Australian architect of the 20th Century.

Architect John Crawford

Very little is known about John Crawford. Born in Darlinghurst on 12 May 1925, John Crawford enlisted in the RAAF on 18 December 1943 and was discharged on 22 August 1945 as Aircraftman 2 from the Signals School at Point Cook (World War 2 nominal roll).

He lived most of his life in Vaucluse where he died on 16 December 1992 (Ryerson Index).

Heritage inventory sheet

Based on the NSW Heritage Office State Heritage Inventory sheet

HISTORICAL THEMES		
Australian Theme	State Theme	Local Theme
4. Building settlements, towns and cities	Towns, suburbs and villages	Early development of Darling Point
8. Developing Australia's cultural life	Creative Endeavour	The work of Leslie Wilkinson

HERITAGE SIGNIFICANCE ASSESSMENT					
<p>Historical significance SHR criteria (a)</p>	<p>Built in the 1970s, the wrought iron gate and brick posts are not considered of historical significance for Vacluse.</p> <table border="1"> <thead> <tr> <th>Guidelines for inclusion</th> <th>Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td> <input type="checkbox"/> shows evidence of a significant human activity <input type="checkbox"/> is associated with a significant activity or historical phase <input type="checkbox"/> maintains or shows the continuity of a historical process or activity </td> <td> <input checked="" type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> shows evidence of a significant human activity <input type="checkbox"/> is associated with a significant activity or historical phase <input type="checkbox"/> maintains or shows the continuity of a historical process or activity	<input checked="" type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association
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<p>Historical association significance SHR criteria (b)</p>	<p>This wrought iron gate with brick posts is historically associated with prominent Architect and architectural academic Professor Leslie Wilkinson, who carried out alterations and additions in association with Architect John Crawford in the late 1970s and designed the front elevation, wrought iron gate and gate posts.</p> <p>Wilkinson is a leading and influential figure in Australian architecture for having founded and led the Faculty of Architecture at Sydney University, but also for having combined neo-Georgian with Inter-War Mediterranean styles in response to the sunny Australian climate. His Neo-Georgian design references classical architecture and re-interprets it in a more modern, domestic and restrained way in a fashion that made Wilkinson one of the most influential architects of Australia.</p> <table border="1"> <thead> <tr> <th>Guidelines for inclusion</th> <th>Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td> <input type="checkbox"/> shows evidence of a significant human occupation <input checked="" type="checkbox"/> is associated with a significant event, person, or group of persons </td> <td> <input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> shows evidence of a significant human occupation <input checked="" type="checkbox"/> is associated with a significant event, person, or group of persons	<input type="checkbox"/> has incidental or unsubstantiated connections with historically important activities or processes <input type="checkbox"/> provides evidence of activities or processes that are of dubious historical importance <input type="checkbox"/> has been so altered that it can no longer provide evidence of a particular association
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<p>Aesthetic significance SHR criteria (c)</p>	<p>The design of the wrought iron gate shows typical floral motifs and is of excellent example of wrought ironwork.</p> <p>While being a late commission for Wilkinson, the exquisite design manufacture of this wrought iron gate is testament of the appreciation of Wilkinson's design and fame in the Eastern Suburbs where he was actively working up until his death in the 1970s.</p> <table border="1"> <thead> <tr> <th>Guidelines for inclusion</th> <th>Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td> <input checked="" type="checkbox"/> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input checked="" type="checkbox"/> is aesthetically distinctive <input type="checkbox"/> has landmark qualities <input checked="" type="checkbox"/> exemplifies a particular taste, style or technology </td> <td> <input type="checkbox"/> is not a major work by an important designer or artist <input type="checkbox"/> has lost its design or technical integrity <input type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> has only a loose association with a creative or technical achievement </td> </tr> </tbody> </table>	Guidelines for inclusion	Guidelines for exclusion	<input checked="" type="checkbox"/> shows or is associated with, creative or technical innovation or achievement <input type="checkbox"/> is the inspiration for a creative or technical innovation or achievement <input checked="" type="checkbox"/> is aesthetically distinctive <input type="checkbox"/> has landmark qualities <input checked="" type="checkbox"/> exemplifies a particular taste, style or technology	<input type="checkbox"/> is not a major work by an important designer or artist <input type="checkbox"/> has lost its design or technical integrity <input type="checkbox"/> its positive visual or sensory appeal or landmark and scenic qualities have been more than temporarily degraded <input type="checkbox"/> has only a loose association with a creative or technical achievement
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Heritage inventory sheet

Based on the NSW Heritage Office State Heritage Inventory sheet

<p>Social significance SHR criteria (d)</p>	<p>While a full social assessment may be beyond this heritage assessment, as part of the body of work of eminent Architect Professor Leslie Wilkinson, this wrought iron gate and brick posts may hold some social significance for the Woollahra community and the Australian Institute of Architects.</p>				
<table border="1"> <thead> <tr> <th data-bbox="528 510 959 539">Guidelines for inclusion</th> <th data-bbox="963 510 1386 539">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="528 546 959 674"> <input checked="" type="checkbox"/> is important for its associations with an identifiable group <input type="checkbox"/> is important to a community's sense of place </td> <td data-bbox="963 546 1386 674"> <input type="checkbox"/> is only important to the community for amenity reasons <input type="checkbox"/> is retained only in preference to a proposed alternative </td> </tr> </tbody> </table>		Guidelines for inclusion	Guidelines for exclusion	<input checked="" type="checkbox"/> is important for its associations with an identifiable group <input type="checkbox"/> is important to a community's sense of place	<input type="checkbox"/> is only important to the community for amenity reasons <input type="checkbox"/> is retained only in preference to a proposed alternative
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<p>Technical/Research significance SHR criteria (e)</p>	<p>This property does not have potential to yield substantial scientific and/or archaeological information that will contribute to an understanding of the cultural history of the local area.</p>				
<table border="1"> <thead> <tr> <th data-bbox="528 748 959 777">Guidelines for inclusion</th> <th data-bbox="963 748 1386 777">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="528 784 959 1010"> <input type="checkbox"/> has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> is an important benchmark or reference site or type <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere </td> <td data-bbox="963 784 1386 1010"> <input type="checkbox"/> the knowledge gained would be irrelevant to research on science, human history or culture <input checked="" type="checkbox"/> has little archaeological or research potential <input type="checkbox"/> only contains information that is readily available from other resources or archaeological sites </td> </tr> </tbody> </table>		Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> has the potential to yield new or further substantial scientific and/or archaeological information <input type="checkbox"/> is an important benchmark or reference site or type <input type="checkbox"/> provides evidence of past human cultures that is unavailable elsewhere	<input type="checkbox"/> the knowledge gained would be irrelevant to research on science, human history or culture <input checked="" type="checkbox"/> has little archaeological or research potential <input type="checkbox"/> only contains information that is readily available from other resources or archaeological sites
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<p>Rarity SHR criteria (f)</p>	<p>A rarely intact wrought iron gate with brick posts. Many of the wrought iron works have already been removed from Wilkinson's houses.</p>				
<table border="1"> <thead> <tr> <th data-bbox="528 1084 959 1113">Guidelines for inclusion</th> <th data-bbox="963 1084 1386 1113">Guidelines for exclusion</th> </tr> </thead> <tbody> <tr> <td data-bbox="528 1120 959 1496"> <input type="checkbox"/> provides evidence of a defunct custom, way of life or process <input checked="" type="checkbox"/> demonstrates a process, custom or other human activity that is in danger of being lost <input type="checkbox"/> shows unusually accurate evidence of a significant human activity <input type="checkbox"/> is the only example of its type <input type="checkbox"/> demonstrates designs or techniques of exceptional interest <input type="checkbox"/> shows rare evidence of a significant human activity important to a community </td> <td data-bbox="963 1120 1386 1496"> <input type="checkbox"/> is not rare <input type="checkbox"/> is numerous but under threat </td> </tr> </tbody> </table>		Guidelines for inclusion	Guidelines for exclusion	<input type="checkbox"/> provides evidence of a defunct custom, way of life or process <input checked="" type="checkbox"/> demonstrates a process, custom or other human activity that is in danger of being lost <input type="checkbox"/> shows unusually accurate evidence of a significant human activity <input type="checkbox"/> is the only example of its type <input type="checkbox"/> demonstrates designs or techniques of exceptional interest <input type="checkbox"/> shows rare evidence of a significant human activity important to a community	<input type="checkbox"/> is not rare <input type="checkbox"/> is numerous but under threat
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<p>Representativeness SHR criteria (g)</p>	<p>This distinctive wrought iron work detailed by prominent Architect Professor Leslie Wilkinson was part of the Mediterranean style of his domestic commissions.</p>				
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Heritage inventory sheet

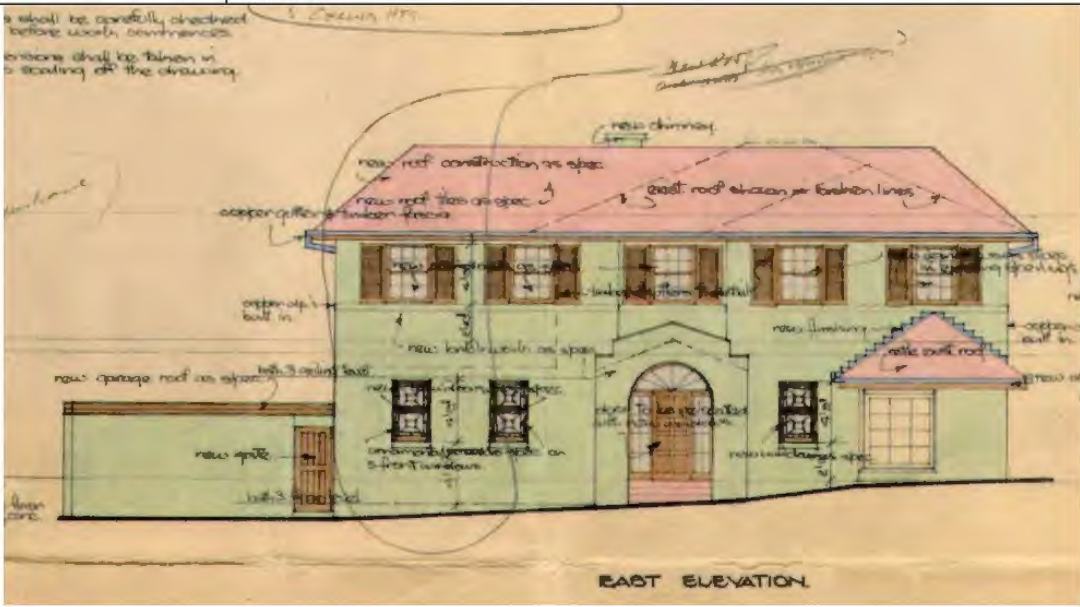
Based on the NSW Heritage Office State Heritage Inventory sheet

	the esteem in which it is held			
Integrity	The wrought iron gate and brick posts appear in excellent condition. Internally the house has undergone multiple changes and there is no fabric of heritage significance.			
RECOMMENDATIONS				
Recommendations	It is recommended that the wrought iron gate and brick posts are listed as a local heritage item in the Woollahra Local Environmental Plan. v			
INFORMATION SOURCES				
Type	Author/Client	Title	Year	Repository
Study	Rosemary Broomham	Vaucluse – Thematic History	2006	Woollahra Local History Collection
Records	NSW Valuer General	NSW Valuer General Assessments	Various	Woollahra Local History Collection
Plans	Various	Subdivision Plans	Various	State Library of NSW
Record	Woollahra Municipal Council	Building Application Records	Various	Woollahra Local History Collection
Record	Woollahra Municipal Council	Rates Book Records	Various	Woollahra Local History Collection
Record	Woollahra Municipal Council	Woollahra Council Minutes	Various	Woollahra Local History Collection

IMAGES			
Image Caption	Extract from BA1274/1973 showing the wrought iron front gate and fence designed by Leslie Wilkinson		
Image Year	1973	Image author and Copyright Holder	Woollahra Records

Heritage inventory sheet

Based on the NSW Heritage Office State Heritage Inventory sheet

IMAGES			
Image Caption	Extract from BA603/1971, plans signed by both John Crawford and Professor Leslie Wilkinson		
			
Image Year	1971	Image author and Copyright Holder	Woollahra Records

IMAGES			
Image Caption	Wrought iron gate designed by Professor Leslie Wilkinson		
			
Image Year	August 2022	Image author and Copyright Holder	Woollahra Municipal Council

Heritage inventory sheet

Based on the NSW Heritage Office State Heritage Inventory sheet

IMAGES			
Image Caption	Wrought iron gate designed by Professor Leslie Wilkinson		
			
Image Year	March 2022	Image author and Copyright Holder	Woollahra Municipal Council

IMAGES			
Image Caption	Front elevation of 28A Wentworth Road Vaucluse		
			
Image Year	March 2022	Image author and Copyright Holder	Woollahra Municipal Council

Heritage inventory sheet

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IMAGES			
Image Caption	Curtilage of the proposed heritage listing of wrought iron gate and brick posts at 28A Wentworth Road, Vaucluse, identified by a red lined circle.		
			
Image Year	July 2022	Image author and Copyright Holder	Woollahra Municipal Council MAPS

AUTHOR OF THIS REPORT	
Name	Date
Flavia Scardamaglia – Senior Strategic Heritage Officer	August 2022



Heritage NSW State Heritage Register Nomination Form

The State Heritage Register is a statutory list that provides legal protection for the conservation and management of state significant heritage places and objects. Anyone can nominate a significant place or object for potential listing on the NSW State Heritage Register.

Before completing this form: refer to the [Heritage NSW website](#) and [Guidelines for Nominations to the State Heritage Register](#) to check whether a nomination is appropriate. You should only nominate an item or place you believe to be important for New South Wales, not just locally. This is because only items or places that meet the criteria of state heritage significance are eligible for listing on the Register.

When completing the form, please make sure all the mandatory questions have been answered, as indicated with an asterisk (*). Incomplete forms or forms with insufficient information may not be accepted. Lodging a nomination form does not signify that a nomination is accepted and under assessment.

Additionally, you should check the [State Heritage Inventory](#) database or contact us to confirm whether the item may already be under assessment for nomination.

A. Nominated place

1. Name

Name of item or place*	Greenway, 24 Wentworth Road Vaucluse
Other or former names	N/A

2. Location

At least one of these three location details must be provided.

For a moveable heritage object, enter its principal location, including street number, street name, suburb or town and postcode. If the item or place has no street number, provide land parcels, including lot numbers, section numbers and DP number. If it has no land parcels, provide coordinates and a map.

Street address*	24 Wentworth Road Vaucluse				
Alternate street address					
Local Government Area*	Woollahra Council				
Land parcel*					
Lot number	101	Section number (if applicable)		DP number	621888
Lot number		Section number (if applicable)		DP number	
Lot number		Section number (if applicable)		DP number	
Coordinates					
Latitude		Longitude		Datum	

3. Map of nominated place

Map of enclosed area*	
Source of map or plan*	Woollahra Council GIS Maps
Boundary description*	Bounded to the north by Wentworth Road, to the south by 2A Fisher Avenue, to the east by Fisher Avenue and to the west by 26 Wentworth Road.

4. Ownership

Name of owner(s)*	The Hon Ashley Judith Dawson-Damer
Business/Organisation (if applicable)	
Address	24 Wentworth Road Vaucluse
Phone	
Email	
Ownership explanation, if known	

B. Significance

5. Why is it important for New South Wales?

It is recommended that you read and use [Assessing heritage significance](#) as a guide before completing this section.

Statement of heritage significance*	<p>Greenway is of State significance as one of the finest and earliest Inter-War Mediterranean houses designed by prominent Architect Professor Leslie Wilkinson as his family residence. Wilkinson was one of the most influential architects of the Inter War period in Australia, in particular in his approach to domestic architecture and its response to the climate.</p> <p>Approved by Vaucluse Council in 1922, Greenway is architecturally significant as one of the earliest and best examples of his domestic work, showcasing a restrained use of classical detailing with pioneering techniques to maximise internal comfort through design and orientation. Greenway exemplifies the architectural ideas explored by Wilkinson throughout his life about buildings suited for the Australian climate, relationship to the context and orientation of rooms and layout to maximise the occupants' comfort through design.</p> <p>As a pioneering precursor to sustainability design concepts, this house is specifically designed and oriented to maximise light ingress, ventilation, protection from southerly winds and overall aimed to combine classical details with amenity. Some of the interior features such as joineries and the sandstone fireplace were taken from historic buildings being demolished in Macquarie Street, thus demonstrating an interest in reusing fabric.</p> <p>Oriented around an internal private courtyard, Greenway reconnects with the Mediterranean classical designs introduced by Wilkinson to Sydney; the simple Georgian masses, restrained Classicism and weathered "patina" of its external finishes experimented in Greenway became the inspiration for several of Wilkinson's later houses in Sydney and was an object of consideration for many other architects to follow.</p> <p>The block is able to demonstrate a significant historic activity for the Inter-War development of Vaucluse and the 7th subdivision of the Vaucluse Estate, represented by the spreading popularity of Mediterranean ideas about living and social habits, also represented by aspirational high design quality. As an intact Inter-War Mediterranean/Neo-Georgian style house in an intact landscaped setting, it is rare in Woollahra.</p> <p>The grove of Angophoras or Sydney Pink Gums in the front garden are unique in the Municipality as being the last major grouping of indigenous tree on this plateau. Their multi-stemmed, stunted and contorted forms are typical of the species under these conditions of shallow sandstone soils and exposure to winds on this elevated site. These trees form a magnificent tracery of forms and branching patterns, occurring as an almost pure stand. Greenway is placed with great sympathy and harmony with these remnant trees, such that courtyards contain individual trees as specimens in their own right. Very few properties contain individual specimens and remnant regrowth in this Vaucluse area and these are group listed in the Indigenous Trees of Significance.</p> <p>Greenway meets the following criteria at State level: Historic, Historical Association, Aesthetic, Rarity and Representativeness.</p>
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Comparisons*	<p>Comparative State Heritage listed items include:</p> <ul style="list-style-type: none"> • <i>Purulia</i> by W H Wilson (1912-3), 156 Fox valley Road, Wahroonga • <i>Eryldene</i> by W H Wilson (1912-3), 17 McIntosh Street, Gordon • <i>Fenton</i> by Robin Dods (191-9), 8 Albert Street, Edgecliff • <i>Boomerang</i> by N. Hampson (1926), 42 Billyard Avenue, Elizabeth Bay • <i>Parkinson</i> by L Wilkinson (1932), 6 Wiston Gardens, Dobule Bay • <i>Sweetapple</i> by L Wilkinson (1936) , 5A (formerly 4) Wiston Gardens, Double Bay <p>Whilst influenced by Colonial Revival and Georgian influences, both <i>Purulia</i> and <i>Eryldene</i> were not designed to take into consideration internal comfort derived from orientation and ventilation as much as <i>Greenway</i>.</p> <p><i>Purulia</i>, <i>Fenton</i> and <i>Eryldene</i> demonstrate a classical influence, clearly referencing early Colonial Australian houses which were greatly admired by both William Hardy Wilson and Robin Dods.</p> <p>There is really no comparison between <i>Boomerang</i> and <i>Greenway</i> because of the extravagant opulence of <i>Boomerang</i> and its references to Californian imported Spanish Mission style rather than Mediterranean style.</p> <p>All houses above share a restrained classicist palette, which makes <i>Greenway</i> a representative example of Inter-War Mediterranean house.</p> <p>None of the houses above have been orientated and/or designed so as to maximise ventilation and internal comfort in such a resolved and focused way as <i>Greenway</i>. <i>Greenway</i> is a house that defines the site it is located on rather than sitting on the site, with its layout being dictated from the pre-existing native <i>angophora costata</i> trees that inspired Wilkinson.</p> <p>There are no earlier Inter-War Mediterranean houses listed on the State Heritage Register and no unlisted ones could be found in NSW. <i>Greenway</i> is probably the first Inter-War Mediterranean house in NSW directly referencing Southern Europe Classicism rather than Australian Colonial and Californian examples.</p> <p>Based on the above comparative analysis of Inter-War houses, <i>Greenway</i> is considered to be of State significance for its rarity and representative values for the following reasons:</p> <ul style="list-style-type: none"> - It is possibly the earliest and most representative Inter-War Mediterranean house in NSW, dating from 1922 and employing a restrained classicism rather than Australian Colonial and Californian examples; - It is one of the earliest houses designed by Wilkinson with a conscious aim to orient it and ventilate it in such a way to maximise internal comfort; and - It is one of the earliest houses designed to be built around the existing vegetation and not the other way around. <p><i>Greenway</i> is also considered to be of State significance for its historical association with one of the most prominent Australian Architects (Leslie Wilkinson) of the Inter-War period, which equals this house to other prominent Australian architects houses such as <i>Purulia</i> and <i>Fenton</i>.</p>
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C. Description

6. Item or place

Description*	<p>Two storey masonry rendered house with a hipped roof in large landscaped grounds. Located on a triangular lot, it is bounded by a tall sandstone fence and screened by Angophora Costata trees.</p> <p>Accessed from Fisher Avenue through an arched pergola and water fountain connecting the house to the garage, the house features a two-storey west facing rear wing with a ground floor vaulted loggia. The garden preserves native trees and an original water fountain near the main pedestrian entrance.</p> <p>The main façade is a proportioned succession of regularly spaced rectangular openings, mostly timber framed sash windows with 12 panes and an asymmetrical red coloured wood front door. To the rear it opens up onto a private courtyard looking west with a three storey arched loggia on Tuscan columns and vertically sliding windows above. French doors opening on small Juliet balconies give light to the upper rooms of the main wing.</p> <p>Internally, the interiors were meant to be rather scarce to appreciate the volumes of the spaces and the quality of the joineries and other fittings. The fireplace in the main living room, the front door and the timber balustrade were taken from buildings being demolished in Macquarie Street, in line with the salvage and reuse of building materials and appreciation for historic materials advocated in Wilkinson's public life.</p> <p>A three storey eastern wing was added in the 1950s near Fisher Avenue. The eastern elevation has a more informal character, with a timber pergola on columns, gabled wings, distinct chimney breasts, grilled openings and double hung timber framed paned windows with shutters.</p>
Condition of fabric and/archaeological potential*	<p>Excellent condition when the house was inspected in April 2022.</p> <p>Summary of Listed Trees located within this Property Description: Grove of Sydney Pink Gum (<i>Angophora costata</i>)</p> <p>Botanical Name: <i>Angophora costata</i> Common Name: Sydney Pink Gum Significance Attributes: Informal Indigenous Group, Visual Dominance (Harbour/District/ Local) Origin: Indigenous Remnant Location: Grove of Angophoras spread throughout the main garden on the corner of Wentworth Road and Fisher Avenue. Height: vary between 6-10 metres Canopy Spread: varies Trunk Diameter: multi-stemmed 300-800mm (@ 1.0 metre above ground level) Estimated Age: some specimens: 70-100+ years</p> <p>No known historic archaeological potential, however identified as being on sensitive land on the Woollahra Aboriginal sensitivity mapping and containing sandstone outcrops.</p>
Integrity or intactness*	<p>High</p>
Modification dates, if known	<p>DA580/2002 Alteration and/or additions to existing dwelling house – bathroom fit-outs</p> <p>DA581/2002 Alteration and/or additions to existing dwelling house – new fence and low dwarf garden wall, reinstatement to front garden wall & pergola.</p> <p>DA1143/2001 Alteration and/or additions to existing dwelling house – Alterations & additions to existing dwelling & associated external works.</p>

	BA895/1974 Alterations and additions for G L R Wilkinson BA115/1967 Enquiry, Prof. L Wilkinson BA100/1949 Addition, Prof. L Wilkinson. Disapproved 11 July 1949, approved 22 August 1949
When was the last time you inspected the item or place?	April 2022
Current use, if known	Residential
Original or former use	Residential
Additional comments	

D. Historical outline

7. Origins and historical evolution

Years of construction*	Start	1922	End	1949
Designer or architect*	Professor Leslie Wilkinson (1922, 1949); D Wilkinson (1974)			
Maker or builder*	Jamieson (1922) ; D Wilkinson (1974)			
Historical outline of item or place*	<p>Early historical notes</p> <p>The coastal regions of Sydney between Port Jackson and Botany Bay are the ancestral territories of the Eora people. The traditional owners of the land now within the Woollahra Council area were the Cadigal (Gadigal) and the Birrabirragal people. In common with other tribes living by Sydney Harbour, the Gadigal lived in harmony with the natural resources within their country, fishing from canoes or hunting the animals that lived in surroundings. The tribe appears to have moved within their territory in response to the seasons and family connections. Shell middens and other archaeological remains in the area provide material evidence of many centuries of sustained connection to the land that also sustained them. The arrival of white settlers caused the wholesale disruption of traditional life and the cultural practices of the Eora people generally. Despite enormous challenges, today many Indigenous people identify as Eora and maintain cultural practices and a connection to Country.</p> <p>Greenway</p> <p>Greenway is located on land formerly part of 1130 acres originally granted to William Charles Wentworth on 5 July 1838. Wentworth, barrister, explorer, author, landowner and statesman, had purchased several earlier grants in the immediate vicinity in the 1820s, including Vaucluse House.</p> <p>The first subdivisions on Wentworth's Vaucluse Estate began in 1838 around Parsley Bay, Watsons Bay, Rose Bay and Hermit Bay. Subdivisions of the Estate would continue well into the twentieth century. The site was on Lot 14 of the 7th subdivision of the Vaucluse Estate, which was first auctioned on 18 January 1908 by Richardson & Wrench.</p> <p>The land was purchased by Charles Middleton in 1916, who sold to Leslie Wilkinson on 10 October 1921. A garage was approved by Vaucluse Council on BA(90)29/1921, but it is unclear if this was ever constructed.</p> <p>Another application for a "Villa" was approved by Vaucluse Council on 20 September 1922 (BA(90)86/1922).</p> <p>Greenway is one of the earliest houses designed by Wilkinson in Sydney in the Inter-War Mediterranean/Georgian style. Wilkinson bought the land to build his family home, being fascinated by the <i>Angophora Costata</i> trees present on the site. He called this house Greenway as a homage to Colonial Architect Francis Greenway.</p> <p>The orientation of the house was meant to provide most rooms with an east and north facing aspect. The main openings of the house do not face west where iconic views were, rather they are oriented to maximize internal comfort. When approved, the house did not comply with the setback controls to its western boundary with 26 Wentworth Road. To gain an approval, Wilkinson demonstrated that any west facing glazing would have brought too much internal discomfort and did not include any openings. In the end it was approved on 20 September 1922.</p> <p>When built, the house was referred to by neighbours as "the old house" due to the rendered whitewashed finishes and classic references.</p>			

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	<p>The house initially had a T shaped layout which was added on after 1949 when a new three storey wing was added to the east. This scheme was initially refused by Woollahra Council (Minutes, 11 July 1949) on the basis that it would be capable of being occupied as two separate flats, which was not permissible in Vaucluse. The design was amended to connect with the main house and was finally approved on 22 August 1949.</p> <p>Professor Leslie Wilkinson</p> <p>Born in Middlesex, England, Leslie Wilkinson (1882-1973) was a professor of architecture at the University of Sydney, where he dedicated his life to architecture as both an academic and practising architect. He is a leading and influential figure in Australian architecture, whose traditional approach combined Australia's colonial heritage with Mediterranean/Neo-Georgian architecture.</p> <p>Arriving in Australia in 1918, Wilkinson was appointed as the Chair of Architecture within the faculty of science at the University of Sydney. He then gained approval for a faculty of Architecture which was created, with himself as the first Dean, in 1920.</p> <p>Wilkinson played a major role in the development of the University of Sydney campus, being appointed University Architect in 1919 and designing an ambitious master plan to guide the its future growth.</p> <p>Between 1918 and 1973, Wilkinson took many commissions for private houses, 44 commissions for the University of Sydney, as well as designing churches, chapels, flats, a Sydney City Council housing project and numerous alterations and additions to existing buildings. This is in addition to his university career, from which he retired in 1947.</p> <p>In 1923, Wilkinson was the first person to be registered on the newly established Roll of the Board of Architects of New South Wales, with registration number 1. He was also made President in 1934, when the Institute of Architects of New South Wales became a Chapter of Royal Australian Institute of Architects.</p> <p>In 1934 Wilkinson was awarded the Sulman award for the house designed in Wiston Gardens for Dr and Mrs Charles Parkinson. Another Sulman Award was awarded to him in 1942 for the alterations and additions to St Michael's Church in Vaucluse.</p> <p>In 1960 Professor Wilkinson was awarded the RAIA Gold Medal, the highest honour the Royal Australian Institute of Architects can bestow to recognize architects who have given outstandingly distinguished service to the their profession.</p> <p>The Wilkinson Award was set up in 1961 in his honour with the aim of recognizing, encouraging and rewarding good domestic architecture.</p> <p>Leslie Wilkinson is one of the most well-known and important Australian architect of the 20th Century.</p>
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8. Historical themes represented

Select one or more of the national and state heritage themes represented by the nominated item or place. Themes indicate the broad historical context in which the nominated item or place is significant.

See the guidelines [Historical Themes](#) and [Investigating Heritage Significance](#) (draft guideline being finalised in 2021) for a more detailed description of each theme.

National themes (select one or more of themes 1 to 9)	4. Building settlements, towns and cities 8 Developing Australia's cultural life
----------------------------------------------------------	-------------------------------------------------------------------------------------

State themes (within national themes 1 to 3)	Towns, suburbs and villages Creative Endeavour
State themes (within national themes 4 to 9)	Early development of Vaucluse The work of Leslie Wilkinson

E. Criteria

9. Assessment under Heritage Council criteria of state significance

<p>A. It is important in the course or pattern of the cultural or natural history of NSW*.</p>
<p>Greenway is of State significance as one of the finest and earliest Inter-War Mediterranean houses designed by prominent Architect Professor Leslie Wilkinson as his family residence.</p> <p>Approved by Vaucluse Council in 1922, Greenway is architecturally significant as one of the best examples of his domestic work, showcasing a restrained use of classical detailing with pioneering techniques to maximise internal comfort through design and orientation. Greenway exemplifies the architectural ideas explored by Wilkinson throughout his life about buildings suited for the Australian climate, relationship to the context and orientation of rooms and layout to maximise the weather protection response of a building. Some of the interior features such as joineries and the sandstone fireplace were taken from historic buildings being demolished in Macquarie Street, thus demonstrating an interest in reusing fabric.</p> <p>The block is able to demonstrate a significant historic activity for the Inter-War development of Vaucluse and the 7th subdivision of the Vaucluse Estate, represented by the spreading popularity of Mediterranean ideas about living and social habits, also represented by aspirational high design quality.</p> <p>Wilkinson was one of the most influential architects of the Inter War period in Australia, in particular in his approach to domestic architecture and its response to the climate.</p> <p>The grove of Angophoras or Sydney Pink Gum in the front garden are unique in the Municipality as being the last major grouping of indigenous tree on this plateau. Their multi-stemmed, stunted and contorted forms are typical of the species under these conditions of shallow sandstone soils and exposure to winds on this elevated site.</p>
<p>B. It has a strong or special association with the life or works of a person or group of importance in the cultural or natural history of NSW*.</p>
<p>Greenway is of State associative significance for its being the family residence of prominent architect and architectural academic, Professor Leslie Wilkinson, designed in his favoured Mediterranean style. Built in 1922, Wilkinson lived at Greenway until his death in 1973.</p> <p>In 1949, Wilkinson designed a new eastern wing to accommodate his daughter's family. This was initially refused by Woollahra Council (Minutes, 11 July 1949) on the basis that it would be capable of being occupied as two separate flats, which was not permissible in Vaucluse. The design was amended to connect with the main house and was finally approved on 22 August 1949.</p> <p>In 1967, a new addition was designed on the Wentworth Road boundary. This however, was never built.</p>
<p>C. It demonstrates aesthetic characteristics and/or a high degree of creative or technical achievement in NSW*.</p>
<p>Greenway has State aesthetic significance as one of the best example of Wilkinson designed houses featuring Neo-Georgian and Mediterranean stylistic concepts that were the hallmarks of his career and served as a template for the refining of the Mediterranean and Neo-Georgian style in NSW.</p> <p>Greenway was sited to complement the existing Indigenous trees that pre-existed on site. With an originally L-shaped layout, Greenway almost sits on the southern boundary of a triangular block in order to retain and enhance views to the house through the established angophora costata trees that complement the house design. The pink-red of their trunks inspired the colour of the exterior walls. The arched walls, loggias and the garden complement each other in search for shade, coolness and simplicity of colours and ornament in every detail.</p> <p>This house is specifically designed and oriented to maximise light ingress, ventilation and combine restrained classical details with amenity. It has an informal domestic siting with its pastel coloured rendered walls, arched openings and loggias, vertically proportioned multi-paned timber sash windows with louvered shutters, loggias and hipped tiled roofs. As an intact Wilkinson design for his own family, this house demonstrates a design of exceptional interest.</p> <p>The grove of Angophoras or Sydney Pink Gum form a magnificent tracery of forms and branching patterns, occurring as an almost pure stand. Greenway is placed with great sympathy and harmony with</p>

<p>these remnant trees, such that courtyards contain individual trees as specimens in their own right. A number of properties contain individual specimens and remnant regrowth in this Vaucluse area and these are group listed in the Indigenous Trees of Significance.</p>
<p>D. It has a strong or special association with community or cultural group in NSW for social, cultural or spiritual reasons*.</p>
<p>Greenway is likely to be held in high regard by the people of Woollahra and others interested in history and architecture, which is indicated by its local listing as a heritage item. Many of Wilkinson's designs are listed in the Register of Significant 20th Century Architects and the National Trust of Australia (NSW), including Greenway.</p>
<p>E. It has potential to yield information that will contribute to an understanding of the cultural or natural history of NSW*.</p>
<p>The property does not meet this criterion.</p>
<p>F. It possesses uncommon, rare or endangered aspects of the cultural or natural history of NSW*.</p>
<p>Greenway is of State significance as an intact Inter-War Mediterranean/Neo-Georgian style house in an intact landscaped setting.</p> <p>The grove of Angophoras or Sydney Pink Gum in the front garden are unique in the Municipality as being the last major grouping of indigenous tree on this plateau. Very few properties contain individual specimens and remnant regrowth in this Vaucluse area and these are group listed in the Indigenous Trees of Significance.</p>
<p>G. It demonstrates the principal characteristics of a class of cultural or natural places or environments in NSW*.</p>
<p>Greenway is representative of Wilkinson's work in NSW and it is part of an important group of houses and body of work carried out by Wilkinson in Woollahra between 1918 and 1971, including new houses and alterations and additions.</p> <p>Greenway is architecturally significant as one of the earliest and best examples of his domestic work, showcasing a restrained use of classical detailing with pioneering techniques to maximise internal comfort through design and orientation.</p>

F. Listings

10. Existing heritage listings

Check one box for each of the following listings. You may need to contact the local council or relevant organisation to confirm the item's listing status.

<input checked="" type="checkbox"/> Listed	<input type="checkbox"/> Not Listed	Local environmental plan (LEP) – heritage item (No.413): “Greenway”—all buildings, interiors and works, grounds, grove of approx 8 Sydney Pink Gums
<input type="checkbox"/> Listed	<input type="checkbox"/> Not Listed	LEP – heritage conservation area
<input type="checkbox"/> Listed	<input type="checkbox"/> Not Listed	Draft LEP – Draft heritage item
<input type="checkbox"/> Listed	<input type="checkbox"/> Not Listed	Draft LEP – Draft heritage conservation area
<input type="checkbox"/> Listed	<input type="checkbox"/> Not Listed	State Heritage Register (search the online heritage database)
<input checked="" type="checkbox"/> Listed	<input type="checkbox"/> Not Listed	National Trust register
<input type="checkbox"/> Listed	<input type="checkbox"/> Not Listed	Aboriginal heritage information management system
<input checked="" type="checkbox"/> Listed	<input type="checkbox"/> Not Listed	Australian Institute of Architects Register of 20th Century Architecture
<input type="checkbox"/> Listed	<input type="checkbox"/> Not Listed	National shipwreck database
<input type="checkbox"/> Listed	<input type="checkbox"/> Not Listed	Engineers Australia list
<input type="checkbox"/> Listed	<input type="checkbox"/> Not Listed	National Heritage List
<input type="checkbox"/> Listed	<input type="checkbox"/> Not Listed	Commonwealth Heritage List
<input checked="" type="checkbox"/> Listed	<input type="checkbox"/> Not Listed	Register of the National Estate
<input type="checkbox"/> Listed	<input type="checkbox"/> Not Listed	NSW government agency section 170 heritage and conservation register
Other listings (if applicable)		

G. Images

11. Image 1 – Principal image of the item or place

Please provide low resolution images to assist our understanding of the place. At least one image must be provided.

Please note that the nominator and author may be contacted by the reviewing officer and asked to provide details regarding the source of images supplied in this form. The reviewing officer may request the details of the image copyright holder in order to obtain their permission for the images to be used in the promotion and documentation of the nominated item.



Image subject* This may include the nominated item from a specific angle, or a related event, person or site.	1922 plans of Greenway by Leslie Wilkinson. Source: State Library of NSW, PXD 351, Roll 423, Folio No. 4335
Date of image* This may be an approximate date or year if the actual date is not known.	1922
Photographer, artist or creator if known	
Copyright holder, if known	1922 plans of Greenway by Leslie Wilkinson. Source: State Library of NSW, PXD 351, Roll 423, Folio No. 4335

H. Additional images

Additional images may include historical or current photographs, images of artworks, maps, etc.


12. Image 2



Image subject	Extract from page 12 of The Home, 1 March 1924, p.13
Date of image	1924
Photographer, artist or creator if known	
Copyright holder, if known	National Library of Australia (Trove)


13. Image 3

"GREENWAY" VAUCLUSE, SYDNEY The HOME




The house from the North. The cavity walls are of common brick, plastered with rough finished stucco and coloured deep cream with a pink tinge. Doors and windows of French grey contrast with green shutters. The roof is of French pattern.

Wanderlich tiles of a low red-brown tone. A feature has been made of the retention of the beautiful old angophora trees which were on the site. Built less than a year ago, the house already appears more "settled in" than many of much earlier date.



The site is an irregularly shaped corner block at the junction of Wentworth Road and Fisher Avenue. Through these wooden entrance gates from Fisher Avenue one passes through the fountain court to the main door overlooking the garden.

Page Twelve



From this terrace and loggia at the back of the house one looks down on masses of beautiful bush vegetation. Over the vaulted loggia is a large sloping verandah facing west from which is obtained a magnificent view of harbour, city, and distant mountains.

Image subject	Extract from page 12 of The Home, 1 March 1924, p.12
Date of image	1924
Photographer, artist or creator if known	
Copyright holder, if known	National Library of Australia (Trove)

14. Image 4



Image subject	Photos of Greenway from David Wilkinson thesis "Wilkinson on Wilkinson", UNSW, 1971
Date of image	Unknown
Photographer, artist or creator if known	David Wilkinson
Copyright holder, if known	David Wilkinson

15. Image 5



Image subject	Front elevation of Greenway
Date of image	April 2022
Photographer, artist or creator if known	
Copyright holder, if known	Flavia Scardamaglia (Woollahra Council)

16. Image 6

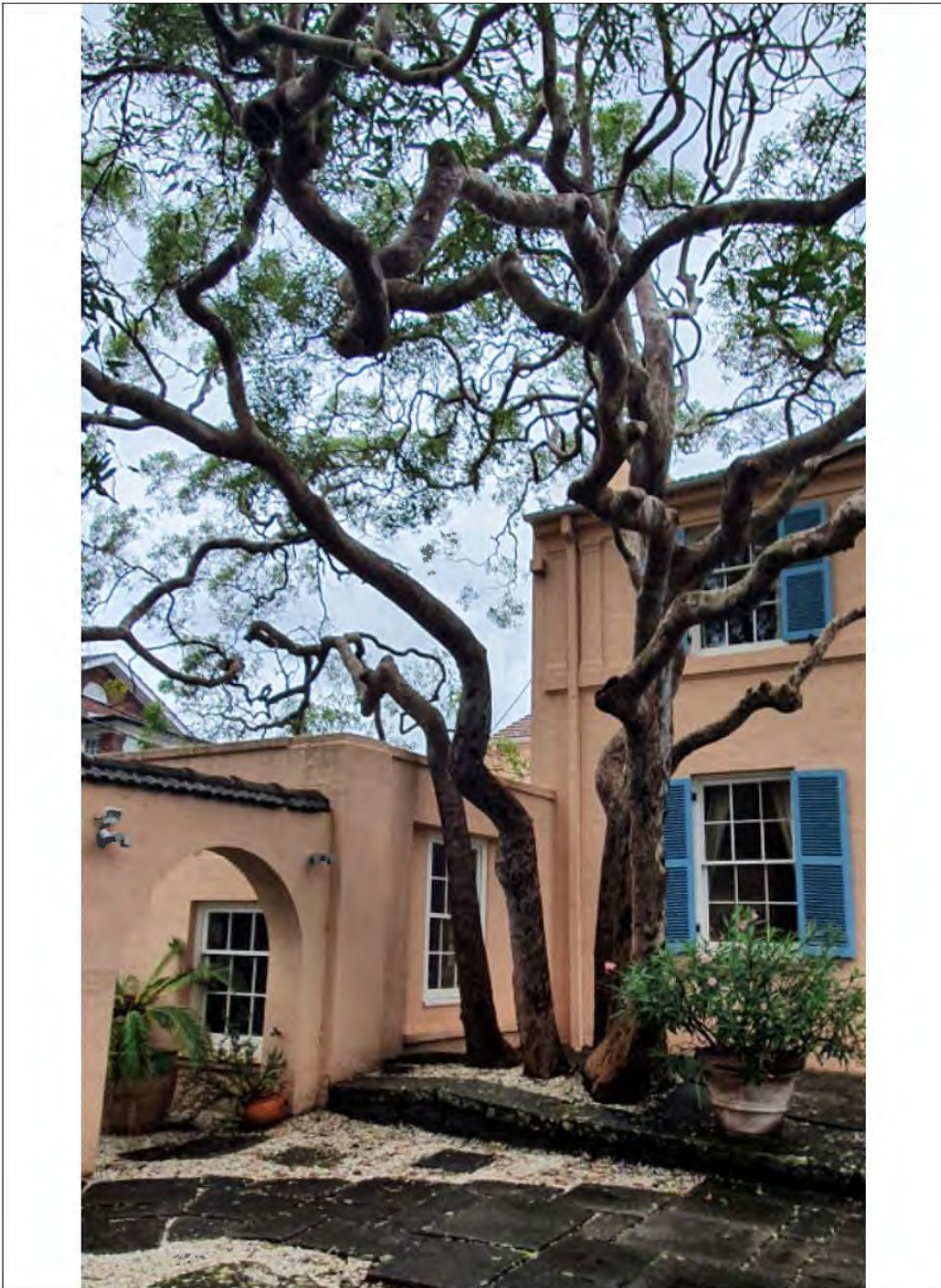


Image subject	Angophora Costata in the front garden
Date of image	April 2022
Photographer, artist or creator if known	Flavia Scardamaglia (Woollahra Council)

Copyright holder, if known	
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17. Image 7



Image subject	North facing rear wing with loggia on Tuscan columns and vaulted ceilings
Date of image	April 2022
Photographer, artist or creator if known	Flavia Scardamaglia (Woollahra Council)
Copyright holder, if known	

18. Image 8



Image subject	Vaulted ceilings of the loggia
Date of image	July 2022
Photographer, artist or creator if known	www.domain.com.au
Copyright holder, if known	Unknown

19. Image 9



Image subject	Interiors with stone fireplace
Date of image	July 2022
Photographer, artist or creator if known	www.domain.com.au
Copyright holder, if known	Unknown

20. Image 10



Image subject	Front elevation
Date of image	July 2022
Photographer, artist or creator if known	www.domain.com.au
Copyright holder, if known	Unknown

I. Nominator

21. Details of the nominator

Name*	Anne White
Organisation*	Woollahra Council
Position	Manager – Strategic Planning & Place
Contact phone number*	02 9391 7086
Address	536 New South Head Road Double Bay NSW 2028
Email	anne.white@woollahra.nsw.gov.au

22. Reasons for nomination

Background or reasons for nomination
<p>Greenway has been assessed as being of State significance for its meeting of the following criteria at State level:</p> <ul style="list-style-type: none"> - Criterion A - Criterion B - Criterion C - Criterion D - Criterion F - Criterion G

23. Nominator signature

Typed name is acceptable if an electronic signature is not available.

Name*	Anne White	Date*	22 July 2022
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J. Author

Is the nominator also the author?

Yes No

If the nominator is also the author of this form, you do not need to complete this section.

24. Primary author of this form

Name*	Flavia Scardamaglia
Organisation	Woollahra Council
Position	Senior Strategic Heritage Officer
Contact phone number*	02 9391 7084
Email*	flavia.scardamaglia@woollahra.nsw.gov.au
Address	536 New South Head Road Double Bay NSW 2028
Date completed*	July 2022

25. Author signature

Typed name is acceptable if an electronic signature is not available.

Name*	Flavia Scardamaglia	Date*	22 July 2022
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K. References

26. References used

Author*	Title*	Publisher*	Repository/location*	Year published*
Apperley, R	<i>Sydney Houses, 1914-1939</i>	Master of Architecture thesis, Sydney, University of NSW, 1972, pp.163-72	University of New South Wales	N/A
Apperly, R, Irving, R, Reynolds, P	<i>A Pictorial Guide to Identifying Australian Architecture: Styles and terms from 1788 to the present</i>	Mead & Beckett Sydney, Sydney		1989
Broomham, R.	<i>Vaucluse – Thematic History</i>		Woollahra Local History Collection	2006
Clive Lucas	<i>Wilkinson, Leslie (1883-1973)</i>	Australian Dictionary of Biography	National Centre of Biography, Australian National University	1990
Falkiner, S (ed)	<i>Leslie Wilkinson: A Practical Idealist</i> Sydney	Valadon Pub.		1982
Hickey, D	<i>Leslie Wilkinson interviewed by Denise Hickey</i>	Denise Hickey collection,	National Library of Australia	1972
Johnson D	<i>Australian Architecture 1901-51: Sources of Modernism</i>	Sydney University Press	University of Sydney	1980
Wilkinson D	<i>Wilkinson on Wilkinson,</i>	B. Arch Thesis,	University of New South Wales	1973
The Home	<i>The Terrace in The Sun</i>	vol. 9 No. 8 (1 August 1928) p.126	National Library of Australia	1928

L. Checklist

Before submitting this form, check that you have:

<input checked="" type="checkbox"/>	completed all required sections
<input checked="" type="checkbox"/>	explained why the item or place is of state significance in the statement of heritage significance
<input checked="" type="checkbox"/>	explained how one or more of the criterion has been fulfilled for listing
<input checked="" type="checkbox"/>	inserted and/or attached photographs, maps and other images in digital format
<input checked="" type="checkbox"/>	acknowledged all sources and references that have been used
<input type="checkbox"/>	Included the nominator's signature (typed name is acceptable if electronic signature is not available)
<input type="checkbox"/>	signed and dated this form (typed name is acceptable if electronic signature is not available)

The completed form and related supporting documentation should be emailed to:

heritagemailbox@environment.nsw.gov.au

If you are unable to submit via email, please post your completed form and documentation to:

Heritage NSW, Community Engagement
Department of Premier and Cabinet
Locked Bag 5020, Parramatta NSW 2124

What happens next?

Your assistance in helping to protect this State's heritage is greatly appreciated and you will be contacted if the reviewing officer has any questions. Please note that lodging a nomination form does not signify that a nomination is accepted and under assessment.

Further information

If you wish to clarify any of the requirements of a nomination, please call us on 02 9873 8500.

Planning Proposal



Local Heritage Listing: Leslie Wilkinson sites in Woollahra



Version Date:	August 2022
Division/Department:	Strategic Planning
Responsible Officer:	Flavia Scardamaglia – Senior Strategic Heritage Officer
HPE CM Record Number:	22/142987

Acknowledgement of Country

Woollahra Council acknowledges the Gadigal and Birrabirragal people, the traditional custodians of the land of Woollahra. We would like to acknowledge Aboriginal or Torres Strait Islander people and pay our respects to Elders past, present and emerging.

Cover Photo: Professor of Architecture Leslie Wilkinson on the ship Naldera, New South Wales, ca. 1930, National Library of Australia (Fairfax archive of glass plate negatives, PIC Row 14/7/5 #PIC/15611/8409)

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Supporting documents (circulated separately)

- **Heritage Study Report *Professor Leslie Wilkinson in Woollahra* dated August 2022**
- **Heritage Inventory Sheets for five sites associated with Professor Leslie Wilkinson dated August 2022**

1. Introduction

1.1. Summary

This planning proposal seeks to amend the provisions of the *Woollahra Local Environmental Plan 2014* (Woollahra LEP 2014) to include five new local heritage items in Schedule 5 and on the Heritage Map of the Woollahra LEP 2014.

All these properties have association with Professor Leslie Wilkinson.

The planning proposal is supported by a Heritage Study *Professor Leslie Wilkinson in Woollahra* and Heritage Inventory Sheets that have evaluated the heritage significance of each site and demonstrate that the relevant criteria for local heritage listing have been satisfied.

1.2. Description of this planning proposal

This planning proposal is made in relation to prominent architect professor Leslie Wilkinson's designs including the following sites:

	Item	Address	Lot/DP
1	Monument to Robert Watson, including sandstone tablet, carvings and setting	Robertson Park, 22 Military Rd, Watsons Bay	Part of Lot 7093 DP 107469
2	Hampden Lodge, including interiors and garage	12 Hampden Avenue, Darling Point	Lot 1 DP 1184885
3	House, including interiors and gardens	43 Latimer Road, Bellevue Hill	Lot A DP 312687, Lot A DP 318717, Lot 1 131019
4	House, including interiors	56 Wallaroy Road Woollahra	Lot 3 DP 17153
5	Wrought iron gate and brick posts	28A Wentworth Road, Vacluse	Part of Lot 2 DP 531931

The objective of the planning proposal is to amend the Woollahra LEP 2014 to list the above sites as local heritage items in Schedule 5. Heritage listing of this sites will ensure recognition of their significance, as well as a statutory protection through ensuring that any future proposals are assessed against the heritage provisions of the Woollahra LEP 2014.

This planning proposal has been prepared in accordance with section 3.33 of the *Environmental Planning and Assessment Act 1979* (EP&A Act) and the two documents prepared by the NSW Department of Planning and Environment titled *A Guide to Preparing Local Environmental Plans* (December 2021).

1.3. Assessments of Heritage Significance

An assessment of heritage significance was carried out by Council Staff and a copy of the report is separately attached to this planning proposal.

The assessment of heritage significance reviewed the subject sites in accordance with the document title *Assessing heritage significance*, published by the NSW Heritage Office in 2001 and *Investigating heritage significance*, published by the Heritage NSW in 2021. There are seven criteria used in the process of assessing heritage significance:

Criterion (a) – Historical significance

An item is important in the course, or pattern of NSW's cultural or natural history (or the cultural or natural history of the local area).

Criterion (b) – Associative significance

An item has strong or special association with the life or works of a person, or group of persons, of importance in NSW's cultural or natural history (or the cultural or natural history of the local area).

Criterion (c) – Aesthetic/technical significance

An item is important in demonstrating aesthetic characteristics and/or high degree of creative or technical achievement in NSW (or the local area).

Criterion (d) – Social significance

An item has strong or special association with a particular community or cultural group in NSW (or the local area) for social, cultural or spiritual reasons.

Criterion (e) – Research potential

An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area).

Criterion (f) – Rarity

An item has potential to yield information that will contribute to an understanding of NSW's cultural or natural (or the cultural or natural history of the local area).

Criterion (g) – Representative

An item is important in demonstrating the principal characteristics of NSW's

- *cultural or natural places; or*
- *cultural or natural environments.(or a class of the local area's cultural or natural places; or cultural or natural environments.)*

Each criterion has inclusion and exclusion guidelines which are used to assist in the assessment process. If an item meets one of the seven heritage criteria at a local level, and retains the integrity of its key attributes, it can be considered to have local heritage significance.

The assessment by Council staff concludes that the following sites are of **local** heritage significance.

- *Monument to Robert Watson*, including sandstone tablet, carvings and setting at Robertson Park, 22 Military Road, Watsons Bay (Part of Lot 7093 DP 107469).
- *Hampden Lodge*, including interiors and garage at 12 Hampden Avenue, Darling Point (Lot 1 DP 1184885).
- *House*, including interiors and gardens at 43 Latimer Road, Bellevue Hill (Lot A DP 312687, Lot A DP 318717 and Lot 1 131019).
- *House*, including interiors at 56 Wallaroy Road, Woollahra (Lot 3 DP 17153).

- Wrought iron gate and brick posts at 28A Wentworth Road, Vaucluse (Part of Lot 2 DP 531931)

Accordingly, it is recommended that these sites are listed in Schedule 5 and on the associated Heritage Maps of the Woollahra LEP 2014.

Below, we have included the Statement of Significance for each property.

A copy of the inventory sheets for each property, prepared by Council staff, including an assessment against all heritage criteria, is separately attached.

1.4. Statements of Heritage Significance

1.4.1. Monument to Robert Watson at Robertson Park, Watsons Bay

Erected by Vaucluse Council upon request from the Royal Australian Historical Society (RAHS), the Monument to Robert Watson has historic, associative, aesthetic, social, rarity and representative heritage significance.

Designed in 1929 by Professor Leslie Wilkinson, it demonstrates the proactive and educational role of the RAHS in erecting monuments to celebrate NSW history. It is part of a group of other monuments erected around NSW at the request of RAHS.

The monument has associative significance for its links to Professor Leslie Wilkinson. It has aesthetic significance as a sandstone carved monument with landmark qualities and aesthetically distinctive Art Deco marine carvings.

Wilkinson is a leading and influential figure in Australian architecture for having founded and led the Faculty of Architecture at Sydney University, but also for having combined neo-Georgian with Inter-War Mediterranean styles in response to the sunny Australian climate. A local resident of Vaucluse, this monument is significant as part of the body of work carried out by eminent Architect Professor Leslie Wilkinson in Woollahra between 1918 and 1971.

This monument also has associative significance for its links to Robert Watson, who arrived on the First Fleet on 26 January 1788 and was quartermaster of HMAS Sirius, signal man at South Head, pilot, harbor master and first superintendent of Macquarie lighthouse. It is believed that Watsons Bay was named after Robert Watson.

1.4.2. Hampden Lodge, 12 Hampden Avenue, Darling Point

12 Hampden Avenue, Darling Point was originally built as the stables to the 1830s Winslow mansion (which was subsequently demolished in the late 1950s). The building was constructed in the Federation period, and converted into a residence by Sydney Gilchrist in 1922 following its subdivision from Winslow.

The site is of local heritage significance for its association with Winslow and for its providing historically significant evidence of the early development of Darling Point, the Winslow mansion and the Winslow Estate.

It is also significant for its association with eminent architect Professor Leslie Wilkinson, who designed alterations additions in 1936, 1941 and 1947 for Mrs Florence Emily Nesbitt. In this instance, Wilkinson's design maintained the Federation character of this building while harmoniously adding some modest additions showing classical references.

Detailing of his restrained classicism include: pastel coloured rendered walls, wrought iron gate, decorative window grilles, bull's eye windows of the garage, voussoir archway, timber sash windows with louvered shutters, gabled tiled roof and sandstone fireplace finished with a coat of arms. Many of Hampden Lodge's significant interiors by Wilkinson can be found in the State Library drawings prepared for Mrs Nesbit.

Wilkinson is a leading and influential figure in Australian architecture for having founded and led the Faculty of Architecture at Sydney University, but also for having combined neo-Georgian with Inter-War Mediterranean styles in response to the sunny Australian climate. His Neo-Georgian detailing references classical architecture while re-interpreting it in a restrained and modern fashion that made Wilkinson one of the most influential architects of Australia.

1.4.3.43 Latimer Road Bellevue Hill

The house at 43 Latimer Road, Bellevue Hill is significant as part of the body of work carried out by eminent Architect Professor Leslie Wilkinson in Woollahra between 1923 and 1971.

Wilkinson is a leading and influential figure in Australian architecture for having founded and led the Faculty of Architecture at Sydney University, but also for having combined neo-Georgian with Inter-War Mediterranean styles in response to the sunny Australian climate. His Neo-Georgian design references classical architecture and re-interprets it in a more modern, domestic and restrained way in a fashion that made Wilkinson one of the most influential architects of Australia.

Developed on a terraced block of land, and designed to face north towards the spectacular views of Rose Bay, this house provide historical evidence of the early development of the Coopers's Bellevue Hill-Bondi Estate subdivision in the Inter-War period.

Architect John D Moore originally designed a house on the higher section of the block for Mrs F Clinton in 1925 which was subsequently built by Francis & Sons. In 1939 the new owner Mr Russell then commissioned Professor Leslie Wilkinson to design extensive alterations and additions to the house, which included a new level. These alterations and additions were constructed by builder Coleman & Kirk.

The house exhibits aesthetic significance for its Neo-Georgian /Inter-War Mediterranean influence and detailing. As an intact Inter-War Mediterranean/Neo-Georgian style house in Bellevue Hill, this house and its landscaped setting are rare in Woollahra. Internally, the house has been renovated, with original finishes having been replaced by newer ones. The original layout has been minimally modified, original doors, joineries and fireplace in the living room are noted as being fabric of significance.

43 Latimer Road is part of a group of houses that are representative of the distinct style of architecture by the prominent Australian architect Professor Leslie Wilkinson between 1918 and 1971. Wilkinson's domestic designs are mostly concentrated in Sydney's eastern suburbs, but can also be found on the North Shore and in the Southern Highlands.

1.4.4.56 Wallaroy Road, Vacluse

On a prominent and highly visible corner and built to the design of Architect Frederick George Leslie Allen for W P Gunning Esq, 56 Wallaroy Road Woollahra is historically significant as an Inter-War Mediterranean house with Spanish Mission influences evidencing the evolution of Wallaroy Road in the Woollahra suburb in the 1930s.

56 Wallaroy Road Woollahra is an aesthetically distinctive house showing Inter-War Mediterranean and Spanish Mission influences. Domestic in its siting, it is a free standing pastel rendered house with a hipped terracotta tiled roof. The entrance to Wallaroy Road is emphasised through a formal entry porch with vaulted ceilings leading to a prominent circular staircase with niche complemented by a lancet window.

The restrained classical detailing of the elevations featuring timber multi-pane sash windows with shutters, loggias, pergolas, decorative Cordova tile motifs complement the ornate detailing of the interiors, including the vaulted decorated ceilings, leadlight window detailing and intact decorative joineries. Fireplaces, original wrought iron detailing and original joineries are still intact to the ground and first floor.

56 Wallaroy Road, Woollahra is a rarely intact house showing the creative endeavour of Architect Frederick George Leslie Allen in Woollahra. It is representative of the appreciation of the Inter-War Mediterranean/Spanish Mission style in the suburb of Woollahra. 28A Wentworth Road, Vaucluse.

1.4.5. Wrought iron gate and brick posts

The wrought iron gate and brick posts at no. 28A Wentworth Road, Vaucluse are of local heritage significance as part of the body of work carried out by eminent Architect Professor Leslie Wilkinson in Woollahra between 1918 and 1971.

While being a late commission for Wilkinson, the exquisite design of this wrought iron gate is testament of the appreciation of Wilkinson's design and fame in the Eastern Suburbs where he was actively working up until his death in the 1970s. The gates were erected after his death in 1973.

Wilkinson is a leading and influential figure in Australian architecture for having founded and led the Faculty of Architecture at Sydney University, but also for having combined neo-Georgian with Inter-War Mediterranean styles in response to the sunny Australian climate. His Neo-Georgian design references classical architecture and re-interprets it in a more modern, domestic and restrained way in a fashion that made Wilkinson one of the most influential architects of Australia.

The wrought iron gate and brick posts exhibit social, aesthetic and representative significance for their decorative attractive detailing showing typical floral motifs. There are few Wilkinson houses left with the original wrought iron work.

2. Existing sites and surrounding context

2.1. Monument to Robert Watson at 22 Military Road, Watsons Bay, Robertson Park

The Monument to Robert Watson is located in the north western corner of Robertson Park in Watsons Bay, part of Lot 7093, DP 107469 (see Figures 1 & 2 below).

The monument is a dressed sandstone block with inscriptions in relief. It is flanked by pillars depicting dolphins entwined around a trident and scallop shell (left) and a chain entwined anchors (right), surmounted by a moulding comprising three sinuous lines ending in shell-like curves, all supported on a sandstone wall of rusticated blocks with flanking arms and internal seat (see Figure 3 below).

The carved inscription reads: "To commemorate Robert Watson, after whom this bay was named. Quartermaster of the HMS Sirius from 1786 to 1790, Signaling Master, South Head, 1791 to 1811, Pilot and Harbour Master 1811 to 1816, Superintendent of Macquarie Lighthouse 1818 to 1819".

For appreciation of this monument, the setting of this monument is approximately 10 metres radius surrounding the monument.



Figure 1 Cadastral map of Robertson Park, with the area circled in red identifying the monument and its setting (Source: Woollahra MAPS).



Figure 2 current aerial photograph of Robertson Park in Watsons Bay. The area including the Monument to Robert Watson is in the western corner identified with a circle (Source: Woollahra MAPS)



Figure 3: Monument to Robert Watson, west elevation looking east



Figure 4: Carving designed by Leslie Wilkinson



Figure 5: Carving designed by Leslie Wilkinson



Figure 6 eastern elevation of the Monument to Robert Watson looking west

2.2. Hampden Lodge, 12 Hampden Avenue, Darling Point

This is a single storey building built on a rock sandstone base with terracotta pitched roof with eaves and timber double hung sash windows with blue painted Venetian shutters. It features some rustic simple detailing such as a timber screen in the timber gable (originally with finial), window sills on timber brackets and chimney with chimney pot.

The site is accessed through a voussoir arch with wrought iron gate and a single storey garage with a flat parapet roof. The 1941 garage has bull's eye windows with wrought iron grilles to the north elevation.

This site is legally identified on Lot 1 DP 1184885.



Figure 7 Cadastral map of the area occupied by Hampden Lodge (Source: Woollahra MAPS)

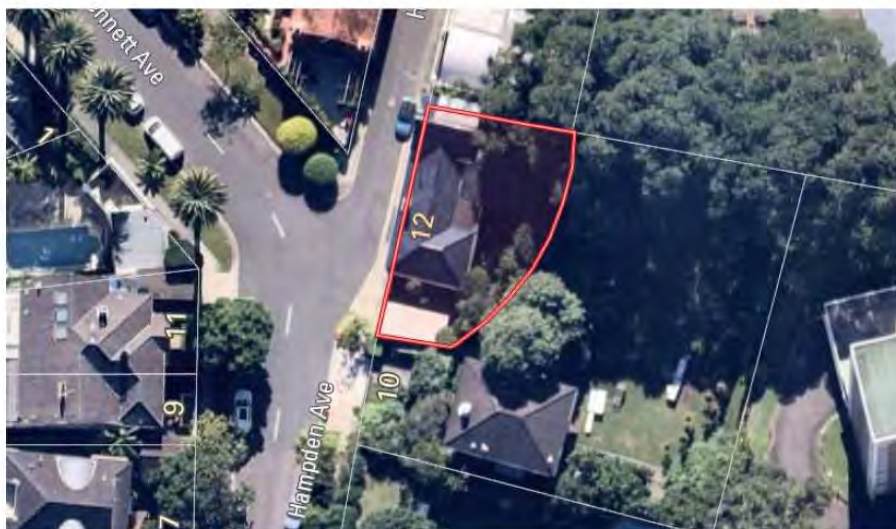


Figure 8 Aerial view of the area occupied by Hampden Lodge (Source: Woollahra MAPS)



Figure 9 View of the main entrance (voussoir arch) to Hampden Lodge



Figure 10 View of Hampden Lodge from Hampden Avenue.



Figure 11 View of the internal courtyard with the garage to the right and grilles to the bull's eye windows



Figure 12 View of the internal fireplace with coat of arms



Figure 13 View of the front door with entablature. This details matches the State Library drawings.

2.3. 43 Latimer Road Bellevue Hill

Located on a battle-axe allotment accessed from Latimer Road and Vista Lane, this is a two-storey house with terracotta gabled roof, timber double hung sash windows, north facing front elevation with loggia in a terraced block of land overlooking Rose Bay.

To the rear is a single storey garage accessed from Vista Lane. The house is set within a substantially landscaped and terraced garden. Sandstone walls for the terraces and a sandstone water fountain to the lower terrace form part of the setting of the house.

Internally, the house has been renovated, with previous finishes having been replaced by newer ones. The original layout has been minimally modified, original doors, joineries and fireplace in the living room.

This site is legally identified as Lot A DP 312687, Lot A DP 318717 and Lot 1 DP 131019



Figure 14 Cadastral description of 43 Latimer Road, Bellevue Hill (Source: Woollahra MAPS)



Figure 15 Aerial photo of 43 Latimer Road, Bellevue Hill



Figure 16 43 Latimer Road, Bellevue Hill within its landscaped grounds



Figure 17 North elevation of 43 Latimer Road, Bellevue Hill



Figure 18 North facing loggia with doric columns and entablature



Figure 19 Fireplace in the living room

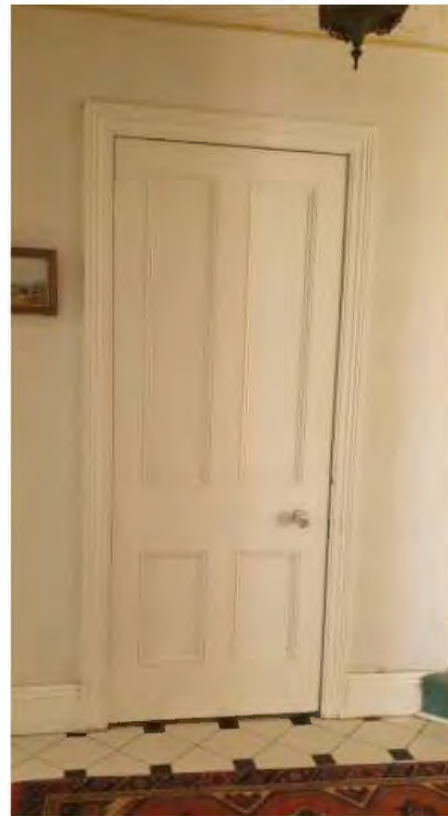


Figure 20 One of the original doors



Figure 21 Timber staircase



Figure 22 Bull's eye window



Figure 23 Ground floor hall

2.4. 56 Wallaroy Road, Vacluse

This site is a two storey rendered house located on a prominent corner block facing Wallaroy and Glencoe Road. Two garages are located on the Glencoe Road, while the main pedestrian entry is from an arched timber and masonry gate that is original to the house era.

The garden is laid on terraces with swimming pool to the lowest north-eastern corner. A masonry wall with another arched door leads to the upper level of the garden and rear courtyard area.

A formal entry porch on steps and side statues leads to the front door, which protrudes from the main elevation. The northern elevation features two inset gables with typical Cordova tile motifs and an enclosed sleep over.

The subject site is legally identified as Lot 3 DP 17153.



Figure 24 Cadastral description of (Source: Woollahra MAPS)



Figure 25 Aerial photo of 56 Wallaroy Road, Woollahra (Source: Woollahra MAPS)



Figure 26 House from a real estate brochure by Laing & Simmons (undated)



Figure 27 Eastern elevation of 56 Wallaroy Road Woollahra (Source: www.realestate.com.au)



Figure 28 Interiors of 56 Wallaroy Road, Woollahra. Note the windows and the ornate ceilings. (Source: www.realestate.com.au)



Figure 29 Fireplace, decorated windows and ornated cornices in the living room. (Source: www.realestate.com.au)



Figure 30 Vaulted ceiling in the main hallway



Figure 31 View of the internal circular staircase with niche and alcove window

2.5. Wrought iron gate and brick posts at 28A Wentworth Road, Vacluse

The wrought iron gate and brick posts at 28A Wentworth Road, Vacluse were designed by Professor Leslie Wilkinson in 1973 for Dr A L Mather.

The main property is set in a battle axe allotment on Wentworth Road accessed through a right of way. It is legally identified as Lot 2 DP 531931.

The house is a two storey rendered masonry building with a hipped, tiled roof and wide eaves. There is an off-set projecting arched entrance porch on the front elevation and a projecting single storey, hipped-roofed, wing to one side.



Figure 32 Cadastral description of (Source: Woollahra MAPS)



Figure 33 aerial photo of 28A Wentworth Road, Vacluse (Source: Woollahra MAPS)



Figure 34 Wrought iron gate designed by Professor Leslie Wilkinson



Figure 35 Extract from BA1274/1973 showing the wrought iron front gate and fence designed by Leslie Wilkinson (Source: Woollahra Records)

3. Existing planning controls

3.1. Woollahra Local Environmental Plan 2014

All sites are subject to the existing planning controls of the Woollahra LEP 2014. The current development standards that apply to the land under the Woollahra LEP 2014 are summarised as follows:

Table 2: Summary of current development standards

	Zone	Maximum building height (m)	Floor space ratio
Monument to Robert Watson, Robertson Park	RE1 Public Recreation zone	N/A	N/A
Hampden Lodge, 12 Hampden Avenue, Darling Point	R3 Medium Density Residential Zone	13.5	0.9
43 Latimer Road, Bellevue Hill	R2 Low Density Residential Zone	9.5	N/A
56 Wallaroy Road Woollahra	R2 Low Density Residential Zone	9.5	N/A
28A Wentworth Road, Vaucluse	R2 Low Density Residential Zone	9.5	N/A

3.1.1. Zoning Objectives

The objectives of the R2 Low Density Residential zone are as follows:

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To provide for development that is compatible with the character and amenity of the surrounding neighbourhood.
- To ensure that development is of a height and scale that achieves the desired future character of the neighbourhood.

The objectives of the R3 Medium Density Residential zone are as follows:

- To provide for the housing needs of the community within a medium density residential environment.
- To provide a variety of housing types within a medium density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To ensure that development is of a height and scale that achieves the desired future character of the neighbourhood.

The objectives of the RE1 Public Recreation zone are as follows:

- To enable land to be used for public open space or recreational purposes.
- To provide a range of recreational settings and activities and compatible land uses.

- *To protect and enhance the natural environment for recreational purposes.*

No changes to the principal development standards currently applicable to the sites under the Woollahra LEP 2014 are proposed to change under this planning proposal.

The land is not currently identified in the Woollahra LEP 2014 as containing any items of **heritage** significance.

All properties are identified under the Woollahra LEP 2014 as potentially containing Class 5 acid sulfate soils, with the exception of the Monument to Robert Watson which is partially identified as Class 2.

The lands are not known to be subject to any other environmental constraints.

3.2. Woollahra Development Control Plan 2015

The *Woollahra Development Control Plan 2015* (Woollahra DCP 2015) applies to the subject sites. Any development proposals either on one of the sites or on adjoining sites are required to address any relevant Woollahra DCP 2015 controls.

The proposed listing of these sites as heritage items as requested in this Planning Proposal is generally consistent with the provisions of the Woollahra DCP 2015 and will not impact on its continued application.

4. Objectives of planning proposal

The objective of the amendment to Woollahra LEP 2014 is to recognise the heritage significance of five sites in Woollahra and provide them with statutory heritage protection. Heritage listing of these properties aims to ensure the recognition of their significance, as well as protection through ensuring any future modification proposals are assessed against heritage provisions in the Woollahra LEP 2014.

Item	Address
<i>Monument to Robert Watson, Robertson Park</i>	22 Military Road, Watsons Bay, Robertson Park
<i>Hampden Lodge, house, including interiors and garage</i>	12 Hampden Avenue, Darling Point
House, including interiors and gardens	43 Latimer Road, Bellevue Hill
House, including interiors and garage	56 Wallaroy Road Woollahra
Wrought iron gate and brick posts	28A Wentworth Road, Vaucluse

5. Explanation of provisions

The planning proposal seeks the following amendments to Woollahra LEP 2014:

- Insert a listing for each site in Part 1 (Heritage Items) of Schedule 5 (Environmental Heritage).
[The exact wording of the amendment will be determined by the Parliamentary Counsel prior to the making of the LEP].
- Amend the Heritage Maps to identify five additional heritage items.

6. Justification

The planning proposal has strategic merit. The key reason for amending the Woollahra LEP 2014 is that the heritage listing of five sites, associated with prominent architect Leslie Wilkinson, will ensure their significance is recognised and their ongoing conservation is implemented.

These matters are further discussed below in part 6.1 to 6.3.

6.1. Need for planning proposal

1. Is the planning proposal a result of an endorsed local strategic planning statement, strategic study or report?

Yes. The planning proposal is the result of the recommendations found in the heritage study report *Professor Leslie Wilkinson in Woollahra* and Heritage Inventory Sheets prepared by Council's Senior Strategic Heritage Officer. The report concluded that five sites meet the criteria for listing as local heritage items.

2. Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

Yes. The objective is to recognise the heritage significance of all five sites and provide them with statutory heritage protection. The best means of achieving this objective is through an amendment to Woollahra LEP 2014 to list the sites as local heritage items. This is achieved through the planning proposal process.

Other options, such as adding site-specific objectives and controls to the Woollahra DCP 2015, or including heritage conservation conditions to a potential development consent will not provide the same level of heritage protection and recognition.

6.2. Relationship to strategic planning framework

3. Will the planning proposal give effect to the objectives and actions of the applicable regional or district plan or strategy (including exhibited draft plans or strategies)?

Yes. The planning proposal is consistent with the relevant objectives of the *Greater Sydney Region Plan: A Metropolis of Three Cities* (2018) and the relevant planning priorities and actions of the *Eastern City District Plan* (2018), as discussed below.

Greater Sydney Region Plan: A Metropolis of Three Cities

The planning proposal is consistent with the directions and objectives of *Greater Sydney Regional Plan: A Metropolis of Three Cities*, particularly Objective 13: "Environmental heritage is identified, conserved and enhanced".

Identifying these five sites as local heritage items will provide ongoing protection and recognition of their heritage significance.

Eastern City District Plan

The planning proposal is generally consistent with the directions, priorities and objectives of the *Eastern City District Plan*, particularly Planning Priority E6 and Action 20:

Planning Priority E6 Creating and renewing great places and local centres, and respecting the District's heritage

Objective 13 'Environmental heritage is identified, conserved and enhanced'

Action 20 'Identifying, conserving and enhancing the environmental heritage of the local area' through:

- a. engaging with the community early to understand heritage values
- b. applying adaptive re-use and interpreting heritage to foster distinctive local places managing and monitoring the cumulative impact of development on the heritage values and character of places

Heritage listing of these five sites will provide ongoing protection and recognition of the heritage significance of these items.

4. Will the planning proposal give effect to a Council's endorsed local strategic planning statement, or another endorsed local strategy or strategic plan?

Woollahra Local Strategic Planning Statement

Planning Priority 5 of the Woollahra Local Strategic Planning Statement is relevant:

Planning Priority 5 Conserving our rich and diverse heritage

In particular Actions 28 and 30 of this planning priority seek to ensure that heritage is conserved and that the LEP and DCP reflect the evolving nature of heritage:

28. *Continue to proactively conserve and monitor heritage in the Municipality including:*

- *reviewing and updating provisions in Woollahra Local Environmental Plan 2014 and Woollahra Development Control Plan 2015*
- *sustainably managing visitation to our heritage conservation areas and destinations*
- *promoting a high standard of urban design in both the public and private domain that respects and communicates with heritage and our heritage conservation areas*
- *supporting implementation of legislation for Aboriginal Heritage.*

30. *Undertake further theme-based Municipality-wide studies, with consideration for the fact that heritage is constantly evolving.*

Community Strategic Plan, Woollahra 2032

The planning proposal is consistent with *Woollahra 2032 – Community Strategic Plan*. Notably, the planning proposal meets the following strategy within Goal 4 (Well planned neighbourhoods) under the Social theme:

4.2 Conserving our rich and diverse heritage

Heritage listing of these five sites will provide ongoing protection and recognition of the heritage significance of these items, consistent with these local strategies.

5. Is the planning proposal consistent with any other applicable State and regional studies or strategies?

Yes. The planning proposal is consistent with other relevant State or regional study or strategy.

6. Is the planning proposal consistent with applicable State Environmental Planning Policies?

Yes. The planning proposal is consistent with the *Standard Instrument – Principal Local Environmental Plan* and all other applicable State Environmental Planning Policies (refer to **Schedule 1**).

7. Is the planning proposal consistent with applicable Ministerial Directions (s.9.1 directions)?

Yes. The planning proposal is consistent with applicable section 9.1 directions (refer to **Schedule 2**).

6.3. Environmental, social and economic impact

8. Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?

No. There are no critical habitat areas, threatened species, populations or ecological communities or their habitats present on the subject land. Accordingly, the proposal will not have any impact in this regard.

9. Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?

No. There are no likely environmental effects that would arise as a result of the planning proposal. Protection of the items will be required when development is proposed, or if there is development proposed in its vicinity. Protection measures are not likely to result in environmental harm and will be managed through the development assessment process.

10. Has the planning proposal adequately addressed any social and economic effects?

Yes. The heritage assessments measured five properties against the criteria for 'cultural significance' as defined in the *Australia ICOMOS Burra Charter*, as meaning the aesthetic, historic, scientific, social or spiritual value for past, present or future generations.

The assessment found that these five sites meet a number of heritage criteria at a local level. While the planning proposal does not have any direct economic effect, it has some

social impact for the local community that appreciates and enjoys local heritage in Woollahra.

6.4. State and Commonwealth interests

11. Is there adequate public infrastructure for the planning proposal?

Yes. The planning proposal involves the local heritage listing of five sites and does not involve amendments to the planning controls that will facilitate intensified development.

Currently, both properties have access to adequate public infrastructure such as water, sewer, electricity and telephone services.

There is no significant infrastructure demand that will result from the planning proposal. The existing services that are available to the site are suitable for the proposal of a local heritage listing in a residential zone.

12. What are the views of State and Commonwealth public authorities consulted in accordance with the gateway determination?

Should the planning proposal proceed to public exhibition, consultation with the relevant public authorities will be carried out. These authorities will include, but are not limited to:

- Heritage NSW
- The National Trust of Australia (NSW).

Further consultation will take place with any other authorities identified by the Gateway Determination.

7. Mapping

The planning proposal seeks to amend the Woollahra LEP 2014 Heritage Maps (Sheets 8500_COM_HER_004, 8500_COM_HER_002, 8500_COM_HER_003D, 8500_COM_HER_003A and 8500_COM_HER_005) by applying an “Item-General” classification to the following sites:

An extract of the existing and proposed heritage maps are shown below. It should be noted that the heritage item numbers as shown are indicative only and will be subject to confirmation at the finalisation stage

	Item	Address	Lot/DP
1	Monument to Robert Watson, including sandstone tablet, carvings and setting	22 Military Rd, Watsons Bay, Robertson Park	Part of Lot 7093 DP 107469
2	Hampden Lodge, including interiors and garage	12 Hampden Avenue, Darling Point	Lot 1 DP 1184885
3	House, including interiors and gardens	43 Latimer Road, Bellevue Hill	Lot A DP 312687, Lot A DP 318717, Lot 1 131019
4	House, including interiors	56 Wallaroy Road Woollahra	Lot 3 DP 17153
5	Wrought iron gate and brick posts	28A Wentworth Road, Vaucluse	Part of Lot 2 DP 531931

An extract of the existing and proposed heritage maps are shown in the following figures.

Monument to Robert Watson at Robertson Park, Watsons Bay

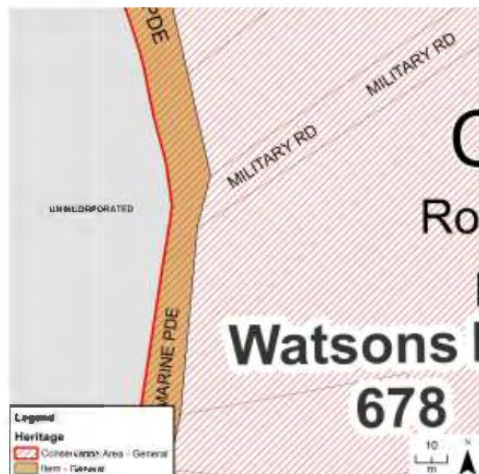


Figure 36 Extract from existing Woollahra LEP 2014 Heritage Map (Sheet 8500_HER_COM_004)

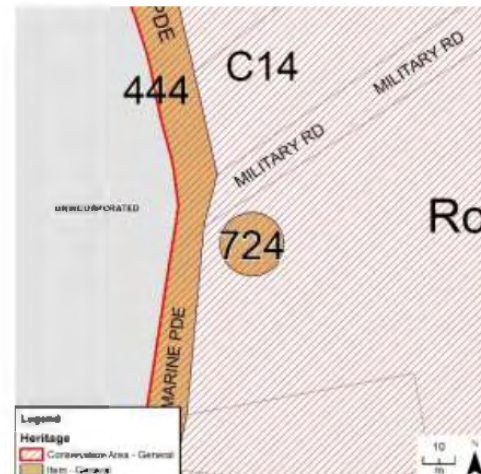


Figure 37 Extract from proposed Woollahra LEP 2014 Heritage Map (Sheet 8500_HER_COM_004)

Hampden Lodge, 12 Hampden Avenue, Darling Point



Figure 38 Extract from existing Woollahra LEP 2014 Heritage Map (Sheet 8500_HER_COM_002)

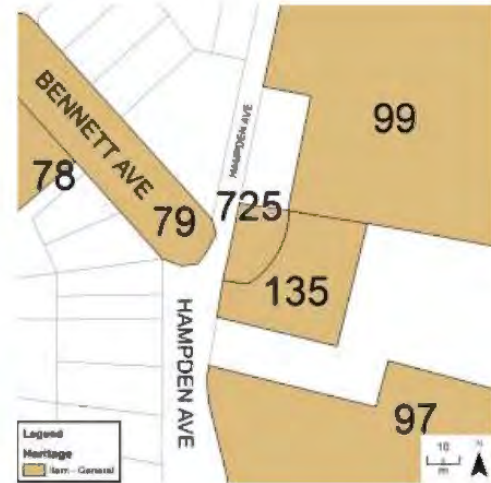


Figure 39 Extract from proposed Woollahra LEP 2014 Heritage Map (Sheet 8500_HER_COM_002)

43 Latimer Road, Bellevue Hill



Figure 40 Extract from existing Woollahra LEP 2014 Heritage Map (Sheet 8500_HER_COM_003D)



Figure 41 Extract from proposed Woollahra LEP 2014 Heritage Map (Sheet 8500_HER_COM_003D)

56 Wallaroy Road, Vacluse

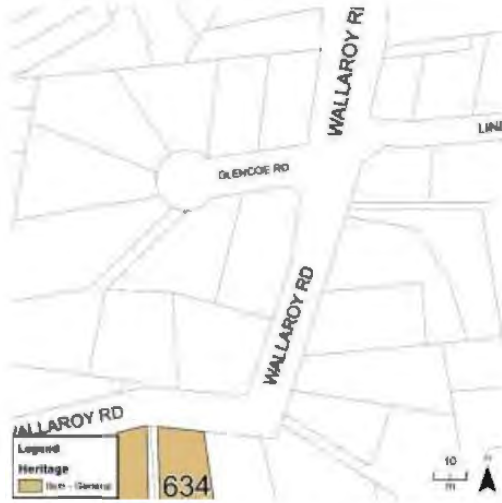


Figure 42 Extract from existing Woollahra LEP 2014 Heritage Map (Sheet 8500_HER_COM_003A)

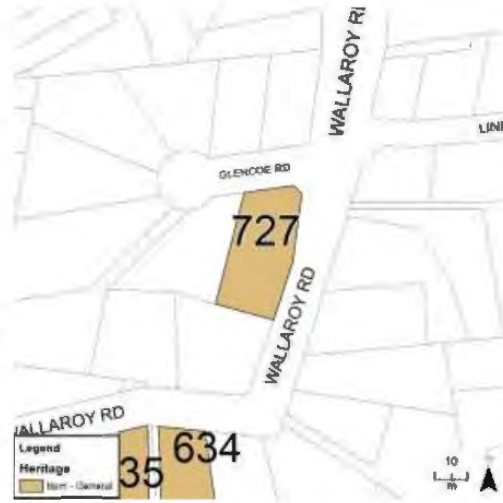


Figure 43 Extract from proposed Woollahra LEP 2014 Heritage Map (Sheet 8500_HER_COM_003A)

Wrought Iron Gate and Brick Posts at 28A Wentworth Road, Vacluse



Figure 44 Extract from existing Woollahra LEP 2014 Heritage Map (Sheet 8500_HER_COM_005)



Figure 45 Extract from proposed Woollahra LEP 2014 Heritage Map (Sheet 8500_HER_COM_005)

8. Community consultation

Public exhibition will be undertaken in accordance with the requirements of the Act and the *Environmental Planning and Assessment Regulation 2021*. It will also have regard to the other relevant plans and guidelines including the *Community Participation Plan 2019*, the *Local Environmental Plan Making Guideline (2021)* and any conditions of the Gateway Determination.

We recommend that the planning proposal is exhibited for a minimum of 28 days.

Public notification of the exhibition will comprise:

- weekly notice in the local newspaper (the *Wentworth Courier*) for the duration of the exhibition period, when a hardcopy version of that newspaper is being published.
- a notice on Council's website.
- a letter to land owners in the vicinity of each site, which will include every landowner in the Centre.
- notice to local community, resident and business groups such as the Woollahra History and Heritage Society, the Darling Point Society, the Vaucluse Progress Association and the Watsons Bay Association.

During the exhibition period the following material will be available on Council's website and in the customer service area at Woollahra Council offices:

- the planning proposal, in the form approved by the gateway determination.
- the Gateway determination.
- information relied upon by the planning proposal (such as relevant Council reports).
- Woollahra LEP 2014.
- Section 9.1 Directions.

9. Project timeline

As Council is authorised to exercise the functions of the Minister for Planning under section 3.36 of the *Environmental Planning and Assessment Act 1979*, the proposed timeline for completion is as follows:

Plan-making step	Estimated completion
Environmental Planning Committee recommends proceeding	4 October 2022
Council resolution to proceed	24 October 2022
Gateway determination	Mid December 2022
Completion of technical assessment	Usually none required
Government agency consultation	February 2023
Public exhibition period	Same time as agency consultation
Submissions assessment	April 2023
Council assessment of planning proposal post exhibition	May 2023
Council decision to make the LEP amendment	May 2023
Council to liaise with Parliamentary Counsel to prepare LEP amendment	June 2023
Forwarding of LEP amendment to Greater Sydney Commission and Department of Planning and Environment for notification	July 2023
Notification of the approved LEP	September 2023

Schedules

Schedule 1 – Consistency with State Environmental Planning Policies (SEPPs)

State environmental planning policy	Comment on consistency
SEPP (Biodiversity and Conservation) 2021	Applicable Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Building Sustainability Index: BASIX) 2004	Applicable Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Exempt and Complying Development Codes) 2008	Applicable Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Housing) 2021	Applicable Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Industry and Employment) 2021	Applicable Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP No.65 – Design Quality of Residential Apartment Development	Applicable Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Planning Systems) 2021	Applicable Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Precincts – Central River City) 2021	Not applicable.
SEPP (Precincts – Eastern Harbour City) 2021	Applicable There are currently no identified state significant precincts located in the Woollahra LGA.

State environmental planning policy	Comment on consistency
SEPP (Precincts – Regional) 2021	Not applicable.
SEPP (Precincts – Western Parkland City) 2021	Not applicable.
SEPP (Primary Production) 2021	Applicable Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Resilience and Hazards) 2021	Applicable Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Resources and Energy) 2021	Applicable Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.
SEPP (Transport and Infrastructure) 2021	Applicable Consistent. The planning proposal does not contain a provision which is contrary to the operation of this policy.

Schedule 2 – Compliance with section 9.1 directions

Planning proposal – Compliance with section 9.1 directions		
Direction		Applicable/comment
1	Planning systems	
1.1	Implementation of Regional Plans	Applicable. The planning proposal is consistent with the objectives of the <i>Greater Sydney Regional Plan: A Metropolis of Three Cities</i> , particularly Objective 13: Environmental Heritage is identified, conserved and enhanced. The heritage listing of these five properties will provide ongoing protection of the heritage significance of these items. Refer to Schedule 1 of this report.
1.2	Development of Aboriginal Land Council land	Not applicable. This planning proposal does not affect Aboriginal Land Council Land.
1.3	Approval and referral requirements	The planning proposal seeks to heritage list five properties in the Woollahra Local Government Area. This is not expected to require any additional approval or referral requirements. The planning proposal is consistent with this direction.
1.4	Site specific provisions	The planning proposal does not contain any unnecessarily restrictive site specific planning controls. The planning proposal is consistent with the direction
1	Planning systems – place based	
1.5 – 1.17	Implementation Plans	Not applicable. These plans do not apply to the Woollahra LGA.
2	Design and place	
3	Biodiversity and conservation	
3.1	Conservation zones	Applicable and consistent. The planning proposal will not affect the conservation standards of any environmentally sensitive land.
3.2	Heritage conservation	Applicable and consistent. The planning proposal will not affect the significance of places with environmental heritage. Heritage listing of five properties in Woollahra will provide ongoing protection and recognition of the heritage significance of these properties.

Planning proposal – Compliance with section 9.1 directions		
Direction		Applicable/comment
3.3	Sydney drinking water catchments	Not applicable. This direction does not apply to the Woollahra LGA.
3.4	Application of C2 and C3 zones and environmental overlays in Far North Coast LEPs	Not applicable. This direction does not apply to the Woollahra LGA.
3.5	Recreation vehicle areas	Not applicable. The planning proposal does not apply to sensitive land or land with significant conservation values. It will not allow land to be developed for a recreation vehicle area.
4	Resilience and hazards	
4.1	Flooding	Applicable and consistent. The planning proposal will not rezone flood liable land or affect the application of controls that ensure that development on flood liable land will not result in risk to life or damage to property. The planning proposal is consistent with the direction.
4.2	Coastal management	Not applicable. The planning proposal will not affect land in a coastal zone.
4.3	Planning for bushfire protection	Not applicable. The planning proposal will not affect bushfire prone land.
4.4	Remediation of contaminated land	Applicable. Consistent. The planning proposal does not contain a provision which is contrary to this direction.
4.5	Acid sulfate soils	Applicable and consistent. Existing acid sulfate soils provisions will not be altered by the planning proposal.
4.6	Mine subsidence and unstable land	Not applicable. The planning proposal does not apply to land within a proclaimed Mine Subsidence District or to land identified as unstable.
5	Transport and infrastructure	
5.1	Integrating land use and transport	Applicable. Consistent. The planning proposal does not contain a provision which is contrary to the aims, objectives and principles of: <ul style="list-style-type: none"> • <i>Improving Transport Choice – Guidelines for planning and development</i> (DUAP 2001), and • <i>The Right Place for Business and Services – Planning Policy</i> (DUAP 2001).

Planning proposal – Compliance with section 9.1 directions		
Direction		Applicable/comment
5.2	Reserving land for public purposes	The planning proposal does not amend reservations of land for public purposes. The planning proposal is consistent with the direction
5.3	Development near regulated airport and defence airfields	Applicable and consistent. The planning proposal does not contain a provision which is contrary to this direction.
5.4	Shooting ranges	Not applicable. The planning proposal does not apply to land adjacent to or adjoining an existing shooting range.
6	Housing	
6.1	Residential zones	Applicable. Consistent. The planning proposal does not contain a provision which is contrary to the operation of this direction
6.2	Caravan parks and manufactured home estates	The planning proposal will not affect any caravan parks or manufactured housing estates.
7	Industry and employment	
7.1	Business and industrial zones	Not applicable. The direction does not apply where sites are zoned for business or industry
7.2	Reduction in non-hosted short-term rental accommodation period	Not applicable. This direction does not apply to the Woollahra LGA.
7.3	Commercial and retail development along the Pacific Highway, North Coast	Not applicable. This direction does not apply to the Woollahra LGA.
8	Resources and energy	
8.1	Mining, petroleum production and extractive industries	Not applicable. This planning proposal will not affect any of the nominated activities.
9	Primary production	
9.1	Rural zones	Not applicable. This planning proposal will not affect any rural zones.
9.2	Rural lands	Not applicable. This planning proposal will not affect any rural lands.
9.3	Oyster aquaculture	Not applicable. This planning proposal will not affect any Priority Oyster Aquaculture Areas.

Planning proposal – Compliance with section 9.1 directions		
Direction		Applicable/comment
9.4	Farmland of state and regional significance on the NSW Far North Coast	Not applicable. This direction does not apply to the Woollahra LGA.

Key Consultation Milestones and Correspondence with owners and/or representatives

		Monument to Robert Watson at Robertson Park, Watsons Bay	Hampden Lodge at 12 Hampden Avenue, Darling Point	43 Latimer Road, Bellevue Hill	56 Wallaroy Road, Woollahra	Wrought iron gate and brick posts at 28A Wentworth Road, Vaucluse	Greenway at 24 Wentworth Road, Vaucluse
A	Notification of study and request for inspection (9-Mar-22 and 18-Mar-22)	✓	✓	✓	✓	✓	✓
B	Site inspection	15 February 2022	22 June 2022	22 March 2022	28 March 2022	25 March 2022	31 March 2022
C	Draft heritage assessments circulated (22-Jul-22)	✓	✓	✓	✓	✓	✓
D	Submissions received	In Support	9-Aug-22 Email in support	17 August 2022 Heritage Consultant Letter of objection	19 August 2022 Email in support	20 August 2022 Email with no objection	Letter in objection to be submitted
E	Notification of 1 Sept Woollahra LPP meeting	✓	✓	✓	✓	✓	✓

 : Responses from owners
 : Notification from Council

From: [lawrence mike](#)
To: [Records](#)
Subject: Attention: Flavia Scardamaglia re heritage study for 12 Hampden Avenue Darling Point
Date: Tuesday, 9 August 2022 10:05:29 AM

Hi Flavia

It was good to chat to you this morning. As the trustee for the Trust which is the owner of the above property, I am in favour of its heritage listing as a means to preserve this most interesting property.

I appreciate your checking the date of the demolition of the Winslow mansion stated in your report as 1967. Having grown up in 10 Hampden Avenue my memory is that the date of the demolition was about 1960. But the Council records will doubtless have the exact figure.

Regards

Michael Lawrence
■ Wiston Gardens
Double Bay 2028

17 August 2022

The General Manager
Woollahra Municipal Council
PO Box 61
DOUBLE BAY NSW 1360

Attn Ms Anne White
Manager - Strategic Planning and Place

Dear Sirs

**OBJECTION: PROPOSED HERITAGE LISTING
43 LATIMER ROAD, BELLEVUE HILL**

Council ref SC2682, Letter dated 22 July 2022

BACKGROUND

On behalf of our client, Dr R G Talbot, we have pleasure in providing this Objection to the proposed heritage listing of their property on Schedule 5 of Woollahra LEP 2014.

In preparing this Objection I have read carefully through the draft Heritage Inventory Form prepared by Council staff and undertaken an in-depth inspection of the subject property, including reviewing the properties identified in the Inventory Form as comparative examples. I also drew on my deep understanding of the environmental heritage of Woollahra, developed over many decades, including a very large number of projects undertaken for Council, for property owners and for appeals in the Land and Environment Court.

I have also utilised the NSW Heritage Council's publication *Assessing Heritage Significance* for many historic properties throughout the Sydney Metropolitan area and elsewhere in NSW. This document provided the framework for the subject examination by Council officers and set out the expected analytical discipline required before any historic place can be justified for inclusion in Woollahra LEP 2014, Schedule 5.

UNDERSTANDING THE HOUSE

The architectural drawings from 1929, by John D Moore and 1939 by Leslie Wilkinson, provide a strong basis for how the building was expanded by Wilkinson and how he retained much of the planning layout from the early cottage. They reveal that the 1939 additions primarily comprised the addition of a full second storey over the northern part of the earlier house, including building over the formerly open central courtyard in what was a "U" shaped house plan, and a sweeping roof down to the rear portion of the original house. The new upper floor was accessed via a new rear stairwell with adjoining upper level bathroom, which projected through the new gabled sloping rear roof. Small single storey additions were made to the east and



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█
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Nominated Architect
Graham Leslie Brooks
NSW A.R.B. 3836

GBA Heritage Pty Ltd
Incorporated in NSW



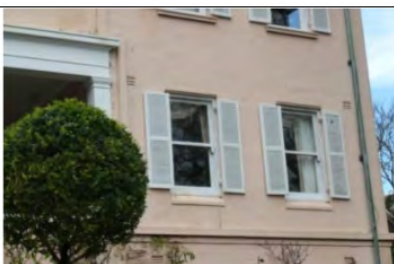
ACN 073 802 730
ABN 56 073 802 730

west sides of the house and the rear garage was extended to the laneway frontage, while a new free standing laundry was added to the rear yard.

Wilkinson's alterations respected the architectural organisation of the northern front elevation, with its central courtyard and symmetrical pattern of windows. He replaced the two posts supporting the verandah roof at the rear of the original elevated courtyard with two classical style columns supporting the upper floor to create a loggia, reinforcing the composition with a decorative architrave set against the expanded façade, to create a Mediterranean style imagery for the enlarged house. Unlike his more prominent architectural compositions, Wilkinson did not add any colonnaded wings that were one of his favourite devices to define new external living courtyards, or create a defining rendered string course to compose the junction between upper and lower floors. The only noticeable demonstration of Wilkinson's involvement after the original architect is his use of a different external window sill detail on the upper level windows.

The final one and a half storey architectural composition of the expanded house, with its strong gabled expression, to my experienced eye, is of a typical rural farmhouse in southern France. This house sits in comparison to many of his more notable works around Sydney and in particular Woollahra, with their full two-storey complex roof compositions and semi enclosed external spaces defined by classical columns supporting cross vaulted loggias. In short, the existing house presents as a very economical upgrading of an existing house on its quite restricted but elevated position in the southern part of the overall garden.

There is little physical or documentary evidence contained in the Inventory Sheet or on site to indicate that Wilkinson made any changes to the northern landscaping.

	<p><i>Fig 1</i> The combined northern elevation of the house, as expanded by Prof Leslie Wilkinson some 13 years after John D Moore erected a small single storey "U" shaped cottage.</p> <p>The deep "loggia" resulted from the original deep courtyard of the single storey cottage. Wilkinson added the flush classical entablature and two supporting columns to support the upper floor.</p>
	<p><i>Fig 2</i> The upper level windows have a slightly more decorative projecting sill, demonstrating one of the few architectural trim details utilised by Wilkinson.</p>
	<p><i>Fig 3</i> The simpler projecting sill of the ground floor windows, installed by John D Moore.</p>

	<p><i>Fig 4</i> The recessed verandah was part of the 1925 cottage design by John D Moore, at which time it was open to the sky and the entry door was protected by a small verandah roof.</p>
	<p><i>Fig 5</i> When Wilkinson added the upper floor in 1939, he retained the deep verandah but enclosed it with a flat ceiling and installed the two classical columns to frame the outward view.</p>
	<p><i>Fig 6</i> The long sweeping roof between the two storey cross ridge and the single storey rear rooms demonstrates a Provencal farmhouse imagery, quite different from Wilkinson's more typical full two storey massing and single storey loggia.</p> <p>The low roof space at the rear of the house contains storage areas.</p>
	<p><i>Fig 7</i> The two storey section projecting from the sweeping roof profile contains the internal stair and an upper level bathroom.</p>

REVIEW OF COUNCIL'S HERITAGE ASSESSMENT

Criterion A – Historical Significance

Heritage Listing requires that:

An item is important in the course or pattern of the local area's cultural or natural history.

The Inventory text for this criteria states:

Developed on a re-subdivision of Lots 10 and 11 Section A of the Cooper's Bellevue Hill – Bondi Estate on a terraced block, designed to face north towards the spectacular views of Rose Bay, this house provide(s) historical evidence of the early development of the Cooper's Bellevue Hill – Bondi Estate subdivision in the Inter-War period.

Architect John D Moore originally designed a house on the higher section of the block for Mrs F Clifton in 1925, which was subsequently built by Francis & Sons. In 1939 the new owner Mr G Russell commissioned Professor Leslie Wilkinson to design extensive alterations and additions to the house which included a new level. These alterations and additions were constructed by builder Coleman & Kirk.

The Guideline for Inclusion selected in the Inventory Sheet claims the property "is associated with a significant activity or historical phase".

Comment

The information contained in the Inventory Sheet provides no justification for heritage listing. The subject land was simply one small parcel created as part of a large-scale alienation and subdivision process that took place periodically between 1830 and 1919,

The property only meets the Exclusion guideline – "has incidental or unsubstantiated connections with historically important activities or processes".

The property at 43 Latimer Road Bellevue Hill does not meet the required standard for LEP Heritage Listing on the basis of its Historical Significance.

Criterion B – Historical Association

Heritage Listing requires that:

An item has strong or special associations with the life or works of a person, or group of persons, of importance in the local area's cultural or natural history.

The Inventory text for this criteria states:

Associative significance as an example of the work of prominent architect and architectural academic, Professor Leslie Wilkinson, designed in his favoured Mediterranean/Neo-Georgian style and modifying an earlier design by his university colleague John D Moore. Wilkinson designed alterations and additions to this property for Mr Gordon Russell in 1939.

The Guideline for Inclusion selected in the Inventory Sheet claims the property "is associated with a significant event, person or group of persons".

Comment

The information contained in the Inventory Sheet provides some justification for heritage listing, on the grounds that the alterations and additions were designed by Professor Leslie Wilkinson, to an earlier, smaller cottage designed by the less well-known but active interwar architect, John D Moore.

The primary expression of the distinction between Wilkinson and Moore is the use of a different external window sill design for the upper level windows. An understanding of the different phases of the work is evident only in the original working drawings. The current building does not clearly demonstrate the hand of two separate architects separated by more than decade. The completed house shows very little evidence of Wilkinson's so called Neo-Georgian style.

The property tends to fall into both the inclusion and exclusion categories. It is associated with two significant architects who worked in Woollahra, particularly Professor Leslie Wilkinson. However, the physical evidence of their combined work suggests that the resultant house cannot be regarded as a major work by either architect.

The property at 43 Latimer Road Bellevue Hill partly meets the required standard for LEP Heritage Listing on the basis of its Historical Associative Significance.

Criterion C – Aesthetic Significance The property, while the work of two architects is clearly blurred in its demonstration of the work of each.

Heritage Listing requires that:

An item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in the local area.

The Inventory text for this criteria states:

The house exhibits aesthetic significance for its Neo-Georgian/Inter-War Mediterranean influence and detailing of aesthetic significance.

43 Latimer Road is a free standing pastel rendered house with a gabled terracotta roof north oriented to maximise water views.

The main elevation shows typical Mediterranean detailing in its use of restrained classical detailing such as timber pane sash windows with shutters, bull's eye windows and loggia with entablature supported by Doric columns.

The house is set within a substantially landscaped and terraced garden. Sandstone walls have been used to create the terraces in the garden, with a sandstone water fountain in the lower terrace forming the setting of the house.

Internally, the house has been renovated, with previous finishes replaced by newer ones. The original layout has been minimally modified, original doors, joineries and fireplace in the living room are noted as being fabric of significance.

The Guideline for Inclusion selected in the Inventory Sheet claims the property "shows or is associated with creative or technical innovation or achievement" is "aesthetically distinctive" and "exemplifies a particular taste, style or technology".

Comment

The information contained in the Inventory Sheet provides little justification for heritage listing on the basis of its aesthetic accomplishment. The work, while the hand of two distinguished architects, does not exhibit the firm or creative hand of either. Its use of classical features is relatively restrained within the overall presentation of a typical Provencal farm-house typology from southern France. It is not a good or substantial example of the Interwar Neo-Georgian/Inter-War Mediterranean architectural style

It would not be considered as that part of either architect's work that was inspirational or innovative. Being well hidden on its internal battle-axe site, the house has no landmark qualities and has not been regarded as being particularly influential when compared with Professor Wilkinson's other houses.

The property only meets the Exclusion guideline – "is not a major work by an important designer or artist".

The property at 43 Latimer Road Bellevue Hill does not meet the required standard for LEP Heritage Listing on the basis of its Aesthetic Significance.

Criterion D – Social Significance

Heritage Listing requires that:

An item has strong or special association with a particular community or cultural group in the local area for social, cultural or spiritual reasons.

The Inventory text for this criteria states:

While a full social assessment may be beyond this heritage assessment, as part of the body of works of eminent architect Professor Leslie Wilkinson, 43 Latimer Road may hold some social significance for the Woollahra community and the Australian Institute of Architects.

The Guideline for Inclusion selected in the Inventory Sheet relies on the property being “important for its association with an identifiable group”.

Comment

The information contained in the Inventory Sheet provides little justification for heritage listing on the basis of it being important for its associations with an identifiable group.

This claim is not sufficient to justify heritage listing. Its claimed value is related more to its association with Prof Leslie Wilkinson, albeit at the lower end of the spectrum, than for its Social value, which remains untested.

There is insufficient evidence presented in the Inventory Sheet, or as a widely held opinion in the local community, to justify heritage listing on the grounds of this criterion.

The property at 43 Latimer Road Bellevue Hill does not meet the required standard for LEP Heritage Listing on the basis of its Social Significance.

Criterion E – Research Significance

Heritage Listing requires that:

An item has potential to yield information that will contribute to an understanding of the local area’s cultural or natural history.

The Inventory text for this criteria states:

The property does not have potential to yield substantial scientific and/or archaeological information that will contribute to an understanding of the cultural history of the local area.

The Heritage Inventory makes no claim that the subject site qualifies under this criterion

Comment

The Objection agrees that the property does not qualify for heritage listing under this criterion.

The property at 43 Latimer Road Bellevue Hill does not meet the required standard for LEP Heritage Listing on the basis of its Research Potential.

Criteria F - Rarity

Heritage Listing requires that:

An item possesses uncommon, rare or endangered aspects of the local area’s cultural or natural history.

The Inventory text for this criteria states:

As an intact Inter-War Mediterranean/Neo-Georgian style house in Bellevue Hill, this house and its landscaped setting are rare in Woollahra. As an intact Wilkinson design, it demonstrates a design of exceptional interest.

The Guideline for Inclusion selected in the Inventory Sheet claims the property is rare as it “demonstrates a process, custom or other human activity that is in danger of being lost”, and it “demonstrates designs or techniques of exceptional interest”.

Comment

The information contained in the Inventory Sheet provides little justification for heritage listing on the basis of its rarity. There is no evidence that suggests the subject house is under threat of being lost.

Several, much higher quality Wilkinson houses are already LEP listed in Woollahra. The substantial house at 1 Rose Bay Avenue, Bellevue Hill, which was designed in partnership between Wilkinson and Moore and to which Wilkinson added more accommodation in the 1950s, is also LEP listed.

The property at 43 Latimer Road Bellevue Hill does not meet the required standard for LEP Heritage Listing on the basis of its Rarity.

Criteria G – Representative

Heritage Listing requires that:

An item is important in demonstrating the principal characteristics of a class of the local area's

- *cultural or natural places; or*
- *cultural or natural environments.*

The Inventory text for this criteria states:

43 Latimer Road is part of a group of houses that are representative of the distinct style or architecture by the prominent Australian architect Prof Leslie Wilkinson in the Neo-Georgian/Mediterranean style in the Woollahra area.

The Guideline for Inclusion selected in the Inventory Sheet claims the property is "a fine example of its type", "has the principal characteristics of an important class or group of items", "has attributes typical of a particular way of life, philosophy, custom, significant process, design, technique or activity" and "is part of a group which collectively illustrates a representative type".

Comment

The information contained in the Inventory Sheet provides little justification for heritage listing on the basis of its representative nature. While a known example of Wilkinson's alterations and additions projects, the resultant presentation of the house only demonstrates a restrained architectural outcome when compared to his primarily recognised projects. It does not act as a representative example of the work of Wilkinson and Moore, as it merely demonstrates alterations and additions undertaken more than a decade after the original design was erected.

The property at 43 Latimer Road Bellevue Hill does not meet the required standard for LEP Heritage Listing on the basis of its Representation of the principal characteristics of high quality Interwar housing in Woollahra. .

Review of Comparative Assessment

A brief review of the Comparative examples discussed in the Inventory Sheet reveals a range of houses that are LEP listed, but only some of these are the work of Professor Leslie Wilkinson, either working on his own or in active partnership with John D Moore.

None of the examples justify the claims made that the subject house, at 43 Latimer Road, Bellevue Hill fits neatly into the collection of fine and very influential Interwar Neo-Georgian/Inter-War Mediterranean architectural style houses for which Professor Wilkinson is celebrated.

Review of Statement of Significance

On the basis of the above analysis of the information and assessment set out in the Heritage Inventory form for the property at 43 Latimer Road, Bellevue Hill, the only comment that can be provided with regard to the proposed Statement of Significance, is that it makes claims that are unsubstantiated by its own evidence and of little value in establishing a framework for its future management, were Council to continue with the LEP heritage listing process.

CONCLUSION

The information and heritage assessment set out in the Inventory Sheet does not justify its erroneous conclusions about the nature of the house and its proposed formal recognition as part of Woollahra's Environmental Heritage, as defined in the WLEP.

RECOMMENDATION

On the basis of the more comprehensive assessment outlined in this Objection, Council should not proceed with the proposed LEP heritage listing of the property at 43 Latimer Road, Bellevue Hill.

Yours faithfully
GBA HERITAGE PTY LTD



Graham Brooks
Director





GRAHAM BROOKS

Managing Director, GBA Heritage Pty Ltd

Positions Held

Managing Director, GBA Heritage Pty Ltd, 2015 -
Managing Director, Graham Brooks & Associates Pty Ltd, 1996 – 2015
Director, Schwager Brooks and Associates Pty Ltd, 1984 – 1996
Associate Director, Travis Partners, 1977 – 1984
Architect, Pollard Thomas & Edwards, London, 1975 – 1977
Architect, Commonwealth Department of Works, 1972 – 1975

Professional Qualifications

Bachelor of Architecture (Hons), Sydney University, 1972
Master of the Built Environment (B Cons) UNSW 1984
Australian Institute of Architects, 1974
Associate Royal Institute of British Architects, 1975
Registered Architect, New South Wales
Member, Australia ICOMOS

Professional Associations

President ICOMOS International Committee on Cultural Tourism, 2001 – 2011
Chairman, AusHeritage Ltd, 1999-2001
Chairman, National Trust (NSW) Historic Buildings Committee, 1996-1999
Former Heritage Adviser, Liverpool City Council c1995-2005
Member, Senior Advisory Panel, Global Heritage Fund 2010-
Member, National Trust of Australia (NSW) 1973-
Member Australia ICOMOS, 1980-
UNESCO Monitoring Mission to World Heritage Site of Borobudur, 2003, 2006, 2007
World Heritage Centre Monitoring Mission to Ajanta & Ellora Caves, India, 2004-2010
Visiting Professor, Institute of Tourism Studies, Macao, 2006
Former Executive Committee Member, Australia ICOMOS, 1990-1992
Former Member Heritage Council Technical Advisory Committee on Materials Conservation, RAI Heritage Committee and RAHS Historic Buildings Committee

CAREER SUMMARY

I have worked in the fields of Architectural Design, Heritage Conservation and Cultural Tourism Management for some 45 years, in Australia, the United Kingdom and more recently for UNESCO in Asia. During that period I have conducted heritage assessments and developed heritage management protocols for hundreds of historic buildings and places. My office has conducted hundreds more under my supervision.

I have lectured widely to business, heritage, professional and student groups on heritage assessments, heritage management, conservation practice, preparing heritage sites for cultural tourism and the methodologies of heritage asset management. Since the mid 1980s, I have participated in many appeals before the Land & Environment Court, acting on behalf of both Respondents and Applicants, and have also acted as a Court Appointed Heritage Expert.

Flavia Scardamaglia

From: Tony Green [REDACTED]
Sent: Friday, 19 August 2022 11:42 AM
To: Flavia Scardamaglia
Subject: FW: Proposed local heritage listing of 56 Wallaroy Road, Woollahra
Attachments: Heritage-Listing-explained.pdf; Wilkinson Buildings - Heritage Inventory Sheet - 56 Wallaroy Road Woollahra.pdf

Hi Flavia
Sophie McCarthy and I are pleased to support the nomination of 56 Wallaroy Rd to the Heritage Register.
Regards
Anony Green

Tony Green
Chairman



M: [REDACTED] | **P:** [REDACTED]
E: [REDACTED]
W: www.andreasengreen.com.au
A: [REDACTED] Elizabeth Drive
[REDACTED]
Kemps Creek NSW 2178



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From: Flavia Scardamaglia [REDACTED]
Sent: Friday, 12 August 2022 1:02 PM
To: Sophie McCarthy [REDACTED]
Subject: Proposed local heritage listing of 56 Wallaroy Road, Woollahra

Hi Sophie,

Hope this finds you well. I was wondering if you had any questions in relation to the letter we sent you on 22 July 2022.

Today was the cut-off day for comments, but we may extend it for another week if you wish.

Any question, please feel free to call me or email me.

From: [Anne Whitehead](#)
To: [Flavia Scardamaglia](#)
Subject: Re: Proposed local heritage listing of wrought iron gate and brick posts at 28A Wentworth Road Vacluse
Date: Saturday, 20 August 2022 10:39:47 AM
Attachments: [image001.jpg](#)
[image001.jpg](#)

Hi Flavia

We are all good. No questions.

Thank you

Anne

Sent from my iPhone

On 19 Aug 2022, at 15:17, Flavia Scardamaglia
[REDACTED] wrote:

Hi Anne

Just wondering if you had any questions or comments in relation to the local heritage listing of the wrought iron gates and brick posts at 28A Wentworth Road, Vacluse.

Kind regards,



Flavia Scardamaglia
Senior Strategic Heritage Officer
Woollahra Municipal Council
536 New South Head Road, Double Bay NSW
2028
t: [REDACTED]
e: [REDACTED] **w:**
www.woollahra.nsw.gov.au

Our Values: Respect for People | Integrity and Excellent Performance |
Professional Quality Service | Open Accountable Communication
We acknowledge the Gadigal and Birrabirragal people as the traditional custodians of the land in our local area.

From: Flavia Scardamaglia
Sent: Friday, 12 August 2022 1:59 PM
To: 'Anne Whitehead' [REDACTED]
Subject: RE: Proposed local heritage listing of wrought iron gate and brick posts at 28A Wentworth Road Vacluse

Hi Anne

That is not a problem at all. I will write down 19 August extended time.

WOOLLAHRA LOCAL PLANNING PANEL DEVELOPMENT APPLICATION ASSESSMENT REPORT

ITEM No.	D2
FILE No.	DA28/2021/1
ADDRESS	31 Captain Pipers Road VAUCLUSE
COUNCIL WARD	Vaucluse
SITE AREA	966.5m ²
ZONING	R2 Low Density Residential
PROPOSAL	Demolition of the existing structures and construction of a new dual-occupancy development and strata subdivision
TYPE OF CONSENT	Local development
COST OF WORKS	\$2,895,741.00
DATE LODGED	28/01/2021
APPLICANT	Mr P Hakim
OWNER	Mr P E & Mrs C Hakim
AUTHOR	Mr M D'Alessio
TEAM LEADER	Mr M Moratelli
SUBMISSIONS	12 (1 submission in support and 11 objections)
RECOMMENDATION	Conditional approval

1. REASON FOR REPORT TO LOCAL PLANNING PANEL

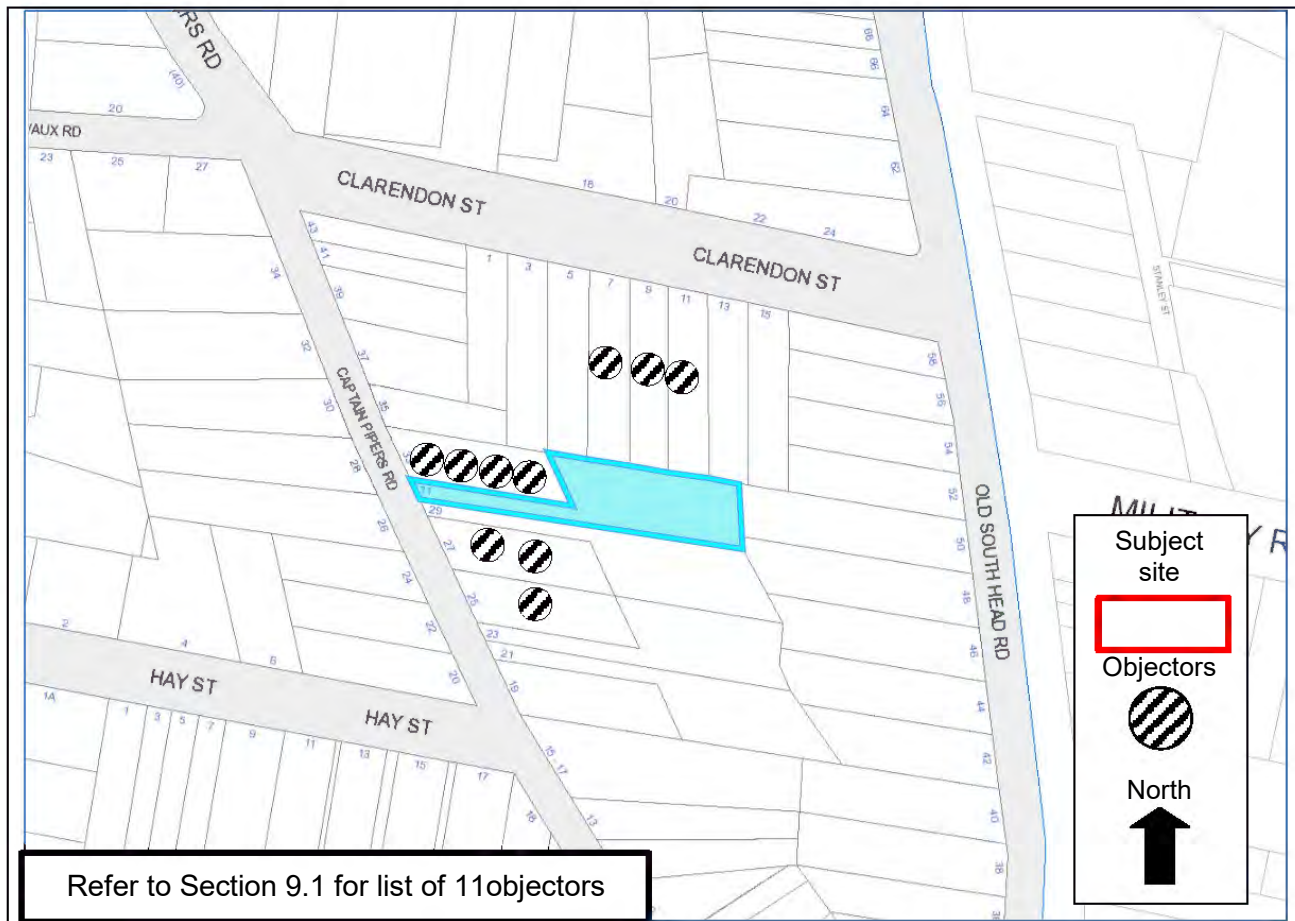
The application is to be determined by the Woollahra Local Planning Panel as it falls under the category of 'contentious development' having received 10 submissions.

2. REASONS FOR RECOMMENDATION

The application has been assessed within the framework of the matters for consideration under section 4.15 of the Environmental Planning and Assessment Act 1979 and is recommended for approval because:

- It is considered to be satisfactory with all relevant planning policies including the objectives of WLEP 2014 and WDCP 2015 subject to a deferred commencement condition requiring design changes.
- It will not have adverse effects on the local built and natural environment nor any adverse social and economic impacts in the locality
- All likely impacts to adjoining properties including any submissions made have been addressed in the report, or are considered to be satisfactory
- The site is suitable for the proposed development
- The proposal is in the public interest

3. LOCALITY PLAN



4. PROPOSAL

The proposal was amended and revised/additional supporting documentation was lodged under Clauses 36 and 37 of the Environmental Planning and Assessment Regulation 2021 as follows:

- Revised shadow diagrams - 19/04/2021
- Revised site analysis/building envelope plans submitted – 28/06/2021
- 3D height plane diagrams submitted - 27/07/2021
- Title document and associated instruments submitted - 16/07/2021
- Replacement Application submitted - including revised architectural plans, revised BASIX, revised excavation plan, Geotechnical report, revised landscape plan, revised shadow diagrams, View analysis based on photographs provided in assessment report for 29 Captain Pipers Road, Copy of DP certificate confirming right of carriageway - 26/08/2021
- Description of the proposed amendments contained in the Replacement Application submitted - 31/08/2021
- Revised stormwater management plans submitted 27/09/2021
- Tree Transplant viability report submitted - 25/10/2021
- Revised stormwater management plans submitted - 04/03/2022
- Additional Transplant Feasibility and Method Statement submitted 22/06/2022

The proposal, as amended, involves demolition of the existing residential dwelling house and construction of a new dual-occupancy (attached) development and strata subdivision, comprising:

Lower ground floor level

Dwelling A:

- Subfloor mechanical plant area.
- RL 74.1 AHD – Store area, lift, wine racks, laundry store, bath, gym/games room.
- RL 74 AHD – External alfresco covered open space.
- RL 73.9 AHD – Rear private open space and pool.

Dwelling B:

- RL 74.1 AHD – External plant store.
- RL 74.1 AHD – Store area, lift, wine racks, laundry store, bath, gym/games room
- RL 74 AHD – External alfresco covered open space.
- RL 73.9 AHD - Rear private open space, bin store area, clothes drying and pool.

Ground floor plan

Dwelling A:

- RL 77.00 AHD – External private open space, AC Unit, bin store area.
- RL 76.6 AHD – Garage.
- RL 76.6 AHD – Entry.
- RL 77.1 AHD – Lift, study/guest bedroom ensuite, kitchen, dining and living areas and rear balcony.

Dwelling B:

- RL 76.4 AHD – Garage.
- RL 76.3 AHD – Entry.
- RL 77.1 AHD – Lift, study,, toilet, kitchen, dining and living areas and rear balcony.

First floor plan

Dwelling A:

- RL 80.1 AHD – Lift, bedroom 1 + walk in robe and ensuite and rear balcony, bedroom 2 + walk in robe and ensuite and front balcony, bedroom 3 + front balcony and bedroom 4 + front balcony.

Dwelling B:

- RL 80.1 AHD – Lift, bathroom, bedroom 1 + walk in robe and ensuite and rear balcony, bedroom 2, bedroom 3 + walk in robe and ensuite and bedroom 4.

5. ISSUES

5.1. Exceptions to Development Standards in Woollahra Local Environmental Plan 2014

None.

5.2. Primary Issues

Issue	Conclusion	Section
Objections	Subject to conditions of development consent and as advised by Council's Technical Experts the issues raised in the objections are not sufficient to warrant further design modifications or refusal of the application as revised.	5.3, Condition 1, C.1 & Attachments 2, 3 and 4

5.3. Summary of Submissions

Issue	Conclusion	Section
<p>Height, bulk and scale:</p> <ul style="list-style-type: none"> • Inconsistency with the aims in Clause 1.2(2) of the Woollahra LEP 2014 • Inconsistency with the objectives of the R2 Low Density Residential zone of the Woollahra LEP 2014. • Inconsistent with the desired future character objectives of the Vaucluse East Residential Precinct under Part B1.11 of the Woollahra DCP 2015. • Non-compliance with Part B3.2 building envelope controls under: front setback (B3.2.2), side setback (B3.2.3), rear setback (B3.2.4) wall height and incline plane (B3.2.5) and Part B3.9: additional controls for development on a battle-axe lot (front setback) of the Woollahra DCP 2015. • Non-compliance with Part B3.3 Floorplate controls under the Woollahra DCP 2015. • Non-compliance with Part B3.5 built form and context controls under: streetscape and local character (B3.5.1), public and private views (B3.5.3) and acoustic and visual privacy (B3.5.4) of the Woollahra DCP 2015. 	<p>Subject to the amending deferred commencement condition, which reduces the building envelope and floorplate non-compliances, the proposal as revised is acceptable in terms of height bulk and scale and does not represent an over development of the site such that further modification or refusal is not warranted, including:</p> <ul style="list-style-type: none"> • Consistency with the aims in Clause 1.2(2) of the Woollahra LEP 2014. • Permissibility and consistency with the objectives of the R2 Low Density Residential zone of the Woollahra LEP 2014. • Compliance with the 9.5m maximum Height of buildings standard under Clause 4.3 of the Woollahra LEP 2014. • Achieving consistency with the desired future character objectives of the Vaucluse East Residential Precinct under Part B1.11 of the Woollahra DCP 2015. • Subject to deferred commencement condition, achieving adequate compliance with Part B3.2 building envelope controls under: Front setback (B3.2.2), side setback (B3.2.3), rear setback (B3.2.4) wall height and incline plane (B3.2.5) and Part B3.9: additional controls for development on a battle-axe lot (front setback) of the Woollahra DCP 2015. • Subject to deferred commencement condition, achieving adequate compliance with Part B3.3 floorplate controls under the Woollahra DCP 2015. • Achieving compliance with Part B3.5 built form and context controls under: streetscape and local character (B3.5.1), public and private views (B3.5.3) and acoustic and visual privacy (B3.5.4) of the Woollahra DCP 2015. 	<p>13, 14, Condition 1 & C.1</p>
<p>Excavation and siting of excavation including compliance with excavation controls under Part B3.4 of the Woollahra DCP 2015.</p>	<p>Excavation is supported by a Geotechnical Report and as set out in Attachment 3, Council's Development Engineer is satisfied subject to conditions in terms of the technical issues associated with proposed excavation works.</p> <p>The proposed volume and siting of excavation as revised is acceptable with regard to the excavation controls in Part B3.4 of the Woollahra DCP 2015 such that further modification or refusal is not warranted.</p>	<p>13.10, 14.2 and Attachment 2</p>

Issue	Conclusion	Section
Adverse overshadowing including non-compliance with access to sunlight controls under Part B3.5.2 of the Woollahra DCP 2015, to: <ul style="list-style-type: none"> • 27 Captain Pipers Road Vacluse. • 33 Captain Pipers Road Vacluse. 	The design of the proposal accords with the relevant access to sunlight controls under Part B3.5.2 of the Woollahra DCP 2015, to: <ul style="list-style-type: none"> • 27 Captain Pipers Road Vacluse. • 33 Captain Pipers Road Vacluse. 	14.2
Objection to demolition of the site's existing dwelling, including non-compliance with under section B3.8.7: Inter-war flat buildings of the Woollahra DCP 2015.	Council's Heritage Officer supports demolition of the subject site's dwelling house The subject site's dwelling house is not an Inter-War flat building. Part B3.8.7 Inter-war flat buildings of the Woollahra DCP 2015 is not applicable to the subject proposal.	13.7 and Attachment 2
Adverse acoustic and visual privacy impacts including non-compliance with Part B3.5.4 Acoustic and visual privacy of the Woollahra DCP 2015 including to: <ul style="list-style-type: none"> • No. 50 Old South Head Road Vacluse. • Nos.27, 1/33, 2/33, 3/33 and 4/33 Captain Pipers Road Vacluse. • Nos. 7, 9 and 11 Clarendon Street, Vacluse. 	Subject to Condition C.1 , the proposal as revised achieves adequate compliance with Part B3.5.4 Acoustic and visual privacy of the Woollahra DCP 2015 such that further modification or refusal is not warranted.	14.2 and Condition 1 and C.1
Objection to private view loss from adjoining properties, including: <ul style="list-style-type: none"> • No. 50 Old South Head Road Vacluse. • Nos.25 and 27 Captain Pipers Road Vacluse. • Nos 3/33 and 4/33 Captain Pipers Road Vacluse. • Non-compliance with Part B3.5.3 Public and private views of the Woollahra DCP 2015. • View impacts associated with proposed transplanted Canary Island Date Palms. 	The proposal as amended and subject to further design amendments required by the deferred commencement condition will not have any unreasonable view impact and demonstrates an adequately skilful design in terms of reflecting the view sharing principles required to be satisfied under B3.5.3 and B.7.1 of the Woollahra DCP 2015.	14.2 and Condition 1
Non-compliance with Part B3.7.1 Landscaped areas and private open space controls of the Woollahra DCP 2015.	Acknowledged. The recommended deferred commencement condition requires the proposed development to be amended to detail adequate deep soil landscaped area across the site.	14.2 and Condition 1
Objections to the siting of swimming pools relative to No. 50 Old South Head Road, Vacluse, including: <ul style="list-style-type: none"> • Non-compliance with Part B3.7.4: Ancillary Development – Swimming Pools controls of the Woollahra DCP 2015. 	The proposal as revised is satisfactory in terms of adequate compliance with Part B3.7.4: Ancillary Development – Swimming Pools controls of the Woollahra DCP 2015 such that further modification or refusal is not warranted.	14.2
Tree Issues: <ul style="list-style-type: none"> • Objections to Canary Island Date Palm removal and/or transplantation. 	The proposal as revised is satisfactory in terms of the issues raised such that further modification or refusal is not warranted, including: <ul style="list-style-type: none"> • The proposal as revised does not seek approval for removal of existing Canary Island Date Palms. 	14 and Attachment 4

Issue	Conclusion	Section
<ul style="list-style-type: none"> Proposed palm transplantation not achievable. Submissions for additional screen planting to western boundary to provide privacy screening to No. 33 captain Pipers Road, Vacluse. 	<ul style="list-style-type: none"> The proposal as revised includes retention of existing Canary Island Date Palms and as advised by Council's Trees Officer, proposed palm transplantation is technically feasible and is supported by a Transplant Feasibility Report. The proposal as revised includes replacement tree and screen planting - Syzygium 'Backyard Bliss' hedged to 2m in height along the western front setback boundary. 	
<p>Adverse construction related impacts including health and amenity of surrounding development including maintenance of public walkway and hours of construction</p>	<p>Subject to conditions of development consent, construction related impacts would be appropriately mitigated and would not warrant further modification or refusal of the application. Refer to Conditions:</p> <ul style="list-style-type: none"> D.2 Dilapidation Reports for existing buildings D.3 Adjoining buildings founded on loose foundation materials D.4 Construction Management Plan D.5 Works (Construction) Zone – Approval & Implementation D.9 Erosion and Sediment Controls – Installation E.3 Compliance with Construction Management Plan E.6 Hours of Work –Amenity of the Neighbourhood E.7 Public Footpaths – Safety, Access and Maintenance E.14 Maintenance of Environmental Controls E.15 Compliance with Geotechnical/Hydrogeological Monitoring Program E.16 Support of Adjoining Land Owners E.17 Vibration Monitoring E.18 Erosion and Sediment Controls – Maintenance E.19 Disposal of Site Water during Construction E.20 Site Cranes E.22 Placement and Use of Skip Bins E.24 Dust Mitigation 	<p>Conditions</p>
<p>Submission that the proposal be amended to include a bin store enclosure.</p>	<p>Suitably located bin store areas are detailed to both Dwellings A and B in accordance with Part B3.7.3: Site Facilities of the Woollahra DCP 2015 and this issue is considered to be appropriately addressed.</p>	<p>14.2</p>
<p>Submission that lighting is minimised and a timer installed to prevent night time lighting issues.</p>	<p>Subject to conditions the proposal including on-going use will accord with the standards relating to outdoor lighting under AS/NZS 4282:2019:</p> <ul style="list-style-type: none"> I.3 Outdoor lighting – Residential 	<p>Condition I.3</p>
<p>Objections in terms of stormwater discharge, including non-compliance with stormwater controls under Chapter E2 of the Woollahra DCP 2015.</p>	<p>Subject to conditions, Council's Infrastructure & Sustainability Services Division is satisfied that adequate provision could be made for the disposal of stormwater from the land it is proposed to develop and that the proposal complies with Chapter E2 "Stormwater and Flood Risk Management" DCP:</p> <ul style="list-style-type: none"> C.9 Stormwater Management Plan 	<p>14.4 Attachment 3</p>

Issue	Conclusion	Section
Further investigation is required in terms of site contamination including asbestos.	<p>Further consideration under Clause 4.6 of State Environmental Planning Policy (Resilience and Hazards) 2021 is not required, as set out in this report:</p> <ul style="list-style-type: none"> • The application maintains the existing residential land use of the subject land, the site is not within an investigation area. • Assessment of the Initial Site Evaluation information provided by the applicant indicates the land does not require further consideration under Clause 4.6 of the SEPP. <p>Adequate conditions of consent are included in terms of potential asbestos on the site or the site's dwelling to be demolished:</p> <ul style="list-style-type: none"> • B.1 Identification of Hazardous Material • E.2 Compliance with Australian Standard for Demolition • E.3 Compliance with Construction Management Plan • E.4 Requirement to Notify about New Evidence • E.24 Dust Mitigation • E.25 Site Waste Minimisation and Management – Demolition • E.26 Site Waste Minimisation and Management – Construction • E.27 Asbestos Removal • E.28 Classification of Hazardous Waste • E.29 Disposal of Asbestos and Hazardous Waste • E.30 Asbestos Removal Signage • E.31 Notification of Asbestos Removal 	11 and Conditions
Inadequacies in submitted documentation.	The proposal as revised is supported by sufficient information.	7
Initial objection to original proposal withdrawn and changed to a submission in support of the revised proposal from 29 Captain Piper Road Vaucluse	The submission in support of the revised proposal is acknowledged.	--

PROPERTY DETAILS AND REFERRALS

6. SITE AND LOCALITY

Physical features
The subject site is known as 31 Captain Pipers Road, Vaucluse (Lot 8 DP 13528). The site has a western boundary of 15.24m, a northern side boundary of 50.552m and a rear eastern boundary of 17.2. The site has an area of 966.5m ² .
Topography
The site slopes approximately 4m from the west to the east.
Existing buildings and structures
The site contains a part single-storey, part two-storey dwelling house.

Surrounding Environment
<p>The site is located in the Vaucluse East Residential Precinct. Section B1.11.1 of the Woollahra Development Control Plan 2015 provides the following precinct character statement:</p> <ul style="list-style-type: none"> • <i>The Vaucluse East Precinct comprises an elevated plateau which provides an extensive backdrop and significant scenic presentation to Sydney Harbour along its eastern foreshore.</i> • <i>A spectacular feature of the precinct is the public foreshore land on the eastern side of Old South Head Road which contains the Macquarie Lighthouse, a prominent harbour landmark and parkland. The highest parts of the precinct afford 360° views of both the harbour and ocean. Vantage points include Johnsons Lookout, Samuel Park, Gap Park, Christison Park and Lighthouse Reserve.</i> • <i>The precinct contains a wide range of housing types and styles reflecting important stages in its development. Large areas are characterised by Federation and Inter-War bungalows. Inter-War residential flat buildings are also important contributors to the local character. However, the dominant development type is the dwelling house, located within a garden setting and highlighted by consistent street setbacks and side setbacks that allow for views between buildings.</i> • <i>The precinct's exposed location at the plateau of the peninsula has resulted in a sparser foliage and tree canopy compared with the more protected streets of the Vaucluse West precinct.</i>



7. RELEVANT PROPERTY HISTORY

Current use
Residential
Relevant Application History
<p>31 Captain Pipers Road Vaucluse:</p> <ul style="list-style-type: none"> • BA574/1972 titled: <i>Alts & Adds Res. Flat building</i>, determination not known • BA9066/1948 titled: <i>Alts & Adds Res. Flat building</i>, determination not known • BA9088/1934 titled: <i>Res. New Flat building</i>, determination not known

<p>29 Captain Pipers Road, Vaucluse:</p> <ul style="list-style-type: none"> • DA221/2017 titled: <i>Strata Subdivision Strata subdivision of attached dual occupancy</i>, approved DCC 11/12/2017 • DA133/2015/2 titled: <i>An attached dual occupancy with swimming pools and landscaping works</i>, approved 07/06/2017. • DA133/2015/1 titled: <i>Section 96 Deletion of internal planter area within house B addition of floor; void at first level and skylight at top level; new planter box at rear of house B; deletion of rooftop garden for houses A and B</i>, approved AAP 14/07/2015. <p>7 Clarendon Street, Vaucluse:</p> <ul style="list-style-type: none"> • DA 478/2020 titled: <i>Ancillary Structure/Landscaping Alterations and additions to external areas</i>, approved 30/03/2022 <p>50 Old South Head Road, Vaucluse:</p> <ul style="list-style-type: none"> • DA428/2019/1 titled: <i>Residential Flat Building 3 Storeys The demolition of an existing residential flat building consisting of 4 units & ancillary structures and the construction of a new residential flat building consisting of 8 units under existing use</i>, Approved Local Planning Panel 24/09/2020.
<p>Requests for Additional Information and Replacement Applications</p> <ul style="list-style-type: none"> • 11/02/2021 – Council requested 1. Title document and associated instruments demonstrating that the subject site currently benefits from an inter-allotment drainage easement over all downstream property(s) to a recognised public drainage system, 2. Revised Stormwater Management Plans, 3. Further details in terms of Vehicular Access and Parking Arrangement, 4. Excavation calculations and 5. Sample board of materials and colours. • 12/04/2021 – Applicant submitted: Revised stormwater management plans • 16/04/2021 – Applicant submitted: Revised shadow diagrams • 18/06/2021 – Council requested: Amended Landscape Plan, Amended Arboricultural Impact Assessment Report and owner's consent for proposed removal of Tree No.12 <i>Olea europea var. africana</i> (African Olive) sited to the northern side boundary and partially located to 7 Clarendon Street Vaucluse. • 28/06/2022 – Applicant submitted: Revised site Analysis plans detailing proposed building envelope and revised shadow diagrams (plan and elevation). • 08/07/2021 – Applicant advised that a preliminary assessment of the application did not support the proposal in terms of 1. Non-compliance with the Woollahra Development Control Plan 2015 and 2. Insufficient information is submitted as specified in Clause 51 (1) (b) of the Environmental Planning and Assessment Regulation 2000, the applicant was requested to withdraw the application. • 16/07/2021 – Applicant sought clarification to issues raised in the preliminary assessment and submitted list of proposed amendments and undertakings in terms of additional information to address the issues raised in the preliminary assessment as part of a Replacement Application. • 27/07/2021 – Applicant submitted a 3D height plane diagrams • 16/07/2021 – Applicant submitted: Title document and associated instruments • 26/08/2021 – Applicant submitted: Replacement Application including revised architectural plans, revised BASIX, revised excavation plan, Geotechnical report, revised landscape plan, revised shadow diagrams, View analysis based on photographs provided in assessment report for 29 Captain Pipers Road, Copy of DP certificate confirming right of carriageway • 31/08/2021 – Applicant submitted a description of the proposed amendments contained in the Replacement Application. • 24/09/2021 – Applicant submitted: Revised stormwater management plans • 30/09/2021 – Transplant Feasibility and Method Statement to be prepared by a suitable qualified professional specialised in transplanting in accordance with Council's DA Guide. • 25/10/2021 – Applicant submitted: Transplant viability report • 23/02/2022 – Council requested: Swept path diagrams prepared by a Traffic Engineer and Title Docs and revised stormwater plans. • 04/03/2022 – Applicant submitted: Revised stormwater management plans • 24/05/2022 – Council requested further details in terms of Transplant Feasibility and Method Statement. • 22/06/2022 – Applicant submitted transplant feasibility and method statement
<p>Land and Environment Court Appeal(s)</p> <p>None</p>

8. REFERRALS

Referral	Summary of Referral Response	Attachment
Heritage Officer	Satisfactory, subject to conditions	2
Development Engineer	Satisfactory, subject to conditions.	3
Tree Management Officer	Satisfactory, subject to conditions.	4

ENVIRONMENTAL ASSESSMENT UNDER SECTION 4.15

The relevant matters for consideration under Section 4.15 of the Environmental Planning and Assessment Act 1979 include the following:

1. The provisions of any environmental planning instrument
2. The provisions of any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority
3. The provisions of any development control plan
4. The provisions of any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4
5. The provisions of the regulations
6. The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality
7. The suitability of the site for the development
8. Any submissions made in accordance with this Act or the regulations
9. The public interest

9. ADVERTISING AND NOTIFICATION

9.1. Submissions

The application was advertised and notified from 17 February 2021 to 4 March 2021 in accordance with Chapter 6 of the Woollahra Community Participation Plan 2019. 12 submissions (11 objections and 1 submission in support of the revised proposal) were received from:

1. Anna Reznik 3/33 Captain Pipers Road Vacluse NSW 2030
2. Graham Jackson 2/33 Captain Pipers Road Vacluse NSW 2030
3. Deanne Corlette 1/33 Captain Pipers Road Vacluse NSW 2030
4. Chris King 4/33 Captain Pipers Road Vacluse NSW 2030
5. Ben Adler 27 Captain Pipers Road Vacluse NSW 2030
6. Anthony Boskovitz Lawyers PO Box 306 Edgecliff NSW 2027 on behalf of the Ms Z Selba and G&Z Selby Holdings Pty owners of Lots 2 and 3 of SP 13423 at 50 Old South Head Road Vacluse NSW 2030
7. Anthony H Booth and Leda Booth 25 Captain Pipers Road Vacluse NSW 2030
- 8,9&10 Anthony Boskovitz Lawyers PO Box 306 Edgecliff NSW 2027 on behalf of Mr D Lacaze, Mr S Sutton and Mr J Bleins owners of 7, 9 and 11 Clarendon Street, Vacluse NSW 2030
11. Alice Adler 27 Captain Pipers Road Vacluse NSW 2030
12. Alan Meskin 29 Captain Pipers Road Vacluse NSW 2030 (submission in support)

The issues raised in the submissions have been summarised in Section 5.3 of this report and considered throughout the report.

9.2. Replacement Application

The replacement application noted in Section 4 was renotified to surrounding residents and previous under the Woollahra Community Participation Plan from 8 September 2021 to 23 September 2021. Additional submissions have been considered in Section 5.3.

9.3. Statutory Declaration

The applicant has completed the statutory declaration dated 4 May 2021 declaring that the site notice for DA28/2021/1 was erected and maintained during the notification period.

10. STATE ENVIRONMENTAL PLANNING POLICY (BIODIVERSITY AND CONSERVATION) 2021

State Environmental Planning Policy (Biodiversity and Conservation) 2021 commenced on 1 March 2022.

The provisions of SEPP (Biodiversity and Conservation) 2021 that are relevant to the subject site and application involve managing development in terms of the following:

- Chapter 2 Vegetation in non-rural areas
- Chapter 10 Sydney Harbour Catchment

The proposal is acceptable in terms of the provisions of SEPP (Biodiversity and Conservation) 2021.

11. STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

SEPP (Building Sustainability Index: BASIX) 2004 applies to the proposed development. It relates to commitments within the proposed development in relation to thermal comfort, water conservation and energy efficiency sustainability measures.

The development application and as amended are accompanied by a BASIX Certificate demonstrating compliance with the SEPP. These requirements are imposed in the conditions of consent.

12. STATE ENVIRONMENTAL PLANNING POLICY (RESILIENCE AND HAZARDS) 2021

Clause 4.6(1)(a) of SEPP (Resilience and Hazards) 2021, requires consideration to be given as to whether the subject land is contaminated.

The application maintains the existing residential land use of the subject land, the site is not within an investigation area.

Assessment of the Initial Site Evaluation information provided by the applicant indicates the land does not require further consideration under Clause 4.6 of the SEPP.

The proposal is therefore acceptable with regard to SEPP (Resilience and Hazards) 2021.

13. WOOLLAHRA LOCAL ENVIRONMENTAL PLAN 2014

13.1. Clause 1.2: Aims of Plan

The proposal as revised is consistent with the aims in Clause 1.2(2) of the Woollahra LEP 2014.

13.2. Land Use Table

The proposal is defined as a dual occupancy (attached) and is permitted and as revised is consistent with the objectives of the R2 Low Density Residential zone.

13.3. Clause 4.1: Minimum Subdivision Lot Size

The proposed dual occupancy (attached) development includes associated strata subdivision.

As specified by Clause 4.1(4) this clause does not apply in relation to the subdivision of any land—
 (a) by the registration of a strata plan or strata plan of subdivision under the Strata Schemes
 Development Act 2015.

13.4. Clause 4.1A: Minimum Lot Sizes for a Dual Occupancies, Multi Dwelling Housing and Residential Flat Building

Clause 4.1A(2) specifies a minimum lot size of 460m² for dual occupancy (attached) on a Zone R2 Low Density Residential zone lot.

Site Area: 966.5m ²	Existing	Proposed	Control	Complies
Minimum Lot Size – Attached Dual Occupancy in R2 Zone	966.5m ²	No change	460m ²	Yes

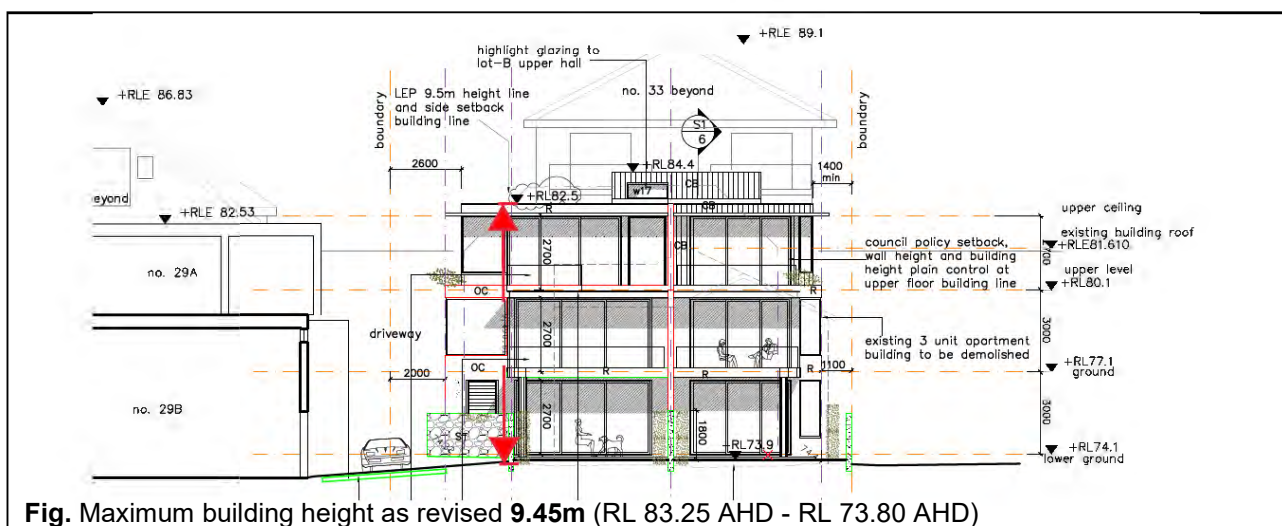
The proposal is acceptable with regard to the minimum lot size objectives in Clause 4.1A (1) and complies with 4.1A(2) of Woollahra LEP 2014.

13.5. Clause 4.3: Height of Buildings

Clause 4.3(2) limits development to a maximum height of 9.5m.

	Existing	Proposed	Control	Complies
Maximum Building Height	7.8m RL81.6 - RL73.80	9.45m RL 83.25 - RL73.80	9.5m	Yes

The maximum height of the proposed attached dual occupancy development (as revised) is 9.45m; measured between the existing ground (RL 73.80 AHD) and roof (RL 83.25 AHD) as detailed in the figure below.



The proposal complies with the maximum building height prescribed by Clause 4.3(2) of Woollahra LEP 2014. It is also acceptable with regard to the relevant objectives (a), (b), (c), (d) and (e) under Clause 4.3(1) of Woollahra LEP 2014.

13.6. Clause 4.4: Floor Space Ratio

Clause 4.4 (2A) specifies that the floor space ratio does not apply to a dual occupancy development.

13.7. Clause 5.10: Heritage Conservation

Clause 5.10(2) and 5.10(4) require Council to consider the effect of works proposed to a heritage item, Aboriginal object or place, building, work, relic or tree, within a heritage conservation area or new buildings or subdivision in a conservation area or where a heritage item is located.

Heritage items and buildings, works, relics or trees within a heritage conservation area

As set out in **Appendix 2** Council's Heritage Officer has advised that the subject site is not a heritage item in Woollahra Local Environment Plan 2014 'the LEP' and is not within a heritage conservation area. In addition, there are no listed heritage items in close proximity that would be adversely affected by the proposal.

Aboriginal Object or Place

As set out in **Appendix 2** Council's Heritage Officer has advised:

- *A basic search conducted on AHIMS (Aboriginal Heritage Information Management System) on 1 March 2021 from the Office of Environment & Heritage NSW (OEH) website has revealed that there are no recorded Aboriginal sites recorded within a 200m buffer in or near the above location.*
- *The site does not contain landscape features that indicate the likely existence of Aboriginal objects as defined in Section 2, Step 2 p.12 of the Due Diligence Code of Practice for the Protection of Aboriginal Objects in NSW ('Due Diligence Code') published by the Department of Environment, Climate Change and Water and dated 13 September 2010.*
- *The subject site is considered to be on 'disturbed land' as per the definition outlined in the Due Diligence Code, p. 18.*

Demolition of the site's dwelling house

The proposed demolition of the altered dwelling house is supported by a Heritage Demolition Report prepared by John Oultram Heritage & Design, dated January 2021.

As set out in **Appendix 2** Council's Heritage Officer is satisfied in terms of the proposed demolition of the site's existing dwelling including that the subject site does not meet the threshold for individual heritage listing and demolition will not adversely impact Woollahra's heritage.

As advised by Council's Heritage Officer, the recommend conditions of development consent include requirements for archival recording of the demolished dwelling and requirements in terms of any Aboriginal objects or unexpected findings. Refer to **Conditions B.3** and **B.4**

Accordingly the proposal is acceptable with regard to the objectives in Clause 5.10 of the Woollahra LEP 2014.

13.8. Clause 5.21: Flood Planning

Clause 5.21 seeks to minimise the flood risk to life and property development, allow development on land that is compatible, consider projected changes as a result of climate change and avoid significant adverse impacts on flood behaviour and the environment in flood prone areas.

The proposal is acceptable with regard to Clause 5.21 of Woollahra LEP 2014.

13.9. Clause 6.1: Acid Sulfate Soils

Clause 6.1 requires Council to consider any potential acid sulfate soil affectation so that it does not disturb, expose or drain acid sulfate soils and cause environmental damage.

The subject site is within a Class 5 area as specified in the Acid Sulfate Soils Map. However, the subject works are not likely to lower the water table below 1.0m AHD on any land within 500m of a Class 1, 2 and 3 land classifications. Accordingly, preliminary assessment is not required and there is unlikely to be any acid sulfate affectation. It is therefore acceptable with regard to Clause 6.1.

13.10. Clause 6.2: Earthworks

Clause 6.2(1) requires Council to ensure that any earthworks will not have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land.

Clause 6.2(3) specifies:

- (3) In deciding whether to grant development consent for earthworks (or for development involving ancillary earthworks), the consent authority must consider the following matters—
 - (a) *the likely disruption of, or any detrimental effect on, drainage patterns and soil stability in the locality of the development,*
 - (b) *the effect of the development on the likely future use or redevelopment of the land,*
 - (c) *the quality of the fill or the soil to be excavated, or both,*
 - (d) *the effect of the development on the existing and likely amenity of adjoining properties,*
 - (e) *the source of any fill material and the destination of any excavated material,*
 - (f) *the likelihood of disturbing relics,*
 - (g) *the proximity to, and potential for adverse impacts on, any waterway, drinking water catchment or environmentally sensitive area,*
 - (h) *any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development.*

As set out in **Attachment 3**, Council's Development Engineer has provided the following excavation related comments:

A Geotechnical Report by Assetgeoenviro, Ref: 6247-G1, dated 11 November 2020, has been submitted in support of the application. The proposal involves excavation with a maximum depth of about 2 metres from the existing ground surface.

The report identified that the subsurface conditions as:

- a) *Fill comprising silty sand to a depth of 0.3m.*
- b) *Depth of natural sand with various density from a depth beneath the fill to a termination depth of 1.3m.*
- c) *Sandstone bedrock was encountered beneath the natural sand at a termination depth in all BH.*
- d) *Groundwater seepage was not observed during investigation.*

The report made comments and recommendations on the following:

- *Shoring and support,*
- *Vibration Monitoring,*
- *Excavation method,*
- *Further Geotechnical input.*

Council's Development Engineer has raised no objection to the extent of the proposed excavation *on technical grounds* in terms of geotechnical and hydrogeological issues subject to recommended conditions of consent.

As set out in **Attachment 2**, Council's Heritage Officer has raised no objection to the proposed excavation subject to conditions relating to the potential unexpected finding of aboriginal /archaeological objects.

As set out in **Attachment 4**, Council's Tree Management Officer considers the proposal to be satisfactory in terms of tree impacts subject to conditions.

The proposal details a compliant volume of 210m³ calculable excavation under the corresponding excavation provisions contained in the Woollahra DCP 2015.

In terms of the extent and siting of excavation and ESD principles, the extent of soil being removed from the site is considered to be acceptable.

Objections have been submitted in terms of excavation and excavation impacts. It is considered that potential adverse environmental impacts related to the proposed excavations will be minimised as much as is practicably possible subject to the imposition of conditions requiring the following:

- adequate dust mitigation;
- the appropriate disposal of excavated material;
- limiting the times and duration of machine excavation;
- the maintenance of a safe pedestrian route;
- the structural support of adjoining land/buildings and public land during excavation;
- the implementation of hydrogeological/geotechnical and vibration monitoring programs requiring the adequate supervision/monitoring of the excavation process by a qualified and practicing geotechnical engineer.

Additional conditions of consent have been recommended limiting the times and duration of machine excavation and requiring adequate dust mitigation.

Accordingly, the proposal as conditioned is considered to be acceptable with regard to the provisions of Clause 6.2 of the Woollahra LEP 2014.

13.11. Clause 6.5: Particular Dual Occupancy Subdivisions Must Not Be Approved

Clause 6.5 (1) does not permit the subdivision of dual occupancy development that would create separate titles for each of the 2 dwellings resulting from a dual occupancy development. This is noted in **Condition G.1**.

Clause 6.5 (2) (b) permits subdivision under the Strata Schemes (Freehold Development) Act 1973 as proposed.

14. WOOLLAHRA DEVELOPMENT CONTROL PLAN 2015

14.1. Chapter B1: Residential Precincts

14.1.1. Chapter B1.11 Vaocluse East Precinct

The subject site is located in the Vaocluse East Residential Precinct. Relevant to this proposal the precinct character statement includes as follows:

- *The Vaocluse East Precinct comprises an elevated plateau which provides an extensive backdrop and significant scenic presentation to Sydney Harbour along its eastern foreshore.*

- *A spectacular feature of the precinct is the public foreshore land on the eastern side of Old South Head Road which contains the Macquarie Lighthouse, a prominent harbour landmark and parkland.*
- *The precinct contains a wide range of housing types and styles reflecting important stages in its development. Large areas are characterised by Federation and Inter-War bungalows. Inter-War residential flat buildings are also important contributors to the local character. However, the dominant development type is the dwelling house, located within a garden setting and highlighted by consistent street setbacks and side setbacks that allow for views between buildings.*
- *The precinct's exposed location at the plateau of the peninsula has resulted in a sparser foliage and tree canopy compared with the more protected streets of the Vacluse West precinct.*

The desired future character statement includes the following:

- *The Vacluse East precinct is to maintain the evolution of low density residential development, generally through the introduction of well-designed contemporary dwelling houses.*
- *Development may be three storeys, but should establish a two storey presentation to the street with a reduced scale on the third floor, which will help reduce building bulk and scale.*
- *On sloping sites, development should step down the site to maintain views, protect the privacy and solar access of adjoining and adjacent properties, and minimise cut and fill. The built form should not detract from the unique features of the natural landscape, or be of such a scale that it dominates adjoining development, or is visually intrusive when viewed from the streetscape or the harbour.*
- *In particular development is to retain views of the harbour from public spaces and provide for view sharing from private properties; these can be achieved by providing suitable side boundary setbacks and fencing, roof forms and thoughtful distribution of building form across the site.*

The proposal as revised respects and enhances the existing contributory streetscape character and key precinct elements a), b), c), d) and e) and is consistent with the desired future character objectives O1, O2, O3, O4, O5, O6, O7 and O8 of the Vacluse East Residential Precinct, as noted in Part B1.11.2 of the Woollahra DCP 2015.

14.2. Chapter B3: General Development Controls

14.2.1. Part B3.2: Building Envelope

Site Area: 966.5m ²	Proposed	Control	Complies
C3 B3.3.9 - Front Setback <ul style="list-style-type: none"> • Lower ground floor • Ground floor • First floor 	N/A 4.7m – 7.1m 1.2m – 7.1m	6m	No No
C1, C2 B3.2.4 - Rear Setback <ul style="list-style-type: none"> • Lower ground floor • Ground floor • First floor 	15m – 16m 15m – 16m 15m – 16m	15.48m (Nth) – 11.88 (Sth)	Yes Yes Yes
C1 B3.2.3 - Side Boundary Setbacks - North elevation <ul style="list-style-type: none"> • Lower ground floor 	1.1m 1.1m 1.1m – 1.4m	2.7m	No No No

Site Area: 966.5m ²	Proposed	Control	Complies
<ul style="list-style-type: none"> Ground floor First floor 			
C1 B3.2.3 - Side Boundary Setbacks - South elevation <ul style="list-style-type: none"> Lower ground floor Ground floor First floor 	2m 2m – 4.4m 2.6m – 4.4m	2.7m	No No No
C1 B3.2.5 - Maximum Wall Height Northern elevation at southeast corner Southern elevation north east corner	8.19m 8.81m	7.2m	No No
C4 B3.2.3 - Maximum Unarticulated Wall Length South elevation <ul style="list-style-type: none"> Lower ground floor Ground floor First floor 	8.5m 21.5m 12m	12m	Yes No Yes
C4 B3.2.3 - Maximum Unarticulated Wall Length South elevation <ul style="list-style-type: none"> Lower ground floor Ground floor First floor 	8.5m 8.6m 13m	12m	Yes Yes No

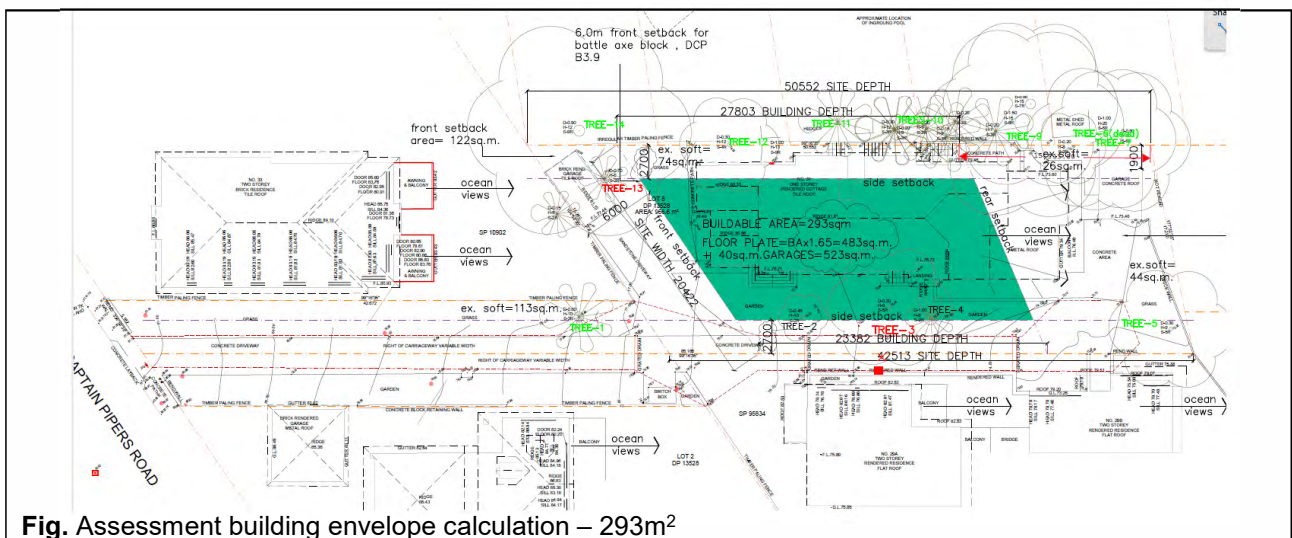


Fig. Assessment building envelope calculation – 293m²

The application is subject to objections in terms of bulk, scale and form including compliance against Part B3.2 building envelope controls for front and side setbacks.

Part B3.2.2: Front Setback

The battle-axe lot numerical front setback control under C3 of Part B3.9 is 6m from the primary frontage, which is the boundary closest to the access handle leading to the street.

Subject to **Condition C.1 a) and b)** numerical non-compliance with C3 of Part B3.9 does not hinder achievement of the underlying objectives of the control and is supported, including as follows:

- Development remains consistent with the surrounding pattern of development in the precinct. (O1 and O2)

- Adequate building separation is maintained in terms of the amenity of occupants and adjoining properties.
- Adequate landscaped area and deep soil planting forward of the building. (O3)

Recommended **Condition C.1** requires:

- **C.1 a)** Dwelling A - The first floor level west elevation door openings W19, W20 and W21 be translucently glazed to a height of 1.5m above the floor level.
- **C.1 b)** Dwelling A -The first floor level west elevation balcony is to be deleted or modified into 3 x individual juliet style balconies, each not exceeding the width of the door openings W19, W20 and W21 by more than 150mm and must not have depth greater than 300mm.

In all other aspects the proposal accords with the applicable objectives and controls:

- O4 and C2 (*maximum unarticulated width*)

Part B3.2.3: Side Setbacks



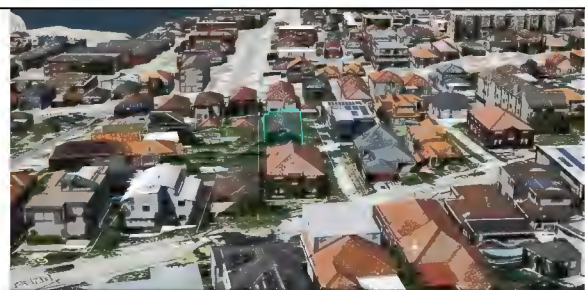
Fig. Existing north elevation



Fig. Existing south elevation



Fig. Setback patterns of the immediate streetscape



With a site width of 20.4m measured along front setback line as per C3 of Section B3.9, the table in Figure 5A of C1 requires minimum side setbacks of 2.7m.

C5 notes a maximum unarticulated wall length of 12m to the side elevation, beyond which the side setback is increased by at least 1.5m for a minimum distance of 2.4m.

Northern Side Setback

Given the direct interface between the subject site's northern side boundary and the rear private open space of Nos. 5-13 Clarendon Street, it is considered that the side setback non-compliance generates potential amenity impacts to those properties, including an unacceptable visual impact, and potential visual and acoustic privacy impacts. As such, the recommended deferred commencement condition requires the proposed development to incorporate a 2.7m setback from the northern site boundary at the lower ground, ground and first floor levels.

Southern Side Setback

The non-compliance to the southern side setback boundary is limited to the rear 9.75m of the proposed building. The non-compliance is associated with solar access impacts to 29 Captain Pipers Road and view impacts to 27 Captain Pipers Road. In these circumstances, and given the non-compliance with the floorplate control, the non-compliance cannot be supported and the recommended deferred commencement condition requires the proposed development to incorporate a 2.7m setback from the southern site boundary at the lower ground, ground and first floor levels.

Part B3.2.4: Rear Setback

Formulaic compliance with C1, C2 and C4 of Part 3.2.4 results in rear setbacks along the side boundaries as follows:

- 15.48m to the north side boundary $50.55\text{m} - 27.8\text{m} (50.552\text{m} \times 0.55) - 7.27\text{m}$
- 11.85m to the south side boundary $42.5\text{m} - 23.38\text{m} (42.5\text{m} \times 0.55) - 7.27\text{m}$

The proposal as revised accords with the applicable rear setback objectives and controls:

- O1, O2, O3, O4, O5, O6, C1 and C2 (*rear setback*)

Part B3.2.5: Wall Height and Inclined Plane

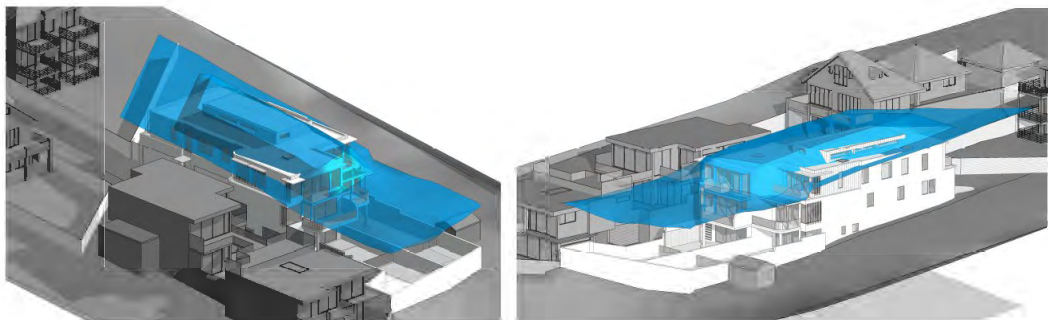


Fig. Applicant provided 9.5m and 7.2m Wall Height and Inclined Plane analysis

C1 and C2 specify:

- *C1 On land zoned R2 Low Density Residential and for a dwelling house, semi-detached dwelling or dual occupancy in the R3 Medium Density Residential zone:*
 - a) the wall height is 7.2m above existing ground level; and*
 - b) an inclined plane is taken from a point 7.2m above existing ground level at each of the setbacks (the inclined plane is at 45 degrees from horizontal); and*
 - c) roof eaves may protrude into the setback if below the inclined plane.*

Refer to Figure 9.

- *C2 A variation to the wall height of 7.2m may be considered where the slope of the site within the building envelope is greater than 15 degrees.*

The variation will only be considered to walls located nearest to the downslope section of the building envelope, i.e. the section with the lowest existing ground level.

In terms of C1, the SEE in support of the revised proposal has included the following justification in terms numerical non-compliance with the 7.2m wall height and 45 degree incline plane control:

- *Only the rear part of the development does not comply with the wall height control. The proposed wall height non-compliance is minor and will not be discernible from the street frontage or adjoining properties, as demonstrated in the extract of the elevation plans and the extract of the wall height plane diagram below.*
- *The wall height non-compliance is due to balancing the level transition between the front and rear of the development, having regard to the slope of the site and ensuring that the design works internally.*
- *The proposed development sits below the LEP building height development standard of 9.5m, having a maximum building height of 9.45m.*
- *The proposal responds to the topography and context of the site and surrounding sites.*
- *The bulk and scale of the proposal is consistent with the desired future character of the area and will not be visually dominant in the streetscape or surrounding properties.*
- *The proposed development will be consistent with the height and scale of the surrounding residential developments, notably the 2-storey attached dual occupancy development to the south at 29 Captain Pipers Road and the part 2-storey / part 3-storey residential flat building to the west at 33 Captain Pipers Road.*
- *The proposed wall height will not result in adverse amenity impacts to neighbouring properties in terms of solar access, privacy views.*
- *As demonstrated in the accompanying shadow diagrams, there is not a significant difference between a development with a compliant wall height compared to the current proposal.*

In terms of C2, the slope of the site within the building envelope is approximately 10 degrees (not greater than 15 degrees).

This assessment is satisfied that the extent of breach in the 7.2m wall height and 45 degree incline plane control is acceptable, noting that the level of non-compliance will be somewhat reduced by the increased side setbacks that are required by the deferred commencement **Condition 1a)** and **b)**. Numerical non-compliance with C1 does not hinder achievement of the underlying objectives of the control and is supported, including as follows:

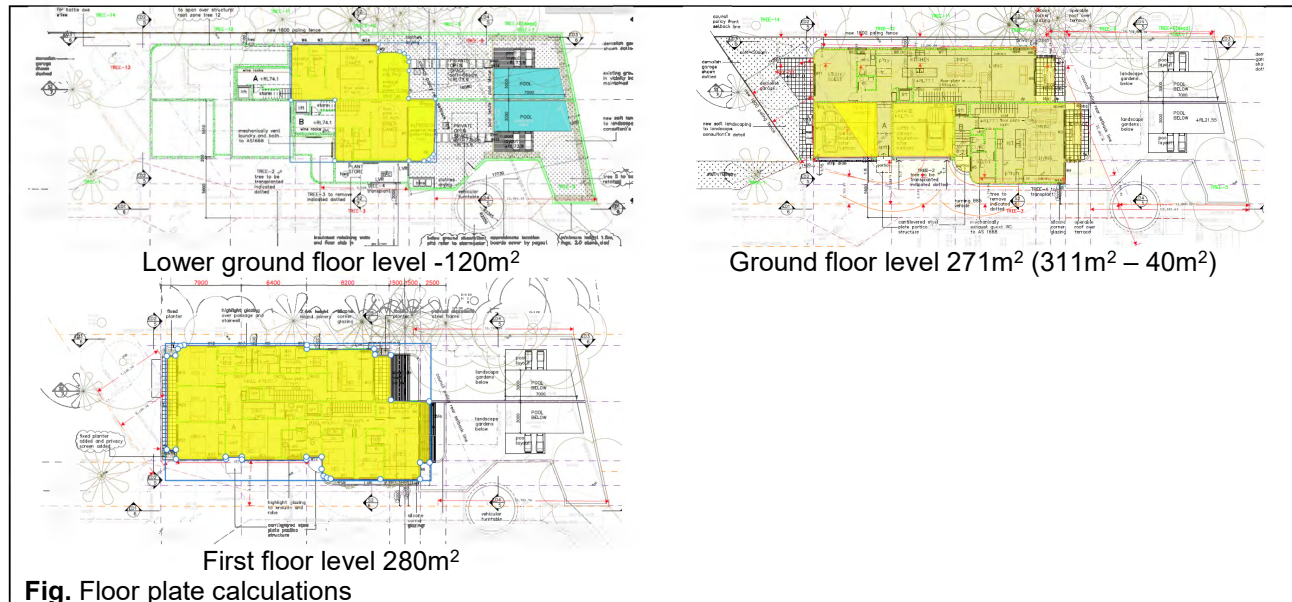
- Bulk, scale and visual impact of buildings as viewed from the street and from adjoining properties, the proposal details a flat roof to the rear associated with the non-complaint elements (O1)
- Solar access to habitable windows and south facing rear yards of adjoining properties is maintained (O2 and O3)
- Acoustic and visual privacy to adjoining and adjacent buildings (O4)
- Views between buildings (O5)

Conclusion

The proposal is acceptable with regard to the building envelope controls in Part B3.2 of the Woollahra DCP 2015.

14.2.2. Part B3.3: Floorplates

	Proposed	Control	Complies
Maximum Floor Plate Buildable area 293m ²	220% 671m ²	165% 483.45m ²	No



The application is subject to objections in terms of bulk, scale and form and siting of the development including compliance against Part B3.3 floorplate controls.

C1 limits the floorplate, being the measurable floor area as a proportion of the buildable area, to 165%. In this instance, this equates to 483.4m² (293m² x 1.65). As per C5, it does not include 40m² of proposed car parking to Dwelling A and Dwelling B located inside of the buildable area.

The proposal as revised details 671m² of calculable floor plate is distributed as follows:

- 120m² lower ground floor level
- 271m² Ground floor level
- 280m² first floor level

In terms of C1, the SEE in support of the revised proposal has included the following justification in terms numerical non-compliance with the C1 floorplate control:

- *The proposal responds to the topography and context of the site and surrounding sites.*
- *The bulk and scale of the proposal is consistent with the desired future character of the area and will not be visually dominant in the streetscape or as viewed from the right of way or nearby adjoining properties.*
- *The proposed development will be consistent with the height and scale of the surrounding residential developments, refer to the photos in Section 3 of this SEE and the extract of the 3D model below.*
- *The proposed bulk is similar to the 2-storey attached dual occupancy development at 29 Captain Pipers Road south of the site*
- *28.5m² of the floor plate is external space below ground terrace areas which does not significantly contribute to the perceived bulk.*
- *The proposal will not result in adverse amenity impacts to neighbouring properties in terms of solar access, privacy views.*
- *The proposal complies with the deep soil landscape area and front landscaping DCP controls. The proposal landscaping will soften the appearance of the built form.*

It is noted that the deferred commencement **Condition 1 a) and b)** which requires increases to the side setbacks at the northern and southern side boundaries across all three levels will cumulatively result in a reduction of approximately 90m² to the proposed floorplate. The residual floorplate of 581m² equates to 198% of the buildable area or a 98m² exceedance of the floorplate control,

The residual non-compliance is considered below:

- Subject to the recommended deferred commencement condition, the proposal would comply with the side and rear setback controls under Section B3.2.2. The front setback non-compliance as considered under Section 14.2.1 of the report is considered to be acceptable.
- Subject to the recommended deferred commencement condition, the proposal would achieve compliance with the deep soil landscaping requirements across the site.
- The residual floorplate is contextually appropriate given the site area of approximately 785m² (exclusive of the access handle).
- Amenity impacts relating to views, solar access and privacy are appropriately addressed via conditions of consent.

Conclusion

The proposal is therefore acceptable with regard to the floorplate controls in Part B3.3 of the Woollahra DCP 2015 subject to the amendments required under the recommended deferred commencement condition.

14.2.3. Part B3.4: Excavation

Site Area: 966.5m ²	Proposed	Control	Complies
C1 B3.4 Maximum Volume of Excavation	210m ³	240m ³	Yes
C6, C7 B3.4 Basement Wall Setback	1.1m	1.5m	No
C9 B3.4 Geotechnical Report	Excavation works and setbacks supported by a Geotechnical and hydrogeological report	Required Where > 2.0m	Yes

The application is subject to objections in terms of excavation including compliance against Part B3.4 excavation controls.

C7 specifies:

- *C7 Notwithstanding C6, basement walls for residential flat buildings, manor houses, multi dwellings housing, multi dwelling housing (terraces) and attached dwellings are no closer to the boundary than 1.5m*

The proposal includes new basement walling set 1m from the northern side boundary. The recommended deferred commencement condition would require this wall to be set back 2.7m from the boundary, which would achieve compliance with control C7.

In all other aspects, the proposal is accordant with the applicable objectives and controls:

- O1, O2, O3, O4, O5, C1, C4, C5, C6, C7 and C9 (*excavation controls*)

Conclusion

The proposal is therefore acceptable with regard to the excavation controls in Part B3.4 of the Woollahra DCP 2015.

14.2.4. Part B3.5: Built Form and Context

The application is subject to objections in terms of bulk, form and scale, access to sunlight, private views, acoustic and visual privacy and the proposed siting of development relative to surrounding development, including compliance against Part B3.5 built form and context controls.

Part B3.5.1: Streetscape and Local Character

	Proposed	Control	Complies
C2 B3.5.1 Significant Trees	Retained	Retained	Yes
C3 B3.5.1 Siting of Development	Stepped Down with the Slope	Stepped Down with the Slope	Yes
C4 B3.5.1 Colour Scheme	Consistent	Consistent	Yes

The application is subject to objections in terms of bulk, scale and form including compliance against Part B3.5.1.

The design of the proposed dual occupancy (attached) as revised is suitably consistent with the desired future character of the Vaucluse East Precinct.

The proposal is compliant in terms of the applicable objectives and controls:

- O1, O2, O3, CI, C2, C3, C4, C5 and C6 (*streetscape character*)
- O4, C7 and C8 (*roof forms*)
- O5 and C9 (*public domain surveillance*)

Part B3.5.2: Overshadowing

	Existing	Proposed	Control	Complies
C1 a) B3.5.2 Solar access to ground level open space of adjacent properties: <ul style="list-style-type: none"> • No. 33 Captain Pipers • No. 27 Captain Pipers • No. 29B Captain Pipers • No. 29A Captain Pipers 	<ul style="list-style-type: none"> >50% and >35m² >50% and <35m² >50% and >35m² <50% and <35m² 	<ul style="list-style-type: none"> >50% and >35m² >50% and <35m² >50% and >35m² <50% and <35m² 	50% or 35m ² for 2 hours between 9am-3pm 21 June	<ul style="list-style-type: none"> Yes Yes Yes No
C1 b) B3.5.2 Solar access to north facing windows to upper level habitable rooms of adjacent dwellings: <ul style="list-style-type: none"> • No. 29A Captain Pipers • No. 29B Captain Pipers 	<ul style="list-style-type: none"> >3hrs >3hrs 	<ul style="list-style-type: none"> >3hrs >3hrs 	Portion >3hrs between 9am-3pm 21 June	<ul style="list-style-type: none"> Yes Yes

C1 and C2 specify;

- *C1 The development is designed so that:*
 - sunlight is provided to at least 50% (or 35m² with a minimum dimension of 2.5m, whichever is the lesser) of the main ground level private open space of adjacent properties for a minimum of 2 hours between 9am and 3pm on 21 June. Where existing overshadowing is greater than this, sunlight is not further reduced; and*
 - north facing windows to upper level habitable rooms of adjacent dwellings receive at least 3 hours of sun between 9am and 3pm on 21 June over a portion of their surface.*

- *C2 Lot orientation may make C1 above difficult to achieve so a reduced amount of solar access may be considered, provided the proposed building complies with all setback controls.*

The Woollahra DCP 2015 definition of north facing as follows:

- ***north facing*** the orientation range within 20° west and 30° east of true solar north.

In accordance with C1 a) the proposal maintains access to sunlight being provided to at least 50% and 35m² of the main ground level private open space of the following adjacent properties for a minimum of 2 hours between 9am and 3pm on 21 June:

- No 33 Captain Pipers Road, Vaucluse (between 9am and 12pm on 21 June)
- No. 27 Captain Pipers Road, Vaucluse (between 9am and 12pm on 21 June)
- No. 29B Captain Pipers Road, Vaucluse (between 9am and 12pm on 21 June)

The SEE in support of the revised proposal has provided the following justification in terms of overshadowing of the ground floor level private open space of No. 29A Captain Pipers Road:

- *The private open space area of this property at Level 3 is directly accessible from the upper level and is not affected.*
- *There is private open space at ground level which is not the main private open space and which is affected. This area would be affected by a compliant development on the subject site having regard to the height and setbacks controls. As demonstrated in the accompanying shadow diagrams, there is not a significant difference between a development with a compliant wall height compared to the current proposal.*

Additional overshadowing to the ground level (courtyard) private open space of No. 29A Captain Pipers Road, Vaucluse (between 9am and 12pm on 21 June) is contrary to C1 a) (*where access to sunlight is less than 50% and less than 35m²*). Non-compliance is not determinative on the basis that overshadowing has been minimised in accordance with the underlying objective O1, including:

- Subject to the recommended deferred commencement condition, the overshadowing would not derive from a non-compliance with the building envelope controls.
- Lot orientation makes compliance with C1 difficult, additional overshadowing is not attributed to any non-compliance with the building envelope controls in Part B3.2.
- In accordance with the Planning Principle "Access to sunlight" established in *The Benevolent Society v Waverley Council* [\[2010\] NSWLEC 1082- external site](#) at 133-144:
 - The siting and configuration of the ground floor level courtyards to No. 29A are highly vulnerable to being further overshadowed.
 - The extent of additional overshadowing is minimised and does not arise from poor design.

In accordance with C1 b) the proposal maintains access to sunlight being provided to the north facing windows to upper level habitable rooms of the adjacent dwellings Nos. 29A and 29B Captain Pipers Road, Vaucluse for 3 hours of sun between 9am and 3pm on 21 June.

Accordingly, the proposal as revised is compliant in terms of the applicable objectives and controls:

- O1, C1 and C2 (*overshadowing to adjoining properties*)

Part B3.5.3: Public and Private Views

Public views

The subject site and adjoining public domain is not identified as being sited along a significant view and vista identified in the Vaucluse East Residential Precinct Map 11 of Part B1.11.

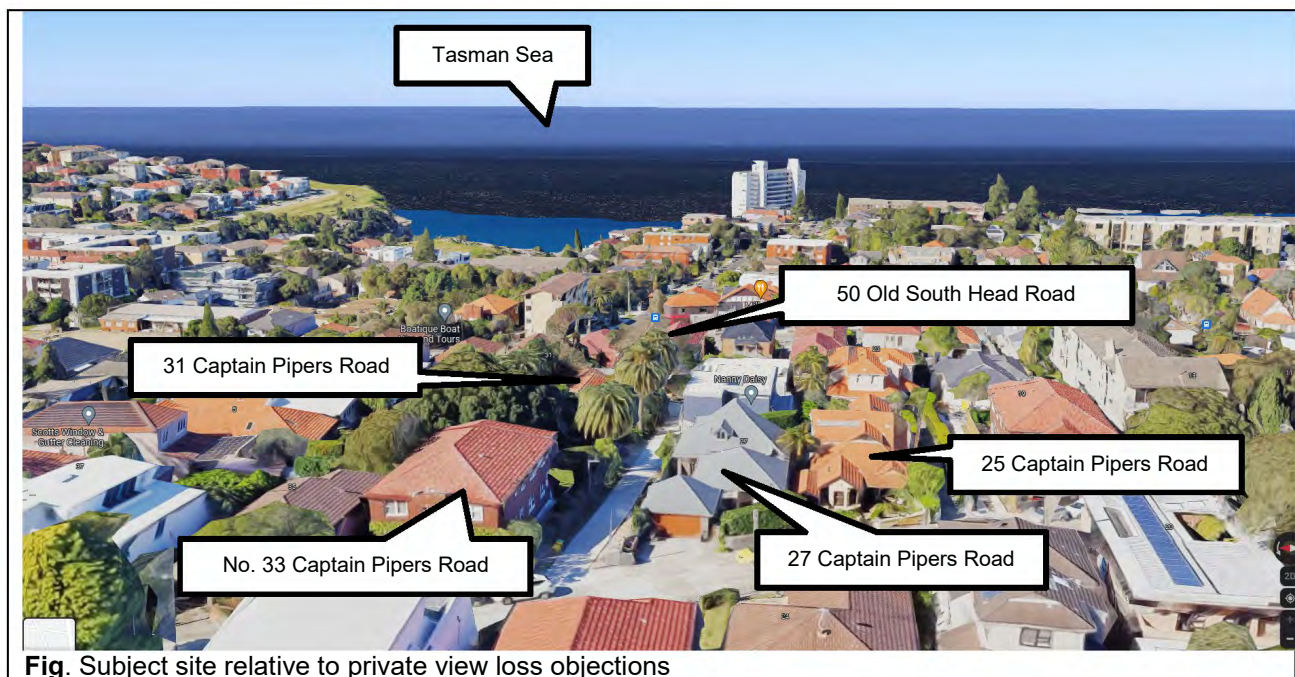
The proposal would not give rise to public view or vista impacts. The proposal is compliant in terms of the applicable objectives and controls:

- O1, O2, C1, C2, C3 and C4 (*public views and vistas*)

Private views

Private view loss objections were submitted from the following properties

- No. 50 Old South Head Road, Vaucluse
- No. 25 Captain Pipers Road, Vaucluse
- No. 27 Captain Pipers Road, Vaucluse
- No. 3/33 Captain Pipers Road, Vaucluse
- No. 4/33 Captain Pipers Road, Vaucluse



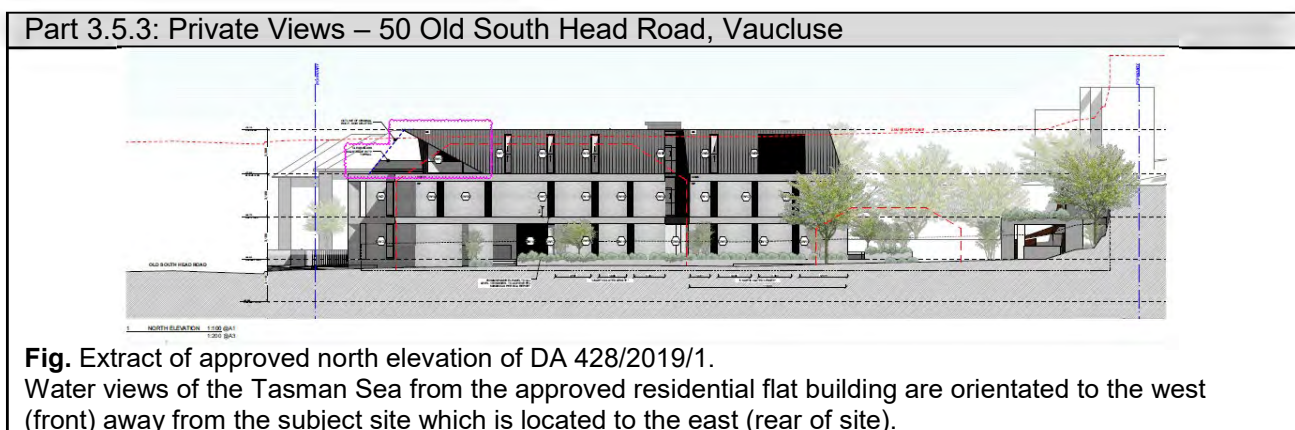
In assessing the reasonableness or otherwise of the degree of view loss, this report has had regard to the planning principle for “principles of view sharing” established in Tenacity Consulting v Warringah [2004] NSWLEC 140:

- Step 1 - Assessment of views to be affected.
 - *26 The first step is the assessment of views to be affected. Water views are valued more highly than land views. Iconic views (eg of the Opera House, the Harbour Bridge or North Head) are valued more highly than views without icons. Whole views are valued more highly than partial views, eg a water view in which the interface between land and water is visible is more valuable than one in which it is obscured.*

- Step 2 - Consider from what part of the property the views are obtained.
 - *27 The second step is to consider from what part of the property the views are obtained. For example the protection of views across side boundaries is more difficult than the protection of views from front and rear boundaries. In addition, whether the view is enjoyed from a standing or sitting position may also be relevant. Sitting views are more difficult to protect than standing views. The expectation to retain side views and sitting views is often unrealistic.*
- Step 3 - Assess the extent of the impact.
 - *28 The third step is to assess the extent of the impact. This should be done for the whole of the property, not just for the view that is affected. The impact on views from living areas is more significant than from bedrooms or service areas (though views from kitchens are highly valued because people spend so much time in them). The impact may be assessed quantitatively, but in many cases this can be meaningless. For example, it is unhelpful to say that the view loss is 20% if it includes one of the sails of the Opera House. It is usually more useful to assess the view loss qualitatively as negligible, minor, moderate, severe or devastating.*
- Step 4 - Assess the reasonableness of the proposal that is causing the impact.
 - *29 The fourth step is to assess the reasonableness of the proposal that is causing the impact. A development that complies with all planning controls would be considered more reasonable than one that breaches them. Where an impact on views arises as a result of non-compliance with one or more planning controls, even a moderate impact may be considered unreasonable. With a complying proposal, the question should be asked whether a more skilful design could provide the applicant with the same development potential and amenity and reduce the impact on the views of neighbours. If the answer to that question is no, then the view impact of a complying development would probably be considered acceptable and the view sharing reasonable.*

View loss assessments have been undertaken as follows:

No. 50 Old South Head Road, Vaucluse



In terms of Steps 1 to 4 of the planning principle for “principles of view sharing” established in *Tenacity Consulting v Warringah* [2004] NSWLEC 140:

Step 1 - Assessment of views to be affected.

The objection from No. 50 Old South Head Road, Vaucluse has not included any view analysis photos and a site inspection is not deemed necessary.

The proposal does not affect any water views of Sydney Harbour, the City Skyline or water views of the Tasman Sea.

No further assessment is required.

No. 25 Captain Pipers Road, Vaucluse

Part 3.5.3: Private Views – 25 Captain Pipers Road, Vaucluse



Fig. WMC view assessment photo from first floor study of 25 Captain Pipers Road (DA 428/2019/1 file) dated 10/04/2019. Figure 14. DA Report DA 428/2019/1 50 Old South Head Road Vaucluse - Woollahra Local Planning Panel (Public Meeting) Agenda item D1.




Fig. WMC view assessment photo from, first floor level No. 25 Captain Pipers Road (DA 428/2019/1 file) dated 10/04/2019.

The objection from No. 25 Captain Pipers Road, Vaucluse has not included any view analysis photos and a site inspection is not deemed necessary. Views from the objecting property are obtained not over the subject site, but rather over the adjoining property at 29 Captain Pipers Road and the property at 50 Old South Head Road, which is currently under development.

In terms of Steps 1 to 4 of the planning principle for “principles of view sharing” established in Tenacity Consulting v Warringah [2004] NSWLEC 140:
Step 1 - Assessment of views to be affected.

The proposal does not affect any water views of Sydney Harbour, the City Skyline or water views of the Tasman Sea.

No further assessment is required.

No. 27 Captain Pipers Road Vaucluse

Part 3.5.3: Private Views – No. 27 Captain Pipers Road Vaucluse



Fig. Objector Image titled: *Current view from open private space and internal habitable areas of 27 Captain Pipers Road. Sitting at kitchen table*



Fig. Objector view analysis image titled: *Impact on view, privacy, visual and acoustic amenity from the kitchen window by proposal's gross non-compliance. Additional image provided for comparison.*



Fig. Objector view analysis image titled: *Impact on view by proposal's gross non-compliance from main internal habitable area.* Additional image provided for comparison.

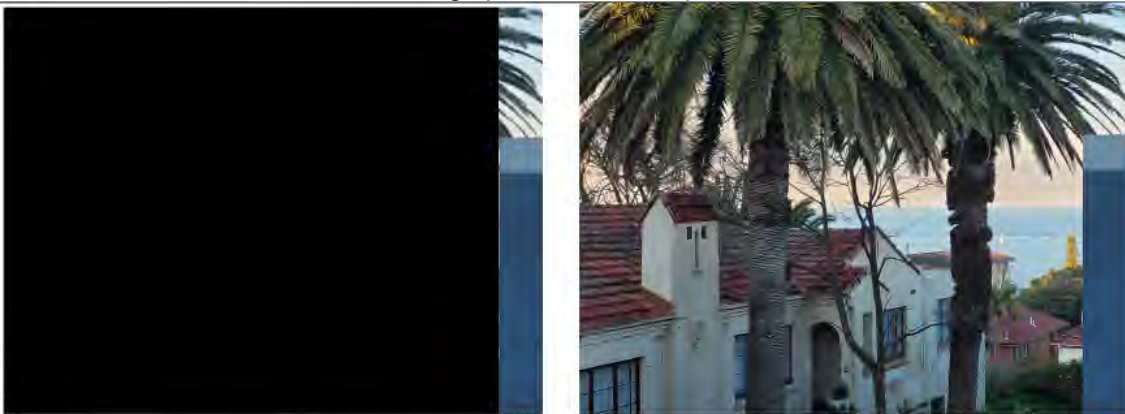


Fig. Objector view analysis image titled: *Impact on view by proposal's gross non-compliance from private open space balcony.* Additional image provided for comparison.

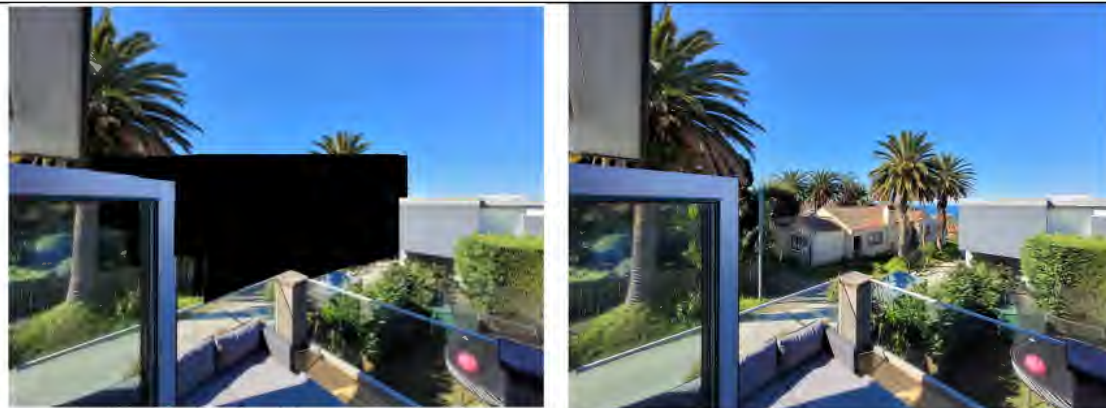


Fig. Objector view analysis image titled: *Impact on view, privacy, visual and acoustic amenity by proposal's gross non-compliance.* Additional image provided for comparison.

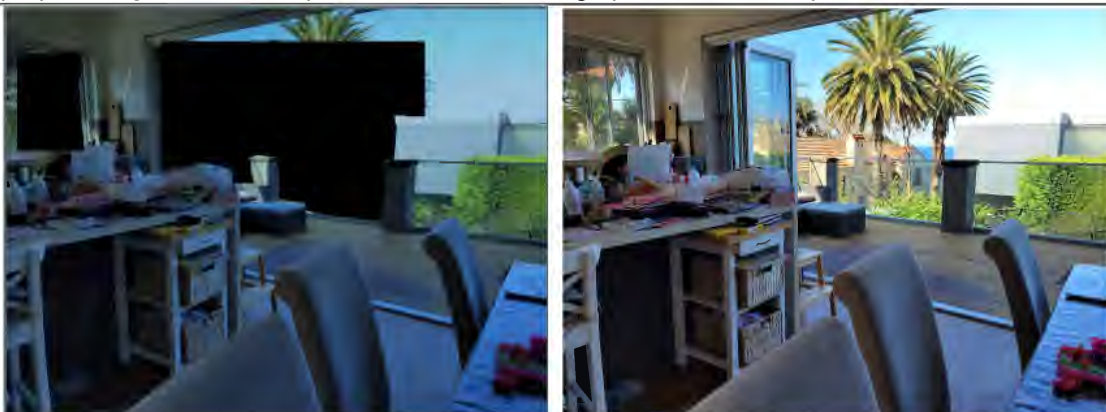


Fig. Objector view analysis image titled: *Impact on view, privacy, visual and acoustic amenity by proposal's gross non-compliance. Sitting at kitchen table.* Additional image provided for comparison.



Fig. Objector view analysis image titled: *Impact on view, privacy, visual and acoustic amenity by proposal's gross non-compliance from main habitable living area and lounge room.* Additional image provided for comparison.



Fig. Applicant view analysis titled: *Proposed Building no. 31 Captain Pipers Road, Vaucluse from no. 27 Captain Pipers Road -Ground floor rear terrace (existing image taken June/July 2015)*



Fig. Applicant view analysis titled: *Existing Building no. 31 Captain Pipers Road, Vaucluse from no. 27 Captain Pipers Road Ground floor rear terrace (existing image taken June/July 2015)*

In terms of Steps 1 to 4 of the planning principle for “principles of view sharing” established in *Tenacity Consulting v Warringah* [2004] NSWLEC 140:

Step 1 - Assessment of views to be affected:

The views effected are partial oblique northwest water views of the Tasman Sea.

Step 2 - Consider from what part of the property the views are obtained:

The affected water views are from the ground floor level rear elevation and balcony (main living areas). The affected views are across the side and rear boundary of this property from both standing and sitting positions.

Step 3 - Assess the extent of the impact:

The extent of the view loss quantitatively is restricted to water views of the Tasman Sea.

Qualitatively view loss arising from the proposal is moderate from each of the view analysis photos provided by the objector and applicant.

Step 4 - Assess the reasonableness of the proposal that is causing the impact.

The elements causing the view impacts are associated with the relative increase in height and bulk to the southeast elevation of the proposed dual occupancy (attached) development Dwelling B relative to the sites existing residence.

In terms of compliance with the planning controls in terms of the elements causing the impact:

- Dwelling B accords with the maximum building height under Clause 4.3 of the Woollahra LEP 2014 and the rear setback control under Part B3.2.4 of the Woollahra DCP 2015, and subject to the recommended deferred commencement **Condition 1b**), it would comply with the southern side setback control. The development exceeds the permissible floor plate control under Part B3.3 and the rear portion of the southeast elevation exceeds the 7.2m maximum wall height under Part B3.2.5 of the Woollahra DCP 2015.

Subject to deferred commencement **Condition 1b**), it is not considered there is scope for a more skilful design to provide the applicant with the same development potential and amenity such that refusal or further modification is warranted to reduce the impact on the views having regard to:

- The proposal incorporates a flat roof design set below the 9.5m maximum height standard height standard by 1.6 – 1m and floor-to-ceiling heights of 2.7m.
- The existing partial oblique northwest water views of the Tasman Sea are vulnerable to impact from complying development and variations to tree canopy.

No 4/33 Captain Pipers Road Vaucluse

Part 3.5.3: Private Views – No 4/33 Captain Pipers Road Vaucluse



Fig. Objector provided view taken from standing position to the rear elevation balcony of No 4/33 Captain Pipers Road Vaucluse



Fig. Objector provided view taken from sitting position to the rear elevation balcony of No 4/33 Captain Pipers Road Vaucluse

In terms of Steps 1 to 4 of the planning principle for “principles of view sharing” established in *Tenacity Consulting v Warringah* [2004] NSWLEC 140:

Step 1 - Assessment of views to be affected:

The views effected are partial western water views of the Tasman Sea.

Step 2 - Consider from what part of the property the views are obtained:

The affected water views are from the rear elevation private open space balcony. The affected views are across the rear boundary of this property from both standing and sitting positions.

Step 3 - Assess the extent of the impact:

The extent of the view loss quantitatively is restricted to water views of the Tasman Sea.

Qualitatively view loss arising from the proposal is moderate from each of the view analysis photos provided by the objector.

Step 4 - Assess the reasonableness of the proposal that is causing the impact.

The element causing the view impact is associated with the relative increase in height and change in form of the proposed roof form relative to the existing. The proposed clerestory roof form (RL 84.4) and principal flat roof form (RL 83.25) exceed the height of the existing pitched roof form (principal roof ridge RL 81.61) by 2.79m and 1.64m.

In terms of compliance with the planning controls in terms of the elements causing the impact:

- The proposal accords with the maximum building height under Clause 4.3 of the Woollahra LEP 2014 and the rear setback control under Part B3.2.4 of the Woollahra DCP 2015.
- The proposal exceeds the permissible floor plate control under Part B3.3, the front setback control under Part B3.2.2, side setback control under Part B3.2.3 and exceeds the 7.2m maximum wall height under Part B3.2.5 of the Woollahra DCP 2015.
- Numerical non-compliance with the front setback control under Part B3.2.2, side setback control under Part B3.2.3 and maximum wall height under Part B3.2.5 of the Woollahra DCP 2015 do not impact on existing views.
- It is considered that the non-compliance with the permissible floor plate control under Part B3.3 does not contribute significantly to the view impacts having regard to compliance with the maximum building height under Clause 4.3 of the Woollahra LEP 2014 and the rear setback control under Part B3.2.4 of the Woollahra DCP 2015.

Notwithstanding the above, the deletion of the pop-up clerestory style roof form, which is sited in the middle of the roof, to a height of 1.9m above the roof slab, would perceptibly improve view retention from 33 Captain Pipers Road, without significantly detracting from the amenity of the proposed development. This is addressed via the recommended deferred commencement **Condition 1c).**

No 3/33 Captain Pipers Road Vauclose

Part 3.5.3: Private Views – No 3/33 Captain Pipers Road Vauclose

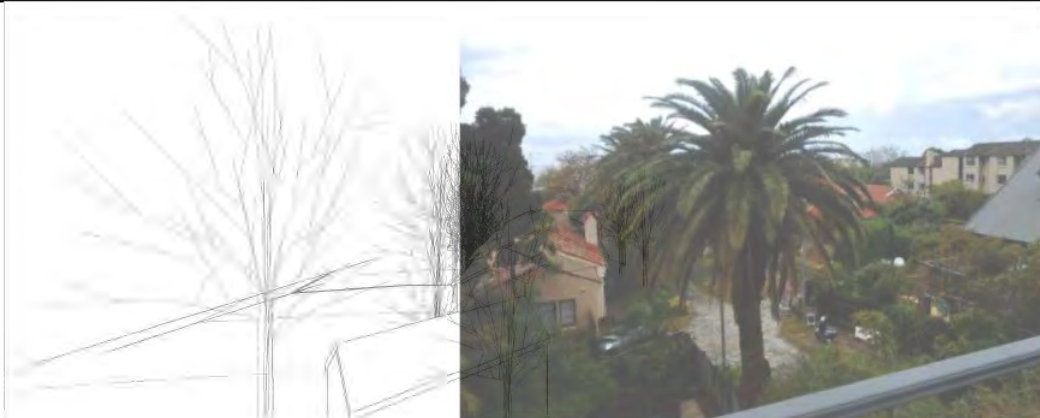


Fig. Applicant provided view analysis from rear balcony No 3/33 Captain Pipers Road Vauclose titled: *Existing Building no. 31 Captain Pipers Road, Vauclose from upper level 33 Captain Pipers Road (existing image taken June/July 2015).*

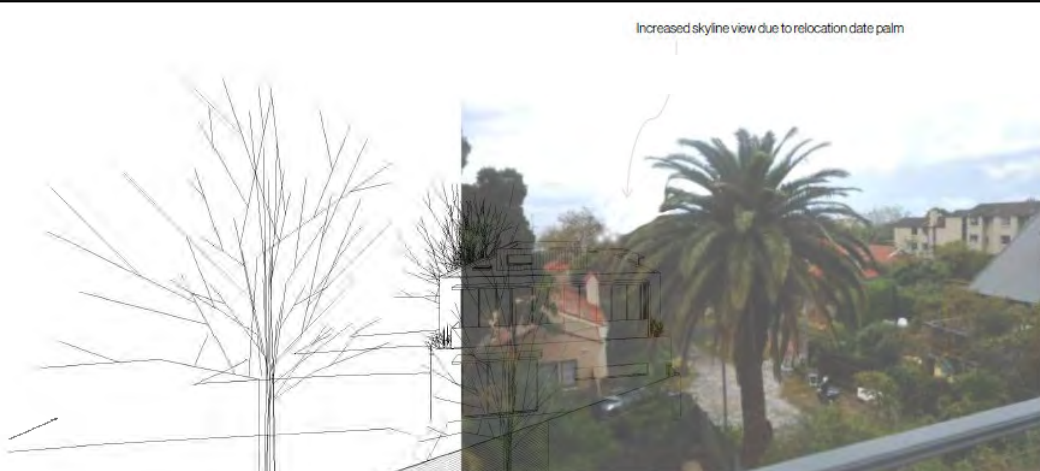


Fig. Applicant provided view analysis from rear balcony No 3/33 Captain Pipers Road Vauclose titled: *Proposed Building no. 31 Captain Pipers Road, Vauclose from upper level 33 Captain Pipers Road (existing image taken June/July 2015).*

In terms of Steps 1 to 4 of the planning principle for “principles of view sharing” established in *Tenacity Consulting v Warringah* [2004] NSWLEC 140:

Step 1 - Assessment of views to be affected:

The views effected are partial western water views of the Tasman Sea.

Step 2 - Consider from what part of the property the views are obtained:

The affected water views are from the rear elevation private open space balcony. The affected views are across the rear boundary of this property from both standing and sitting positions.

Step 3 - Assess the extent of the impact:

The extent of the view loss quantitatively is restricted to water views of the Tasman Sea.

Qualitatively view loss arising from the proposal is moderate from each of the view analysis photos provided by the objector.

Step 4 - Assess the reasonableness of the proposal that is causing the impact.

In terms of compliance with the planning controls the following comments are provided:

- The proposal accords with the maximum building height under Clause 4.3 of the Woollahra LEP 2014 and the rear setback control under Part B3.2.4 of the Woollahra DCP 2015.
- The proposal exceeds the permissible floor plate control under Part B3.3, the front setback control under Part B3.2.2, and the 7.2m maximum wall height under Part B3.2.5 of the Woollahra DCP 2015.
- Numerical non-compliance with the front setback control under Part B3.2.2, side setback control under Part B3.2.3 and 7.2m maximum wall height under Part B3.2.5 of the Woollahra DCP 2015 does not impact on existing views.
- It is considered that the non-compliance with the permissible floor plate control under Part B3.3 does not contribute significantly to the view impacts having regard to compliance with the maximum building height under Clause 4.3 of the Woollahra LEP 2014 and the rear setback control under Part B3.2.4 of the Woollahra DCP 2015.

As discussed above, the deletion of the pop-up clerestory style roof form, which is sited in the middle of the roof, to a height of 1.9m above the roof slab, would perceptibly improve view retention from 33 Captain Pipers Road, without significantly detracting from the amenity of the proposed development. This is addressed via the recommended deferred commencement **Condition 1c**.

In terms of ensure that views are not compromised by landscaping, this assessment is satisfied that the proposed landscape works (including transplantation of Canary Island Date plants) is considered in terms of ensuring that new plantings frame and preserves public and private views (not used to block views).

Accordingly, the proposal as revised is compliant in terms of the applicable objectives and controls:

- O1, O2, C1, C2, C3 and C4 (public views and vistas)
- O3, C5, C6 and C7 (private views)
- O4, C9 and C10 (landscaping)

Part B3.5.4: Acoustic and Visual Privacy

Subject to **Condition C.1**, the proposal as revised exhibits an acceptable design in terms of adequate acoustic separation for occupants and neighbours in accordance with C1.

Recommended **Condition C.1** requires:

- **C.1 a)** Dwelling A - The first floor level west elevation door openings W19, W20 and W21 are to be translucently glazed to a height of 1.5m above the floor level.
- **C.1 b)** Dwelling A - The first floor level west elevation balcony is to be deleted or modified into 3 x individual juliet style balconies, each not exceeding the width of the door openings W19, W20 and W21 by more than 150mm and with a maximum depth of 300mm.
- **C.1 c)** Dwelling A – The first floor level north elevation window openings W17 (ensuite), W9 (bath) W16 (ensuite) shall be modified to contain fixed and translucent glazing and W18 (bed 2) and W15 (bed 1) be modified to be fixed windows with translucent glazing in any part of the window below 1.5m above floor level and fitted with a winder mechanism to control the maximum angle of the opening to limit views.

In accordance with C3, conditions of development consent are recommended to ensure electrical, mechanical, hydraulic and air conditioning equipment does not create an 'offensive noise' as defined in the Protection of the Environment Operations Act 1997.

Subject to **Condition C.1** (as set out previously), the proposal as revised exhibits an acceptable design in terms of ensuring adequate visual privacy for occupants and neighbours while balancing the need to provide for reasonable levels of environmental amenity, including access to sunlight and ventilation, and good architectural outcomes in accordance with C4, C5 and C6 including as follows:

- In accordance with C4 a) window location – the proposal displays primary windows to habitable rooms located and designed to provide principal outlooks to the front and rear setback or harbour views, not to side boundaries.
- In accordance with C4 b) layout and separation – the proposal displays where possible the offsetting of windows from the windows/private open spaces of the adjoining dwelling to limit views between the windows/private open space. Having regard to side setbacks, **Condition C.1 b)** requires that the first floor level north elevation bedroom openings be fixed windows with translucent glazing in any part of the window below 1.5m above floor level and fitted with a winder mechanism to control the maximum angle of the opening to limit views.
- In accordance with C5 new bathrooms and toilet areas are both sited and located to not have direct views to, and from, habitable rooms and private open space on adjoining and adjacent properties or are treated with screening devices. Having regard to side setbacks, **Condition C.1 b)** requires that the first floor level north elevation bathrooms and toilet window openings shall be modified to contain fixed and translucent glazing.
- In accordance with C6, proposed architectural design solutions and screening device are suitably integrated with the overall design and contribute to the architectural merit of the building.

In terms of minimising the impacts of proposed private open space; subject to **Condition C.1**, the proposal as revised is acceptable in terms of the minimisation of acoustic and visual privacy impacts in accordance with C7, C8, C9 and C10 including as follows:

- Subject to **Condition C.1 b)** in accordance with C7 and C8, the trafficable area of balconies/roof terraces to the new first floor level are suitably sized, located and screened to minimise any direct views to neighbouring:
 - a) Habitable rooms (including bedrooms) within 9m.
 - b) Private open space within 9m.

Subject to conditions, the proposal is compliant in terms of the applicable objectives and controls:

- O1, C1 and C3 (*adequate acoustic privacy*)
- O2, C4, C5 and C6 (*adequate visual privacy*)
- O3, C7, C8, C8, C9, C10 and C11 (*minimise the impacts of private open space – including roof terracing*)

Part B3.5.5: Internal Amenity

The proposal is compliant in terms of the applicable objectives and controls:

- O1, O2, C1, C2, C3 and C4 (*adequate internal amenity*)

Conclusion

The proposal is acceptable with regard to the built form and context controls in Part B3.5 of the Woollahra DCP 2015.

14.2.5. Part B3.6: On-Site Parking

	Proposed	Control	Complies
C1 B3.6 Location of Parking	Within the Buildable Area	Within the Buildable Area	Yes
C11 B3.6 Width of Driveway	Right of passageway (private road)	3m	Yes
C12 B3.6 Maximum Number of Driveways	Right of passageway (private road)	1	Yes

Proposed garaging does not face the street frontage and the existing battle axe driveway is maintained.

Proposed garaging is predominantly located within the building envelope, with elements encroaching into the front setback.

Council's Development Engineer has advised that vehicular access and parking arrangements are considered satisfactory. It is noted from the submitted revised architectural plans that dimensions for the proposed tandem garage comply with AS2890.1.

The proposal is compliant in terms of the applicable objectives and controls:

- O1, O2, O3, O4, C1 and C4 (*general controls*)
- O6, O7 and C10 (*streetscape character and amenity*)
- O8 and C11, C12 and C13 (*minimise the visual and environmental impacts*)

Conclusion

The proposal is acceptable with regard to the parking controls in Part B3.6 of the Woollahra DCP 2015.

14.2.6. Part B3.7: External Areas

The application is subject to objections in terms of bulk, form and scale and the proposed siting of development (including pools) relative to provision of deep soil landscape, including compliance against Part B3.7 external area controls.

Part B3.7.1: Landscaped Areas and Private Open Space

Site Area: 966.5m²	Proposed	Control	Complies
C1 B3.7.1 50% of the site area outside the buildable area as deep soil landscaped area (966.5m ² – 293m ² = 673.5m ² x 0.5)	44.8% 302m ²	≥50% 336.75m ²	No
C2 B3.7.1 Deep Soil Landscaping – Front Setback (122m ² x 0.4)	41% 50m ²	≥40% of front setback 48.8m ²	Yes
C4 B3.7.1 Deep Soil Landscaping – Rear Setback (230m ² x 0.5)	62% 143m ²	≥50% of rear setback 115m ²	Yes
C7 B3.7.1 Private Open Space Area • Dwelling 1 – Level 1	66m ² 77m ²	≥35m ²	Yes

Site Area: 966.5m ²	Proposed	Control	Complies
<ul style="list-style-type: none"> Dwelling - Level 3 			
C8 B3.7.1 Private Open Space – Maximum Gradient <ul style="list-style-type: none"> Dwelling 1 – Level 1 (ground level) Dwelling 2 - Level 3 (above the second storey) 	1:100 1:100	1:10	Yes

Deep soil landscape area

The proposal results in a shortfall of deep soil landscaped area across the site (external to the buildable area), as required by Control C1. The increased setback from the northern side boundary as required by the recommended deferred commencement condition, will allow for the inclusion of adequate deep soil landscaped area in accordance with Control C1, and this is addressed in the condition.

Subject to the deferred commencement condition, the proposal would achieve compliance with the deep soil landscaping controls and is satisfactory in this regard.

Private open space

In accordance with C7, C8, C9 and C10, provision of primary open space for each dwelling exceeds 35m², is useable and is directly accessible from a habitable room areas.

In accordance with C12, C13 and C14, private open space areas are adequately well-designed.

In terms of balconies and roof terracing (C15) refer to acoustic and visual privacy requirements in Part B3.5.4.

The proposal is compliant in terms of the applicable objectives and controls:

- O4, C6, C8, C9 and C10 (*accessible and useable primary open space*)
- O6, C12, C13, C14 and C15 (*private open space design*)

Trees and Landscaping

In accordance with C20, proposed new landscaping, and as further conditioned by Council's Trees Officer, is suitable in terms of not adversely impacting on surrounding private and public views.

Accordingly, the proposal is compliant in terms of the applicable objectives and controls:

- O7, O8, O9, O10, C16, C17, C18, C19 and C20 (*trees and landscaping*)

Part B3.7.2: Fences

	Proposed	Control	Complies
C7 B3.7.2 Gate Swing	Opens Inwards	Opens Inwards	Yes
C9 B3.7.2 Side and Rear Fence Height	2m	1.8m	No

With the exception of minor numerical non-compliance with C9 - side and rear fence height exceeding 1.8m by 0.2m towards the rear of the site, the proposal accords with the numerical fencing controls.

Proposed fencing heights are supported and are sufficient and suitably accordant with the underlying objectives O5 of C9.

The proposal is compliant in terms of the applicable objectives and controls:

- O1, O2, O3, O4, C1, C2, C3, C4, C5, C7 and C8 (*fences general controls*)
- O5, C9 and C10 (*rear and side fencing*)
- O6 and C11 (*sloping streets*)
- O7, O8 and C15 (*material detailing*)

Part B3.7.3: Site Facilities

In terms of compliance or otherwise with Part 3.7.3, the submitted SEE in support of the revised proposal specifies:

- *The dwellings will be provided with a mailbox each that is suitably located and designed.*
- *Both dwellings include compliant storage space.*
- *An external clothes drying area can be provided in the private open space areas of each dwelling.*
- *Mechanical plant equipment (including lift overruns) will not be visible from the streetscape or public domain and will be suitably enclosed or screened to minimise noise impacts to adjoining properties.*
- *A bin storage area is provided in the western private open space area for Dwelling A and a bin storage area is provided in the rear private open space area for Dwelling B. The bins can be readily wheeled from these locations to the street frontage for garbage collection.*

The proposal is compliant in terms of the applicable objectives and controls:

- O1, O2, O3, O4, C1, C2, C3, and C4 (*mail boxes, storage and cloths drying*)
- O6, O7, O8, C7, C8 and C9 (*mechanical plant*)
- O9 and C10 (*fireplaces burn non-solid fuels*)
- O10, O11, C11 and C12 (*adequate garbage and recycling collection areas*)

Part B3.7.4: Ancillary Development – Swimming Pools, Tennis Courts and Outbuildings

	Proposed	Control	Complies
C3 B3.7.4 Swimming pool water edge from property boundaries	1m East boundary	1.8m	No
C4 B3.7.4 Level of Swimming Pool Above or Below Ground Level	<1.2m	Maximum 1.2m Change	Yes
C5 B3.7.4 Maximum Depth of Swimming Pool	1.8m	2m	Yes

With the exception of C3, the proposal as revised accords with the numerical swimming pool controls. C3 specifies:

- *C3 The swimming pool (measured from the water edge) is at least 1.8m from property boundaries.*

The submitted SEE in support of the revised proposal has provided the following justification in terms of numerical non-compliance with C4:

- *The proposed swimming pools will have a nil setback to the eastern rear boundary, which does not comply with the DCP pool setback control. However, the nil setback of the pool from the eastern rear boundary is considered reasonable in this instance as the location of the pools will not compromise the amenity of the adjoining properties to the rear and will not require extensive excavation.*

- *The proposed pools will contribute to the landscape amenity of the site and have been significantly elevated above the adjoining eastern property to restrict potential overlooking.*

Following revision, the proposed swimming pool is set back 1m from the rear (eastern boundary). This assessment is satisfied that the numerical non-compliance with C3 of Part B3.7.4 does not hinder achievement of the underlying objectives O1, O2 and O3 of the control and is supported, including as follows:

- Adequate separation, barriers and landscape areas are provided in terms of the amenity of occupants and adjoining properties (O1 and O3);
- The pool siting locations limit excavation (O2).

Conclusion

The proposal is acceptable with regard to the external controls in Part B3.7 of the Woollahra DCP 2015.

14.2.7. Part B3.8: Additional Controls for Development Other Than Dwelling Houses

The application is subject to objections in terms of bulk, form and scale and the proposed siting of development, including compliance against Part B3.8 controls relating to dual occupancy (attached) development.

Part B3.8.1 Minimum Lot Width

The proposal is for a dual occupancy (attached) development. As specified by Notes g) and i) of control C1:

- *g) No minimum lot width applies to a dwelling house, semi-detached dwelling or attached dual occupancy.*
- *i) These controls do not apply to battle-axe lots (refer to Section B3.9).*

Part B3.8.4 Dual Occupancy

The proposal is for a dual occupancy (attached), meaning two dwellings located on one lot of land. Under Woollahra LEP 2014, dual occupancies are defined as:

- ***dual occupancy (attached) means two dwellings on one lot of land that are attached to each other, but does not include a secondary dwelling.***

In accordance with C1, both dwellings in the development complement each other in terms of style, design, materials, roof form and colour scheme.

In accordance with C2, C3 and C4, each dwelling has access to suitably located and designed private open space areas, including being easily accessible, not located within the front setback area and suitably separated.

In accordance with C5, the proposed development includes a common driveway.

The proposal accords with the dual occupancy objectives and controls:

- O1 and C1 (integrated design)
- O2, C2, C3 and C4 (useable areas of private open space)
- O3, O4 and C5 (parking, streetscape character and amenity)

Conclusion

The proposal is acceptable with regard to the additional controls in Part B3.8 of the Woollahra DCP 2015.

14.2.8. Part B3.9: Additional Controls for Development on a Battle-Axe Lot

The application is subject to objections in terms of bulk, form and scale and the proposed siting of development, including compliance against Part B3.9 controls relating to for development on a battle-axe lot.

	Proposed	Control	Complies
C3 B3.3.9 - Front Setback			
<ul style="list-style-type: none"> • Lower ground floor • Ground floor • First floor 	<p style="text-align: center;">N/A</p> <p>4.7m – 7.1m 4.7m – 7.1m</p>	6m	No No

C3 species:

- *C3 A 6m setback applies to the primary frontage (refer to Figure 30) for:*
 - a) *development in the R2 Low Density Residential Zone.*
 - b) *a dwelling house or dual occupancy in the R3 Medium Density Residential Zone.*

Note:

- c) *the primary frontage is the boundary closest to the access handle leading to the street; and*
- d) *side and rear setbacks in Sections 3.2.3 and 3.2.4 apply.*

The battle-axe lot numerical front setback control under C3 of Part B3.9 is 6m from the primary frontage, which is the boundary closest to the access handle leading to the street.

As set out previously, garaging is integrated with the principal building on the site at the ground floor level.

Numerical non-compliance with the front and side setback controls have been discussed previously under consideration of Part B3.2 building envelope controls.

Subject to recommended **Condition C.1 a), b) and c)**, numerical non-compliance with C3 of Part B3.9 does not hinder achievement of the underlying objective O2 of the control and is supported, including as follows:

- The proposed development remains consistent with the surrounding pattern of development.
- Adequate building separation is maintained in terms of the amenity of occupants and adjoining properties.
- Adequate landscaped area and deep soil planting forward of the building.

Subject to condition, the proposal accords with the applicable R2 Low Density Residential Zone dual occupancy (attached) objectives and controls:

- O1, C1 and C2 (*site area and dimension requirements*)
- O2 and C3 (*building separation*)

Conclusion

The proposal is acceptable with regard to the additional controls in Part B3.9 of the Woollahra DCP 2015.

14.3. Chapter E1: Parking and Access

Part E1.4: Residential parking

The proposal provides for 4 off-street car parking spaces which accords with Council's **maximum** requirement for 2 car parking spaces per dwelling for a dual occupancy development as per the provisions of Table 1 under section E1.4.2 of Woollahra DCP 2015.

E1.6.2 Bicycle parking rates

Adequate provision has been made to potentially accommodate bicycle parking to the basement level to each dwelling in accordance with applicable requirement of 1 space per dwelling.

Part E1.10: Parking and access design standards

As set out in **Attachment 3** Council's Development Engineer considers the proposal to be satisfactory in terms of parking and access design as follows:

- *The proposed vehicular access and carparking layout comply with AS2890.1. The applicant has submitted subdivision plan demonstrating that there is an existing right-of-carriageway.*

The proposal is acceptable with regard to the parking and access objectives and controls in Chapter E1 of the Woollahra DCP 2015.

14.4. Chapter E2: Stormwater and Flood Risk Management

The application is subject to objections in stormwater, including compliance against Chapter E2 stormwater controls relating to charged stormwater discharge.

As set out in **Attachment 3** Council's Development Engineer considers the proposal as revised to be satisfactory in terms site drainage as follows:

- *The submitted revised concept stormwater plans are considered satisfactory in principle subject to refinements at the CC stage. The applicant has addressed all stormwater issues which were previously raised by Council's Engineer. In particular, the applicant has submitted documentary evidence that the acquisition of an interallotment drainage easement was unsuccessful. Also, the applicant has proposed to install rainwater retention and reuse system which based on 60m³/1000m² to comply with Chapter E2.2.9 of Council's DCP. The applicant has demonstrated that the site is unsuitable for on-site absorption, in which case an addition 20% storage volume of the RWT acts as a holding (pumpout) tank is to be provided. Stormwater will be pumped to the kerb and gutter via this pumpout system. Since stormwater runoff from the site will be discharged to the street kerb, conditions will be imposed for all below ground structures are to be fully tanked.*
- *Council's Infrastructure & Sustainability Services Division is satisfied that adequate provision could be made for the disposal of stormwater from the land it is proposed to develop and complies with Chapter E2 "Stormwater and Flood Risk Management" DCP.*

The proposal is acceptable with regard to the objectives and controls in Chapter E2 of the Woollahra DCP 2015

14.5. Chapter E5: Waste Management

Chapter E5 is applicable to all development and seeks to establish waste minimisation and sustainable waste management during demolition and construction phases and throughout the on-going use of the building.

The SWMMP addresses volume and type of waste and recyclables to be generated, storage and treatment of waste and recyclables on site, disposal of residual waste and recyclables and operational procedures for ongoing waste management once the development is complete.

The applicant provided a SWMMP with the development application and it was found to be satisfactory.

15. CONTRIBUTION PLANS

15.1. Section 7.12 Contributions Plan 2021

In accordance with Section 2.7 of the Woollahra Section 7.12 Contributions Plan 2021 a 1% levy applies with the monies being used for a variety of works as outlined in the Plan. Refer to **Condition C.2**.

Cost of Works	Rate	Contribution Payable
\$2,895,741.00	1%	\$28,957.41

16. APPLICABLE ACTS/REGULATIONS

16.1. Environmental Planning and Assessment Regulation 2021

Clause 61(1) of the EPA Regulation 2021 requires Council to take into consideration Australian Standard AS 2601-1991: The demolition of structures. This requirement is addressed by Council's standard conditions.

16.2. National Parks and Wildlife Act 1974

Council's Heritage Officer has recommended **Condition B.4** relating to unexpected findings of Aboriginal archaeological objects and associated requirements in order to satisfy the relevant requirements of the National Parks and Wildlife Act 1974.

17. THE LIKELY IMPACTS OF THE PROPOSAL

All likely impacts have been addressed elsewhere in the report, or are considered to be satisfactory and not warrant further consideration.

18. THE SUITABILITY OF THE SITE

The site is considered suitable for the proposed development as conditioned.

19. THE PUBLIC INTEREST

The proposal is considered to be in the public interest.

20. DISCLOSURE STATEMENTS

There have been no disclosure statements regarding political donations or gifts made to any Councillor or to any council employee associated with this development application by the applicant or any person who made a submission.

21. RECOMMENDATION: PURSUANT TO SECTION 4.16 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

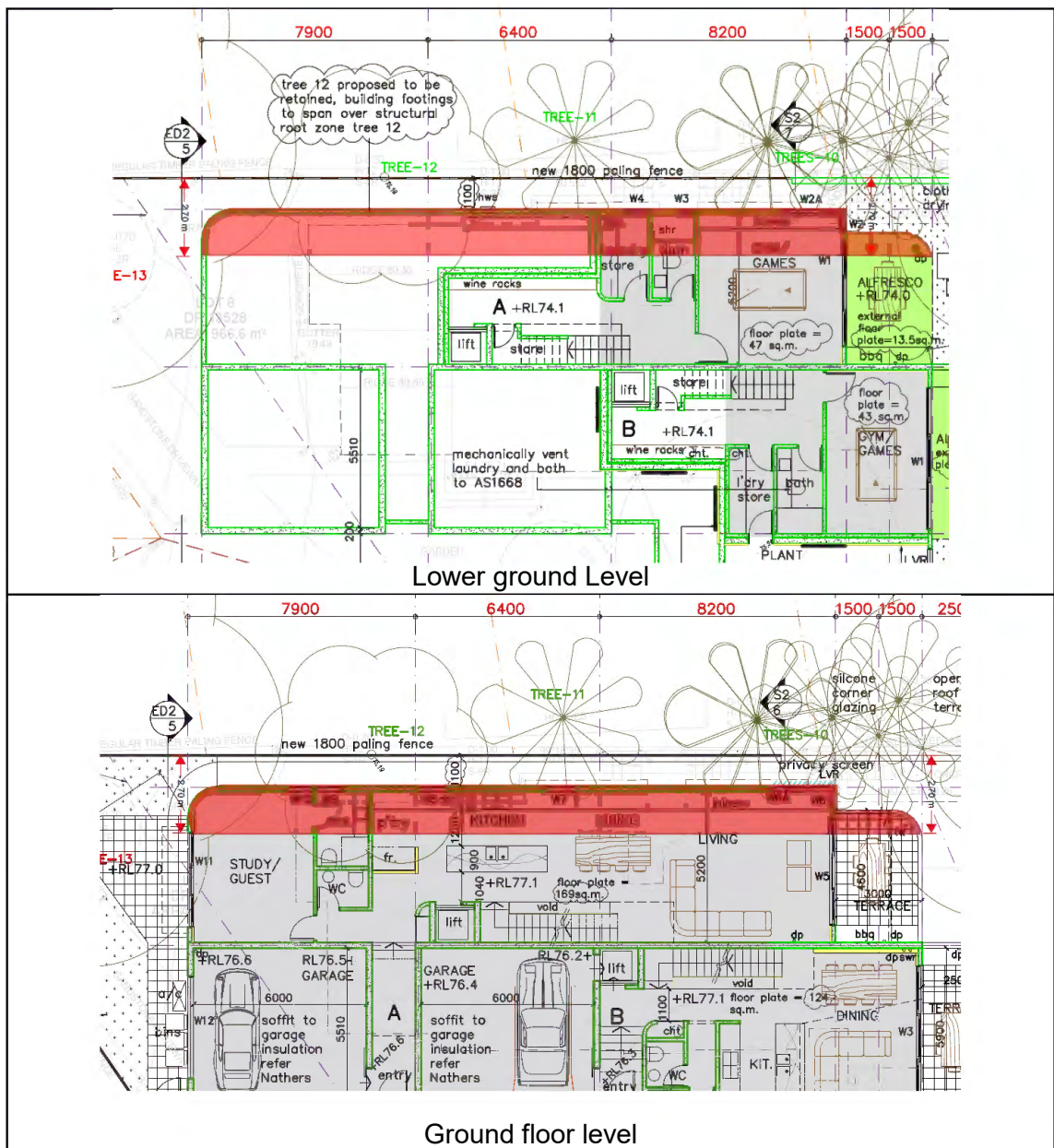
THAT the Woollahra Local Planning Panel, exercising the functions of Council as the consent authority, grant development consent to DA28/2021/1 for demolition of the existing structures and construction of a new dual-occupancy development and strata subdivision on land at 31 Captain Pipers Road Vauclose, subject to the following conditions:

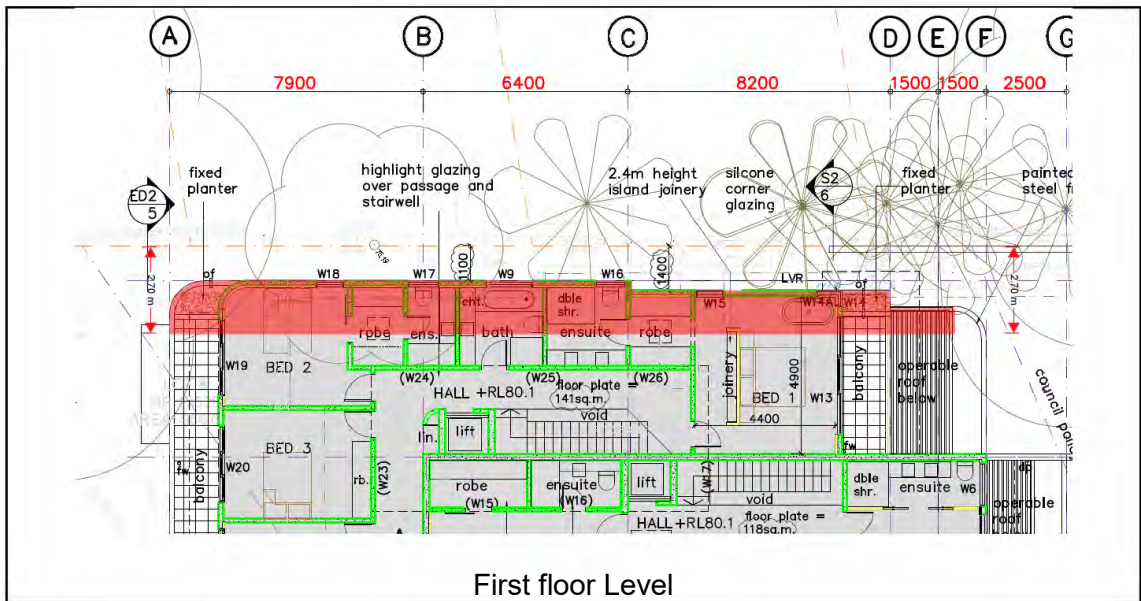
1. Deferred Commencement - (section 4.16(3) of the Act, clause 76 of the Regulation)

Development consent is granted subject that this consent is not to operate until the Applicant satisfies the Council, in accordance with the *Regulations*, as to all matters specified in this condition:

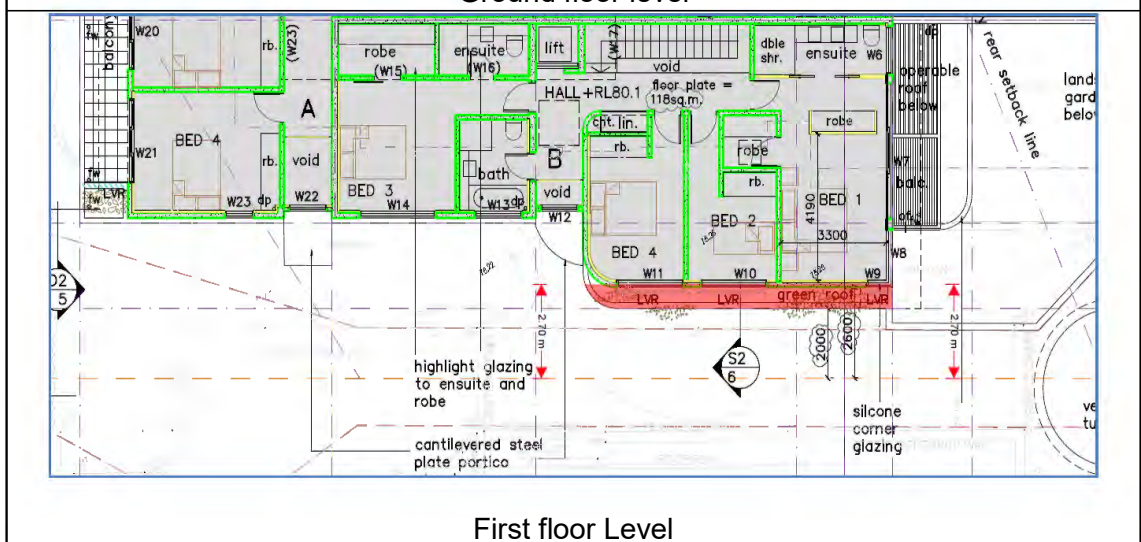
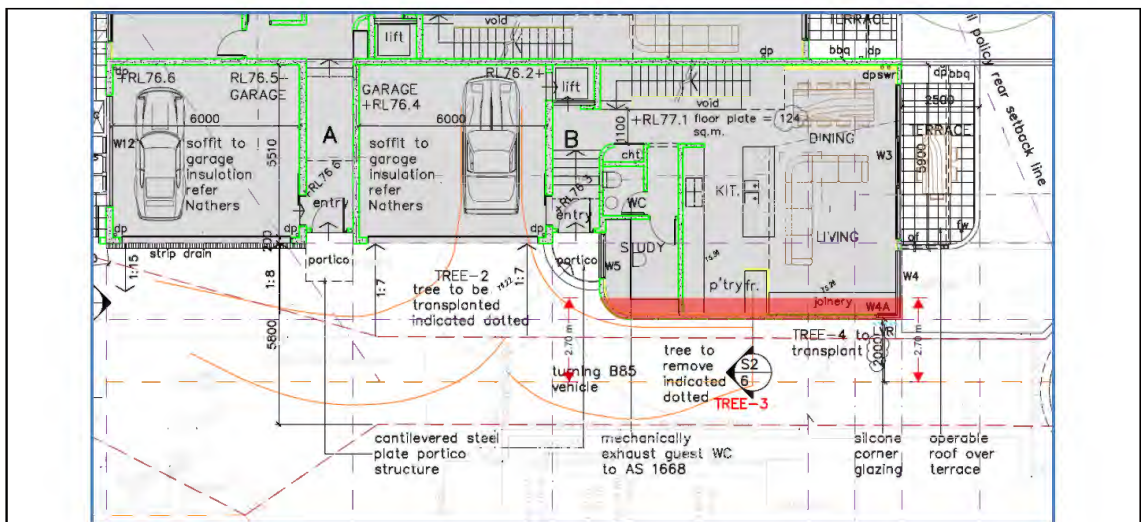
Amended architectural drawings are to be submitted to Council's Development Assessment Division for approval. The architectural drawings are to be amended as follows:

- a) Setback from northern side boundary is to be increased to 2.7m across all levels of Dwelling A. This is highlighted in red in the images below:





- b) Setback from southern side boundary is to be increased to 2.7m at the ground and upper levels of Dwelling B. This is highlighted in red in the images below:



- c) The standing seam clad clerestory roof element is to be deleted. Solar panels are to be located on the roof slab and not exceed a height of 300mm above the roof slab RL of 83.25. Skylights are to be flush with the roof.
- d) Additional deep soil landscaped area of 36m² must be provided in the side setbacks or rear setback area.

Period within which evidence must be produced

The Applicant must produce evidence to Council sufficient enough to enable it to be satisfied as to those matters above within 365 days (1 year) of the date of determination.

Clause 95(4) of the *Regulation*:

"If the applicant produces evidence in accordance with this section, the consent authority must notify the applicant whether it is satisfied about the relevant matters."

If the evidence is not produced with within 365 days (1 year) of the date of determination this deferred commencement consent is of no effect, the consent does not operate and no Construction Certificate can be issued. No development can lawfully occur under this consent unless it operates.

Note: Nothing in the *Act* prevents a person from doing such things as may be necessary to comply with this condition. (See section 4.16(3) of the *Act*)

This consent does not operate until Council has acknowledged compliance with this condition in writing.

Note: Implementing the development prior to written confirmation of compliance may result in legal proceedings. If such proceedings are required Council will seek all costs associated with such proceedings as well as any penalty or order that the Court may impose. No *Construction Certificate* can be issued until all conditions including this condition required to be satisfied prior to the issue of any *Construction Certificate* have been satisfied.

Standard Condition: A3

2. Other Conditions

A. General Conditions

A.1 Conditions

Consent is granted subject to the following conditions imposed pursuant to section 4.16 of the *Environmental Planning and Assessment Act 1979* ("the *Act*") and the provisions of the *Environmental Planning and Assessment Regulation 2000* ("the *Regulation*") such conditions being reasonable and relevant to the development as assessed pursuant to section 4.15 of the *Act*.

Standard Condition: A1 (Autotext AA1)

A.2 Definitions

Unless specified otherwise, words have the same meaning as defined by the *Act*, the *Regulation* and the *Interpretation Act 1987* as in force at the date of consent.

Applicant means the applicant for this consent.

Approved Plans mean the plans endorsed by Council referenced by this consent as amended by conditions of this consent.

AS or **AS/NZS** means Australian Standard® or Australian/New Zealand Standard®, respectively, published by Standards Australia International Limited.

BCA means the Building Code of Australia as published by the Australian Building Codes Board as in force at the date of issue of any Construction Certificate.

Council means Woollahra Municipal Council

Court means the Land and Environment Court

Local native plants means species of native plant endemic to Sydney's eastern suburbs (see the brochure titled "Local Native Plants for Sydney's Eastern Suburbs" published by the Southern Sydney Regional Organisation of Councils).

Stormwater drainage system means all works, facilities and documentation relating to:

- the collection of stormwater,
- the retention of stormwater,
- the reuse of stormwater,
- the detention of stormwater,
- the controlled release of stormwater; and
- connections to easements and public stormwater systems.

Owner means the owner of the *site* and successors in title to the *site*.

Owner-builder has the same meaning as in the *Home Building Act 1989*.

PC means the Principal Certifier under the *Act*.

Principal Contractor has the same meaning as in the *Act*, or where a Principal Contractor has not been appointed by the Owner of the land being developed Principal Contractor means the Owner of the land being developed.

Professional engineer has the same meaning as in the *BCA*.

Public place has the same meaning as in the *Local Government Act 1993*.

Road has the same meaning as in the *Roads Act 1993*.

SEE means the final version of the Statement of Environmental Effects lodged by the Applicant.

Site means the land being developed subject to this consent.

Woollahra LEP means *Woollahra Local Environmental Plan 2014*

Woollahra DCP means *Woollahra Development Control Plan 2015*

Work for the purposes of this consent means:

- the use of land in connection with development,
- the subdivision of land,
- the erection of a building,
- the carrying out of any work,
- the use of any site crane, machine, article, material, or thing,
- the storage of waste, materials, site crane, machine, article, material, or thing,
- the demolition of a building,
- the piling, piercing, cutting, boring, drilling, rock breaking, rock sawing or excavation of land,
- the delivery to or removal from the *site* of any machine, article, material, or thing, or
- the occupation of the *site* by any person unless authorised by an occupation certificate.

Note: Interpretation of conditions - Where there is any need to obtain an interpretation of the intent of any condition this must be done in writing to Council and confirmed in writing by Council.
 Standard Condition: A2 (Autotext AA2)

A.3 Approved Plans and Supporting Documents

Those with the benefit of this consent must carry out all work and maintain the use and works in accordance with both the architectural plans to which is affixed a Council stamp “Approved” and supporting documents listed below as submitted by the Applicant unless modified by any following condition.

Where the plans relate to alterations or additions only those works shown in colour or highlighted are approved.

Reference	Description	Author/Drawn	Date(s)
2002 - 1 of 7 d	Site and roof plan	Architects Ink	09/08/2021
2002 - 2 of 7 d	Lower ground floor plan		
2002 - 3 of 7 d	Ground floor plan		
2002 - 4 of 7 d	Upper floor plan		
2002 - 5 of 7 d	East & west elevations		
2002 - 6 of 7 d	North & south elevations		
2002 - 7 of 7 d	Sections		
1153767M_03	BASIX Certificate	NSW Department of Planning and Environment	13/08/2021
2002 - 1 of 1 C	Draft strata plan	Architects Ink	18/11/2021
20-4309 LO1 A 20-4309 LO2 A 20-4309 LO3 A	Ground level landscape plan Upper level landscape plan Landscape specification and guidelines	Zenith Landscape Designs	12/08/2021
CD2395	Transplant Feasibility Study	The Arborist Network	22/06/2022
--	Arboricultural Impact Assessment Report, written by dated	Alexis Anderson – Bluegum Tree Care and Consulting,	--/08/2021
6247-G1	Geotechnical Report	Assetgeoenviro	11/11/2020
S01-Rev F S02-Rev F S03-Rev F	Stormwater Management Plans	Zimmerman Engineers	04/03/2022 04/03/2022 04/03/2022
2002 - 1 of 1	Subdivision plan	Architects Ink	31/08/2020
Rev A	Site Waste Minimisation and Management Plan	Phillip Hakim	18/08/2021

Note: Warning to Accredited Certifiers – You should always insist on sighting the original Council stamped approved plans. You should not rely solely upon the plan reference numbers in this condition. Should the Applicant not be able to provide you with the original copy Council will provide you with access to its files so you may review our original copy of the approved plan.

Note: These plans and supporting documentation may be subject to conditions imposed under section 4.17(1)(g) of the *Act* modifying or amending the development (refer to conditions which must be satisfied prior to the issue of any *Construction Certificate*.)
 Standard Condition: A5 (Autotext AA5)

A.4 Ancillary Aspects of Development (section 4.17(2) of the Act)

The Owner must procure the repair, replacement or rebuilding of all road pavement, kerb, gutter, footway, footpaths adjoining the site or damaged as a result of work under this consent or as a consequence of work under this consent. Such work must be undertaken to Council's satisfaction in accordance with Council's *Specification for Roadworks, Drainage and Miscellaneous Works* (2012) unless expressly provided otherwise by these conditions at the Owner's expense.

Note: This condition does not affect the Principal Contractor's or any sub-contractors obligations to protect and preserve public infrastructure from damage or affect their liability for any damage that occurs.

Standard Condition: A8 (Autotext AA8)

A.5 Tree Preservation & Approved Landscaping Works

All landscape works shall be undertaken in accordance with the approved landscape plan, arborist report, tree management plan and transplant method statement as applicable.

a) The following trees shall be retained

- Trees on Private Land

Council Ref No.	Species	Dimension (metres)
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)	12 height x 6 crown spread
2	<i>Phoenix canariensis</i> (Canary Island Date Palm)	12 height x 6 crown spread
4	<i>Phoenix canariensis</i> (Canary Island Date Palm)	12 height x 6 crown spread

Note: Tree locations Refer Arboricultural Impact Assessment Report, written by Alexis Anderson – Bluegum Tree Care and Consulting, dated August 2021

b) The following trees may be removed:

Council Ref No.	Species	Dimension (metres)
5	<i>Olea europaea</i> Var. <i>cuspidata</i> (African Olive)	7 height x 3 crown spread
13	<i>Phoenix canariensis</i> (Canary Island Date Palm)	12 height x 6 crown spread

Note: Tree locations Refer Arboricultural Impact Assessment Report, written by Alexis Anderson – Bluegum Tree Care and Consulting, dated August 2021

Note: Tree/s to be removed shall appear coloured red on the construction certificate plans.

Note: The species marked (*) is exempt from the WMC DCP 2015 and can be removed without requiring consent from Council.

c) The following trees shall be transplanted and successfully established in the location(s) indicated on the approved landscape plan:

Council Ref No.	Species	Dimension (metres)
2	<i>Phoenix canariensis</i> (Canary Island Date Palm)	12 height x 6 crown spread
4	<i>Phoenix canariensis</i> (Canary Island Date Palm)	12 height x 6 crown spread

Note: Tree locations Refer Arboricultural Impact Assessment Report, written by Alexis Anderson – Bluegum Tree Care and Consulting, dated August 2021

Note: The tree/s required to be retained shall appear coloured yellow on the construction certificate plans.

d) In the event the palms do not survive the development or transplanting works, or if they decline and are required to be removed within a period of 24 months after the transplanting, they shall be replaced with palms of the same species with the same dimensions.

B. Conditions which must be satisfied prior to the demolition of any building or construction

B.1 Identification of Hazardous Material

In accordance with Australian Standard AS2601: *The Demolition of Structures*, the Owner shall identify all hazardous substances located on the site including asbestos, polychlorinated biphenyls (PCBs), lead paint, underground storage tanks, chemicals, etc. per clause 1.6.1 of the Standard.

In this regard, **prior to the commencement of any work**, Council shall be provided with a written report prepared by a suitably qualified competent person detailing:

- all hazardous materials identified on the site,
- the specific location of all hazardous materials identified,
- whether the hazardous materials are to be removed from the site as part of the works to be undertaken, and
- safety measures to be put in place.

Note: This condition is imposed to protect the health and safety of all persons while works are being undertaken and to ensure all safety measures have been identified and are in place to protect all parties in the immediate vicinity of the site.

Standard Condition: B6

B.2 Public Road Assets Prior to Any Work/Demolition

To clarify the condition of the existing public infrastructure prior to the commencement of any development (including prior to any demolition), the Applicant or Owner must submit to Council a full record of the condition of the public road infrastructure adjacent to the development site.

The report must be submitted to Council **prior to the commencement of any work** and include photographs showing current condition and any existing damage fronting and adjoining the site to the:

- road pavement,
- kerb and gutter,
- footway including footpath pavement and driveways,
- retaining walls within the footway or road, and
- drainage structures/pits.

The reports are to be supplied in both paper copy and electronic format in Word. Photographs are to be in colour, digital and date stamped.

If the required report is not submitted then Council will assume there was no damage to any infrastructure in the immediate vicinity of the site prior to the commencement of any work under this consent.

Note: If the Applicant or Owner fails to submit the asset condition report required by this condition and damage is occasioned to public assets adjoining the site, Council will deduct from security any costs associated with remedying, repairing or replacing damaged public infrastructure. Nothing in this condition prevents Council making any claim against security held for this purpose

Standard Condition: B7

B.3 Recording of Buildings with Little or No Heritage Significance that are to be Demolished

A photographic archival record of the building and landscape elements to be demolished is to be submitted prior to the commencement of demolition work and prior to the issue of a Construction Certificate.

The photographic archival recording is to be submitted in a digital format and is to include the following:

- a) Site plan at a scale of 1:200 (or 1:500 if appropriate) of all structures and major landscape elements including their relationship to the street and adjoining properties and directional details of photographs taken.
- b) Coloured photographs of:
 - each elevation,
 - key interior spaces,
 - each structure and landscape feature, and
 - views to the subject property from each street and laneway or public space.

Photographic archival records must be taken of the building, landscape or item in accordance with 'The Heritage Information Series: Photographic Recording of Heritage Items Using Film or Digital Capture 2006' published by the former NSW Department of Planning Heritage Branch.

One digital set is to be submitted to the satisfaction of Council prior to the commencement of demolition work and prior to the issue of a Construction Certificate.

Note: Refer to the NSW Office of Environment and Heritage website for the free publication 'Photographic Recording of Heritage Items using Film or Digital Capture' available at www.environment.nsw.gov.au/resources/heritagebranch/heritage/infophotographicrecording2006.pdf

B.4 Aboriginal Objects – Unexpected Findings

If unexpected Aboriginal objects are found during the works covered by this approval, all work must cease immediately in the affected area(s) and Heritage NSW must be notified. Additional assessment and approval pursuant to the National Parks and Wildlife Act 1974 may be required prior to works continuing in the affected area(s) based on the nature of the discovery.

Note: The Definition of Aboriginal object as per the Woollahra Local Environmental Plan 2014: any deposit, object or other material evidence (not being a handicraft made for sale) relating to the Aboriginal habitation of an area of New South Wales, being habitation before or concurrent with (or both) the occupation of that area by persons of non-Aboriginal extraction, and includes Aboriginal remains.
Standard Condition: B10

B.5 Establishment of Tree Protection Zone (TPZ) Fence

Tree Protection Zones shall be established around all trees to be retained and in accordance with Section 4 of the *Australian Standard Protection of Trees on Development Sites* (AS 4970-2009). Tree protection zones must also comply with the following requirements;

a) Tree Protection Zone areas

Council Ref No.	Species	Tree Location	Fence Radius from Centre of Trunk (Metres)
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)	South of existing building	3
7	<i>Canary Island Date Palm</i> (<i>Phoenix canariensis</i>)	Adjacent property to north	3
9	<i>Phoenix canariensis</i> (Canary Island Date Palm)	Adjacent property to north	14.5
10	<i>Syagrus romanzoffianum</i> (Cocos Palm) (x4)	Adjacent property to north	3
11	<i>Phoenix canariensis</i> (Canary Island Date Palm)	Adjacent property to north	4
14	<i>Afrocarpus falcatus</i> (Outeniqua Yellowwood)	Adjacent property to north	9.6

Note: Tree locations Refer Arboricultural Impact Assessment Report, written by Alexis Anderson – Bluegum Tree Care and Consulting, dated August 2021

Note: Where this condition relates to street trees and the fence cannot be placed at the specified radius, the fencing shall be positioned so that the entire verge (nature strip) area in front of the subject property, excluding existing driveways, footpaths and bus stops is protected.

Note: Where this condition relates to trees on private property the radial distance of fencing shall be positioned only within the subject property.

b) Tree Protection Zones shall be fenced with a 1.8 metre high chainmesh or weldmesh fence and secured to restrict access. The fence shall be established prior to any materials being bought onto the site and before the commencement of works including demolition. The area within the fence shall be mulched and maintained to a depth of 75mm. The soil within the TPZ shall be kept in a moist condition for the duration of the construction works. Unless approved by the site arborist there shall be no access within the TPZ.

c) Trunk protection shall be installed around the trunks of the following trees:

Council Ref No.	Species
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)
2	<i>Phoenix canariensis</i> (Canary Island Date Palm)
4	<i>Phoenix canariensis</i> (Canary Island Date Palm)

Trunk protection shall consist of a padding material such as hessian or thick carpet underlay wrapped around the trunk. Hardwood planks (50mm x100mm or similar) shall be placed over the padding and around the trunk of the tree at 150mm centres. The planks shall be secured with 8 gauge wire at 300mm spacing. Trunk protection shall extend a minimum height of 2 metres or to the maximum possible length permitted by the first branches.

d) A sign identifying the Tree Protection Zone shall be erected on each side of the protection fence indicating the existence of a TPZ. Signage must be visible from within the development site.

e) No excavation, construction activity, grade changes, storage of materials, stockpiling, siting of works sheds, preparation of mixes or cleaning of tools is permitted within Tree Protection Zones, unless specified in this consent.

- f) Ground protection shall be established within the specified radius from the trunks of the following trees.

Council Ref No.	Species	Radius from Centre of Trunk (Metres)
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)	3
7	<i>Canary Island Date Palm</i> (<i>Phoenix canariensis</i>)	3
9	<i>Phoenix canariensis</i> (Canary Island Date Palm)	14.5
10	<i>Syagrus romanzoffianum</i> (Cocos Palm) (x4)	3
11	<i>Phoenix canariensis</i> (Canary Island Date Palm)	4
14	<i>Afrocarpus falcatus</i> (Outeniqua Yellowwood)	9.6

Ground protection shall consist of (geotextile fabric placed directly over the ground surface with 100mm mulch / aggregate / rumble boards strapped over mulch / steel plating over 10mm mulch layer / retention of existing surface. No excavation, construction activity, grade changes, storage of materials, stockpiling, siting of works sheds, preparation of mixes or cleaning of tools is permitted within the ground protection area unless specified in this consent.

Or

Ground protection shall consist of a permeable membrane such as geotextile fabric placed directly over the ground surface underneath one of the following:

For light pedestrian traffic areas

- 100mm mulch/aggregate

For vehicle traffic areas

- rumble boards strapped over 100mm mulch/aggregate, or
- steel plating over 100mm mulch/aggregate layer, or
- retention of existing surface during works.

- g) Temporary access within the TPZ for pedestrian and machinery movements shall only be permitted with the approval of the site arborist or unless specified in this consent.
- h) The site supervisor must be made aware of all tree protection requirements associated with these conditions of consent by the project arborist. Any subsequent site personnel and contractors to the site must be made aware of all tree protection requirements by the site foreman.
- i) The project arborist shall provide written certification of compliance with the above condition.
- j) The Recommendations which form part 6 of the *Arboricultural Impact Assessment Report, written by Alexis Anderson – Bluegum Tree Care and Consulting*, dated August 2021 shall be implemented for all retained trees.

B.6 Demolition and Construction Management Plan

The Demolition and Construction Management Plan shall be reviewed and certified by the Project Arborist that appropriate tree protection measures have been accounted for. The Demolition and Construction Management Plan shall be prepared in accordance with all tree protection measures specified within this consent. Considerations by the Project Arborist shall include but not be limited to:

- a) Drawings and method statement showing details and the location of hoarding and scaffold and any pruning required to accommodate the hoarding and scaffolding;
- b) The movement and positioning of heavy machinery, lifting cranes, pier drilling gantry etc;
- c) Site construction access, temporary crossings and movement corridors on the site defined;
- d) Contractors car parking;
- e) Phasing of construction works;
- f) The space needed for all foundation excavations and construction works;
- g) All changes in ground level;
- h) Space for site sheds and other temporary structures such as toilets;
- i) Space for sorting and storing materials (short or long term), spoil and fuel and the mixing of cement and concrete; and
- j) The effects of slope on the movement of potentially harmful liquid spillages towards or into tree protection areas.

B.7 Arborists Documentation and Compliance Checklist

The site arborist shall provide written certification that all tree protection measures and construction techniques relevant to this consent have been complied with. Documentation for each site visit shall include:

- A record of the condition of trees to be retained prior to and throughout development
- Recommended actions to improve site conditions and rectification of non-compliance
- Recommendations for future works which may impact the trees

All compliance certification documents shall be kept on site by the Site Foreman.

As a minimum the following intervals of site inspections must be made:

Stage of arboricultural inspection and supervision	Compliance documentation and photos shall be included
Prior to the demolition of any building or construction and prior to the commencement of any development work	<ul style="list-style-type: none"> • Project Arborist to hold pre construction site meeting with the principal contractor to discuss methods and importance of tree protection measures and resolve any issues in relation to feasibility of tree protection requirements that may arise. Project Arborist to mark all trees approved for removal under DA consent. • The project arborist shall install or supervise the installation of tree protection fencing, trunk protection, ground protection and traffic height control beam.
During any development work	<ul style="list-style-type: none"> • The project arborist shall supervise all demolition and excavation works within the Tree Protection Zones or specified distances of nominated trees listed in this consent. • The project arborist shall supervise the demolition of the existing dwelling within the TPZ of all trees to be retained. The condition of exposed roots shall be managed and documented. • The project arborist shall ensure pier holes and footing excavations within the Tree Protection Zones or specified distances of nominated trees listed in this consent are positioned to avoid the severance of and damage to roots greater than 50mm diameter. • The project arborist shall inspect the installed irrigation system to plants in garden beds. The arborist shall certify there is an appropriate distribution of water to planted and existing trees. <p>The project arborist shall supervise all aspects of transplanting Trees 2 & 4 to ensure compliance with the Transplant Methodology detailed in the Transplant Feasibility Study prepared by The Arborist Network, dated 22 June 2022</p>

	<ul style="list-style-type: none"> Project Arborist to approve relocation of tree protection for landscaping. All landscaping works within the TPZ of trees to be retained are to be undertaken in consultation with the project Arborist to minimise the impact to trees.
Prior to any occupation or use of the building	<ul style="list-style-type: none"> Ensure all trees conditioned to be planted as part of this consent have been planted in accordance with the details prescribed in this consent.
Prior to the issue of a Final Occupation Certificate	<ul style="list-style-type: none"> The project arborist shall supervise the dismantling of tree protection measures After all demolition, construction and landscaping works are complete the project Arborist shall assess that the subject trees have been retained in the same condition and vigour. If changes to condition are identified the project Arborist should provide recommendations for remediation.

Inspections and compliance documentation shall be made by an arborist with AQF Level 5 qualifications.

Additional site visits shall be made when required by site arborist and/or site foreman for ongoing monitoring/supervisory work

C. Conditions which must be satisfied prior to the issue of any Construction Certificate

C.1 Modification of Details of the Development (section 4.17(1)(g) of the Act)

The approved plans and the Construction Certificate plans and specification, required to be submitted to the Certifying Authority pursuant to clause 139 of the *Regulation*, must detail the following amendments:

- a) The first floor level (Dwelling A) west elevation door openings W19, W20 and W21 be translucently glazed to a height of 1.5m above the floor level.

This condition is imposed to ensure adequate visual privacy for occupants and neighbours while balancing the need to provide for reasonable levels of environmental amenity, including access to sunlight and ventilation, in accordance with O2 and C4 of Part B3.5.4 and O2 and C3 of Part B3.9 of the Woollahra DCP 2015.

- b) The first floor level west elevation balcony is to be deleted or modified into 3 x individual juliet style balconies, each not exceeding the width of the door openings W19, W20 and W21 by more than 150mm and with a maximum depth of 300mm.

This condition is imposed to minimise the impacts of private open space in accordance with O3, C7 and C8 of Part B3.5.4, O6, C14 and C15 Part B3.7.1 and O2 and C3 of Part B3.9 of the Woollahra DCP 2015.

- c) The first floor level north elevation (Dwelling A) window openings W17 (ensuite), W9 (bath) W16 (ensuite) shall be modified to contain fixed and translucent glazing and W18 (bed 2) and W15 (bed 1) be modified to be fixed windows with translucent glazing in any part of the window below 1.5m above floor level and fitted with a winder mechanism to control the maximum angle of the opening to limit views.

This condition is imposed to ensure to ensure adequate visual and acoustic privacy for occupants and neighbours while balancing the need to provide for reasonable levels of environmental amenity, including access to sunlight and ventilation, in accordance with O2, C4 and C5 of Part B3.5.4 and O2 and C3 of Part B3.9 of the Woollahra DCP 2015.

- d) An amended Landscape Plan shall be prepared in accordance with Council's DA Guide and submitted to Council's Tree Officer for further assessment. The amended landscape plan must include the following:

Tree numbering amended to reflect the Arboricultural Impact Assessment Report, written by Alexis Anderson – Bluegum Tree Care and Consulting, dated August 2021.

Note: The effect of this condition is that it requires design changes and/or further information to be provided with the Construction Certificate drawings and specifications to address specific issues identified during assessment under section 4.15 of the *Act*.

Note: Clause 146 of the *Regulation* prohibits the issue of any Construction Certificate subject to this condition unless the Certifying Authority is satisfied that the condition has been complied with.

Note: Clause 145 of the *Regulation* prohibits the issue of any Construction Certificate that is inconsistent with this consent.
 Standard Condition: C4 (Autotext CC4)

C.2 Payment of Long Service Levy, Security, Contributions and Fees

The Certifying Authority must not issue any certificates under section 6.4 of the *Act* until provided with the original receipt(s) for the payment of all of the following levy, security, contributions, and fees prior to the issue of a Construction Certificate, Subdivision Certificate or Occupation Certificate, as will apply.

Description	Amount	Indexed	Council Fee Code
LONG SERVICE LEVY under <i>Building and Construction Industry Long Service Payments Act 1986</i>			
Long Service Levy www.longservice.nsw.gov.au/bci/levy/other-information/levy-calculator	Contact LSL Corporation or use online calculator	No	
SECURITY under section 4.17(6) of the <i>Environmental Planning and Assessment Act 1979</i>			
Property Damage Security Deposit -making good any damage caused to any property of the Council	\$72,563	No	T115
DEVELOPMENT LEVY under Woollahra Section 7.12 Contributions Plan 2021 This plan may be inspected at Woollahra Council or downloaded at www.woollahra.nsw.gov.au			
Development Levy (section 7.12)	\$28,957.41 + Index Amount	Yes, quarterly	T96
INSPECTION FEES under section 608 of the <i>Local Government Act 1993</i>			
Security Administration Fee	\$202	No	T16
TOTAL SECURITY, CONTRIBUTIONS, LEVIES AND FEES	\$101,722.41 plus any relevant indexed amounts and long service levy		

Building and Construction Industry Long Service Payment

The long service levy under section 34 of the *Building and Construction Industry Long Service Payment Act 1986*, must be paid and proof of payment provided to the Certifying Authority prior to the issue of any Construction Certificate. The levy can be paid directly to the Long Service Corporation or to Council. Further information can be obtained from the Long Service Corporation website www.longservice.nsw.gov.au or the Long Service Corporation on 131 441.

How must the payments be made?

Payments must be made by:

- cash deposit with Council,
- credit card payment with Council, or
- bank cheque made payable to Woollahra Municipal Council.

The payment of a security may be made by a bank guarantee where:

- the guarantee is by an Australian bank for the amount of the total outstanding contribution,
- the bank unconditionally agrees to pay the guaranteed sum to the Council on written request by Council on completion of the development or no earlier than 12 months from the provision of the guarantee whichever occurs first [NOTE: a time limited bank guarantee or a bank guarantee with an expiry date is not acceptable],
- the bank agrees to pay the guaranteed sum without reference to the Applicant or landowner or other person who provided the guarantee and without regard to any dispute, controversy, issue or other matter relating to the development consent or the carrying out of development in accordance with the development consent,
- the bank guarantee is lodged with the Council prior to the issue of the Construction Certificate, and
- the bank's obligations are discharged when payment to the Council is made in accordance with the guarantee or when Council notifies the bank in writing that the guarantee is no longer required.

How will the section 7.12 levy (formerly known as 94A levy) be indexed?

To ensure that the value the development levy is not eroded over time by increases in costs, the proposed cost of carrying out development (from which the development levy is calculated) will be indexed either annually or quarterly (see table above). Clause 3.13 of the Woollahra Section 94A Development Contributions Plan 2011 sets out the formula and index to be used in adjusting the levy.

Do you need HELP indexing the levy?

Please contact Council's Customer Service Team on ph 9391 7000. Failure to correctly calculate the adjusted development levy will delay the issue of any certificate issued under section 6.4 of the *Act* and could void any such certificate (eg Construction Certificate, Subdivision Certificate, or Occupation Certificate).

Deferred or periodic payment of section 7.12 levy (formerly known as 94A levy) under the Woollahra Section 94A Development Contributions Plan 2011

Where the Applicant makes a written request supported by reasons for payment of the section 7.12 levy other than as required by clause 3.9, the Council may accept deferred or periodic payment. The decision to accept a deferred or periodic payment is at the sole discretion of the Council, which will consider:

- the reasons given,
- whether any prejudice will be caused to the community deriving benefit from the public facilities,
- whether any prejudice will be caused to the efficacy and operation of the Plan, and
- whether the provision of public facilities in accordance with the adopted works schedule will be adversely affected.

Council may, as a condition of accepting deferred or periodic payment, require the provision of a bank guarantee where:

- the guarantee is by an Australian bank for the amount of the total outstanding contribution,
- the bank unconditionally agrees to pay the guaranteed sum to the Council on written request by Council on completion of the development or no earlier than 12 months from the provision of the guarantee whichever occurs first [NOTE: a time limited bank guarantee or a bank guarantee with an expiry date is not acceptable],
- the bank agrees to pay the guaranteed sum without reference to the Applicant or landowner or other person who provided the guarantee and without regard to any dispute, controversy, issue or other matter relating to the development consent or the carrying out of development in accordance with the development consent,
- the bank guarantee is lodged with the Council prior to the issue of the Construction Certificate, and

- the bank's obligations are discharged when payment to the Council is made in accordance with the guarantee or when Council notifies the bank in writing that the guarantee is no longer required.

Any deferred or periodic payment of the section 7.12 levy will be adjusted in accordance with clause 3.13 of the Plan. The Applicant will be required to pay any charges associated with establishing or operating the bank guarantee. Council will not cancel the bank guarantee until the outstanding contribution as indexed and any accrued charges are paid.

Standard Condition: C5

C.3 BASIX Commitments

The Applicant must submit to the Certifying Authority BASIX Certificate No. 1153767M_03 with any application for a Construction Certificate.

Note: Where there is any proposed change in the BASIX commitments the Applicant must submit of a new BASIX Certificate to the Certifying Authority and Council. If any proposed change in the BASIX commitments are inconsistent with development consent (see: clauses 145 and 146 of the *Regulation*) the Applicant will be required to submit an amended development application to Council pursuant to section 4.55 of the *Act*.

All commitments in the BASIX Certificate must be shown on the Construction Certificate plans and specifications prior to the issue of any Construction Certificate.

Note: Clause 145(1)(a1) of the *Environmental Planning and Assessment Regulation 2000* provides: "A certifying authority must not issue a Construction Certificate for building work unless it is satisfied of the following matters: (a1) that the plans and specifications for the building include such matters as each relevant BASIX certificate requires".

Standard Condition: C7

C.4 Soil and Water Management Plan – Submission and Approval

The Principal Contractor or Owner-builder must submit to the Certifying Authority a soil and water management plan complying with:

- a) "*Do it Right On Site, Soil and Water Management for the Construction Industry*" published by the Southern Sydney Regional Organisation of Councils, 2001; and
- b) "*Managing Urban Stormwater - Soils and Construction*" 2004 published by the NSW Government (*The Blue Book*).

Where there is any conflict *The Blue Book* takes precedence.

The Certifying Authority must be satisfied that the soil and water management plan complies with the publications above prior to issuing any Construction Certificate.

Note: This condition has been imposed to eliminate potential water pollution and dust nuisance.

Note: The International Erosion Control Association – Australasia www.austieca.com.au lists consultant experts who can assist in ensuring compliance with this condition. Where erosion and sedimentation plans are required for larger projects it is recommended that expert consultants produce these plans.

Note: The "*Do it Right On Site, Soil and Water Management for the Construction Industry*" publication can be downloaded from www.woollahra.nsw.gov.au, and *The Blue Book* is available at www.environment.nsw.gov.au/stormwater/publications.htm.

Note: Pursuant to clause 161(1)(a)(5) of the *Regulation* an Accredited Certifier may be satisfied as to this matter.

Standard Condition: C25

C.5 Professional Engineering Details

The Construction Certificate plans and specifications, required by clause 139 of the *Regulation*, must include detailed professional engineering plans and/or specifications for all structural, electrical, hydraulic, hydrogeological, geotechnical, mechanical and civil work complying with this consent, approved plans, the statement of environmental effects and supporting documentation.

Detailed professional engineering plans and/or specifications must be submitted to the Certifying Authority with the application for any Construction Certificate.

Note: This does not affect the right of the developer to seek staged Construction Certificates.
Standard Condition: C36

C.6 Geotechnical and Hydrogeological Design, Certification and Monitoring

The Construction Certificate plans and specification required to be submitted to the Certifying Authority pursuant to clause 139 of the *Regulation* must be accompanied by a Geotechnical / Hydrogeological Monitoring Program together with civil and structural engineering details for foundation retaining walls, footings, basement tanking, and subsoil drainage systems, as applicable, prepared by a professional engineer, who is suitably qualified and experienced in geotechnical and hydrogeological engineering.

These details must be certified by the professional engineer to:

- a) Provide appropriate support and retention to ensure there will be no ground settlement or movement, during excavation or after construction, sufficient to cause an adverse impact on adjoining property or public infrastructure.
- b) Provide appropriate support and retention to ensure there will be no adverse impact on surrounding property or infrastructure as a result of changes in local hydrogeology (behaviour of groundwater).
- c) Provide foundation tanking prior to excavation such that any temporary changes to the groundwater level, during construction, will be kept within the historical range of natural groundwater fluctuations. Where the historical range of natural groundwater fluctuations is unknown, the design must demonstrate that changes in the level of the natural water table, due to construction, will not exceed 0.3m at any time.
- d) Provide tanking of all below ground structures to prevent the entry of all ground water such that they are fully tanked and no on-going dewatering of the site is required.
- e) Provide a Geotechnical and Hydrogeological Monitoring Program that:
 - will detect any settlement associated with temporary and permanent works and structures,
 - will detect deflection or movement of temporary and permanent retaining structures (foundation walls, shoring bracing or the like),
 - will detect vibration in accordance with AS 2187.2-1993 Appendix J including acceptable velocity of vibration (peak particle velocity),
 - will detect groundwater changes calibrated against natural groundwater variations,
 - details the location and type of monitoring systems to be utilised,
 - details the pre-set acceptable limits for peak particle velocity and ground water fluctuations,
 - details recommended hold points to allow for the inspection and certification of geotechnical and hydrogeological measures by the professional engineer, and
 - details a contingency plan.

Standard Condition: C40 (Autotext: CC40)

C.7 Ground Anchors

This development consent does NOT give approval to works or structures over, on or under public roads or footpaths excluding minor works subject to separate Road Opening Permit.

The use of permanent ground anchors under Council land is not permitted.

Temporary ground anchors may be permitted, in accordance with Council's "Rock Anchor Policy", where alternative methods of stabilisation would not be practicable or viable, and where there would be benefits in terms of reduced community impact due to a shorter construction period, reduced disruption to pedestrian and vehicular traffic on adjacent public roads, and a safer working environment.

If temporary ground anchors under Council land are proposed, a separate application, including payment of fees, must be made to Council under section 138 of the *Roads Act 1993*. Application forms and Council's "Rock Anchor Policy" are available from Council's website. Approval may be granted subject to conditions of consent. Four weeks should be allowed for assessment.

Note: To ensure that this work is completed to Council's satisfaction, this consent by separate condition, may impose one or more Infrastructure Works Bonds.

Note: Road has the same meaning as in the *Roads Act 1993*.

Note: Clause 20 of the *Roads (General) Regulation 2000* prohibits excavation in the vicinity of roads as follows: "**Excavations adjacent to road** - A person must not excavate land in the vicinity of a road if the excavation is capable of causing damage to the road (such as by way of subsidence) or to any work or structure on the road." Separate approval is required under the *Roads Act 1993* for any underpinning, shoring, soil anchoring (temporary) or the like within or under any road. Council will not give approval to permanent underpinning, shoring, soil anchoring within or under any road.

Standard Condition: C41 (Autotext: CC41)

C.8 Stormwater Management Plan

Prior to issue of the Construction Certificate, the applicant must submit, for approval by the Certifying Authority, detailed stormwater management plans prepared by a suitably qualified and experienced civil engineer, which detail the following:

- a) General design in accordance with stormwater management plans, prepared by Zimmerman Engineers, referenced 2731-Rev F, dated 04/03/2022, other than amended by this and other conditions,
- b) Total kerb discharge must not exceed 20 l/s to comply with Chapter E2.2.5 of Council's DCP;
- c) All below ground is to be fully tanked or appropriately design to ensure subsoil drainage/seepage water is NOT to be collected and directed to kerb and gutter to comply with Chapter E2.2.5 of Council's DCP;
- d) Any proposed stormwater pipes across the nature strip must have a minimum grade of 1% to comply with Clause 6.3.4 of AS3500.3. The outlet pipe must be located within the frontage of the site;
- e) The installation of a min. 450x450 boundary junction pit prior to discharging into Council's kerb and gutter system;
- f) The installation of rainwater retention and reuse system with minimum storage capacity of 60m³. Runoff from all roof areas shall be collected and directed to the proposed rainwater retention and reuse system for non-potable use such as toilet flushing, laundry device, garden irrigation and car washing etc;
- g) The installation of a holding (pumpout) tank with minimum storage capacity of 12m³. Runoff from surface runoff and overflow from the proposed rainwater retention and reuse system shall be directed to this pumpout system which connects to the proposed boundary junction pit prior to discharging to the kerb and gutter;
- h) All new Stormwater Drainage System complying with the BCA;

- i) Interceptor drain(s) at the site boundary to prevent stormwater flows from the site crossing the footpath;
- j) Compliance with the Woollahra DCP 2015 Chapter E2 – Stormwater and Flood Risk Management;

For any Stormwater Drainage works on Council's property, separate approval under section 138 of the *Roads Act 1993* must be obtained from Council for those works prior to the issue of any Construction Certificate.

All Stormwater Drainage System work within any road or public place must comply with Woollahra Municipal Council's *Specification for Roadworks, Drainage and Miscellaneous Works* (2012).

The *Stormwater Management Plan* must also include the following specific requirements:

Layout plan

A detailed drainage plan at a scale of 1:100 based on drainage calculations prepared in accordance with the Institute of Engineers Australia publication, *Australian Rainfall and Run-off, 1987* edition or most current version thereof. It must include:

- a) All pipe layouts, dimensions, grades, lengths and material specification,
- b) Location of proposed rainwater tanks,
- c) All invert levels reduced to Australian Height Datum (AHD),
- d) Location and dimensions of all drainage pits,
- e) Point and method of connection to Councils drainage infrastructure, and
- f) Overland flow paths over impervious areas.

Rainwater Reuse System details:

- a) Any potential conflict between existing and proposed trees and vegetation,
- b) Internal dimensions and volume of the proposed rainwater storage,
- c) Plans, elevations and sections showing the rainwater tanks, finished surface level and adjacent structures,
- d) Details of access and maintenance facilities,
- e) Construction and structural details of all tanks and pits and/or manufacturer's specifications for proprietary products,
- f) Details of the emergency overland flow-path (to an approved Council drainage point) in the event of a blockage to the rainwater tanks,

Note: This Condition is imposed to ensure that site stormwater is disposed of in a controlled and sustainable manner.

Note: The collection, storage and use of rainwater is to be in accordance with *Standards Australia HB230-2008 "Rainwater Tank Design and Installation Handbook"*.

C.9 Tree Management Plan

The *Construction Certificate* plans and specifications shall show the following information:

- a) Trees to be numbered in accordance with these conditions:
 - shaded green where required to be retained and protected
 - shaded red where authorised to be removed
 - shaded yellow where required to be transplanted
 - shaded blue where required to be pruned
- b) References to applicable tree management plan, arborists report or transplant method statement.

This plan shall be kept on site until the issue of the final occupation certificate.

D. Conditions which must be satisfied prior to the commencement of any development work

D.1 Compliance with Building Code of Australia and insurance requirements under the [Home Building Act 1989](#)

For the purposes of section 4.17(11) of the *Act*, the following conditions are prescribed in relation to a development consent for development that involves any building work:

- a) that the work must be carried out in accordance with the requirements of the Building Code of Australia,
- b) in the case of residential building work for which the [Home Building Act 1989](#) requires there to be a contract of insurance in force in accordance with Part 6 of that Act, that such a contract of insurance is in force before any building work authorised to be carried out by the consent commences.

This condition does not apply:

- a) to the extent to which an exemption is in force under the *Home Building Regulation 2004*, or
- b) to the erection of a temporary building.

In this condition, a reference to the BCA is a reference to that code as in force on the date the application for the relevant Construction Certificate is made.

Note: This condition must be satisfied prior to commencement of any work in relation to the contract of insurance under the *Home Building Act 1989*. This condition also has effect during the carrying out of all building work with respect to compliance with the Building Code of Australia.

Note: All new guttering is to comply with the provisions of Part 3.5.2 of the Building Code of Australia.
Standard Condition: D1 (Autotext DD1)

D.2 Dilapidation Reports for existing buildings

Dilapidation surveys and dilapidation reports shall be conducted and prepared by a *professional engineer* (structural) for all buildings and/or structures that are located within the likely "zone of influence" of any excavation, dewatering and/or construction induced vibration as determined applicable by a Structural Engineer.

These properties must include (but is not limited to):

No. 29 Captain Pipers Road
No. 50 Old South Head Road

The dilapidation reports must be completed and submitted to the *Certifying Authority* for approval. A copy of the approved reports shall be submitted to Council with the *Notice of Commencement* prior to the commencement of any *development work*.

Where excavation of the site will extend below the level of any immediately adjoining building the *principal contractor* or *owner builder* must give the adjoining building owner(s) a copy of the dilapidation report for their building(s) and a copy of the *notice of commencement* required by S81A(2) of the *Act* not less than two (2) days prior to the commencement of any work.

Note: The reasons for this condition are:

- To provide a record of the condition of buildings prior to development being carried out
- To encourage developers and its contractors to use construction techniques that will minimise the risk of damage to buildings on neighbouring land

Also refer to the Dilapidation Report Advising for more information regarding this condition
Standard Condition: D4 (Autotext DD4)

D.3 Adjoining Buildings Founded on Loose Foundation Materials

The Principal Contractor must ensure that a professional engineer determines the possibility of any adjoining buildings founded on loose foundation materials being affected by piling, piers or excavation. The professional engineer (geotechnical consultant) must assess the requirements for underpinning any adjoining or adjacent buildings founded on such soil on a case by case basis and the Principal Contractor must comply with any reasonable direction of the professional engineer.

Note: A failure by contractors to adequately assess and seek professional engineering (geotechnical) advice to ensure that appropriate underpinning and support to adjoining land is maintained prior to commencement may result in damage to adjoining land and buildings. Such contractors are likely to be held responsible for any damages arising from the removal of any support to supported land as defined by section 177 of the *Conveyancing Act 1919*.
Standard Condition: D6 (Autotext DD6)

D.4 Construction Management Plan

As a result of the site constraints, limited space and access a Construction Management Plan (CMP) is to be submitted to Council. Also, due to lack of on-street parking a Work Zone may be required during construction.

The Principal Contractor or Owner must submit an application for approval of the CMP by Council's Traffic Engineer and pay all fees associated with the application.

The CMP must be submitted as a self-contained document that outlines the nature of the construction project and as applicable, include the following information:

- a) Detail the scope of the works to be completed including details of the various stages, e.g. demolition, excavation, construction etc. and the duration of each stage.
- b) Identify local traffic routes to be used by construction vehicles.
- c) Identify ways to manage construction works to address impacts on local traffic routes.
- d) Identify other developments that may be occurring in the area and identify ways to minimise the cumulative traffic impact of these developments. Should other developments be occurring in close proximity (500m or in the same street) to the subject site, the developer/builder is to liaise fortnightly with the other developers/builders undertaking work in the area in order to minimise the cumulative traffic and parking impacts of the developments.
- e) Detail how construction workers will travel to and from the site and parking arrangements for those that drive.
- f) Identify any proposed road closures, temporary traffic routes, loss of pedestrian or cyclist access or reversing manoeuvres onto a public road and provide Traffic Control Plans (TCPs) prepared by an accredited RMS Red or Orange card holder to manage these temporary changes.
- g) Detail the size (including dimensions), numbers and frequency of arrival of the construction vehicles that will service the site for each stage of works.
- h) Provide for the standing of vehicles during construction.
- i) If construction vehicles are to be accommodated on the site, provide a scaled drawing showing where these vehicles will stand and the vehicle swept path to show that these vehicles can access and egress the site in a forward direction (including dimensions and all adjacent traffic control devices, such as parking restrictions, pedestrian facilities, kerb extensions, etc.).

- j) If trucks are to be accommodated on Council property, provide a scaled drawing showing the location of any proposed Works Zone (including dimensions and all adjacent traffic control devices, such as parking restrictions, pedestrian facilities, kerb extensions, etc.).
- k) Show the location of any site sheds and any anticipated use of cranes and concrete pumps and identify the relevant permits that will be required.
- l) If a crane/s are to be accommodated on site, detail how the crane/s will be erected and removed, including the location, number and size of vehicles involved in the erection/removal of the crane/s, the duration of the operation and the proposed day and times, any full or partial road closures required to erect or remove the crane/s and appropriate Traffic Control Plans (TCPs) prepared by an approved RMS Red or Orange Card holder.
- m) Make provision for all materials, plant, etc. to be stored within the development site at all times during construction.
- n) State that any oversized vehicles proposed to operate on Council property (including Council approved Works Zones) will attain a Permit to Stand Plant on each occasion (Note: oversized vehicles are vehicles longer than 7.5m or heavier than 4.5T.)
- o) Show the location of any proposed excavation and estimated volumes.
- p) When demolition, excavation and construction works are to be undertaken on school days, all vehicular movements associated with this work shall only be undertaken between the hours of 9.30am and 2.30pm, in order to minimise disruption to the traffic network during school pick up and drop off times.
- q) Show the location of all Tree Protection (Exclusion) zones (Note: storage of building materials or access through Reserve will not be permitted without prior approval by Council).

Note: A minimum of eight weeks will be required for assessment. Work must not commence until the Construction Management Plan is approved. Failure to comply with this condition may result in fines and proceedings to stop work.
Standard Condition: D9 (Autotext: DD9)

D.5 Works (Construction) Zone – Approval and Implementation

A Works Zone may be required for this development. The Principal Contractor or Owner can apply for a works zone. If the works zone is approved the Principal Contractor or Owner must pay all fees for this Works Zone before it can be installed.

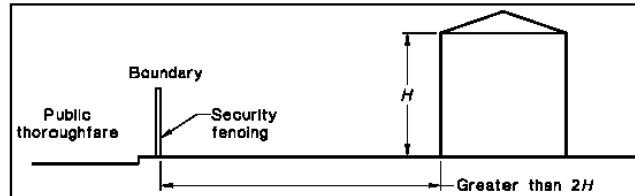
The Principal Contractor must pay all fees associated with the application and occupation and use of the road as a Works Zone. All Works Zone signs must have been erected by Council to permit enforcement of the Works Zone by Council's Rangers and NSW Police before commencement of any work. Signs are not erected until full payment of works zone fees.

Note: The Principal Contractor or Owner must allow not less than four to six weeks (for routine applications) from the date of making an application to the Traffic Committee (Woollahra Local Traffic Committee) constituted under the clause 22 of the *Transport Administration (General) Regulation 2000* to exercise those functions delegated by the Roads and Maritime Services under section 50 of the *Transport Administration Act 1988*.

Note: The enforcement of the works zone is at the discretion of Council's Rangers and the NSW Police Service. The Principal Contractor must report any breach of the works zone to either Council or the NSW Police Service.
Standard Condition: D10 (Autotext DD10)

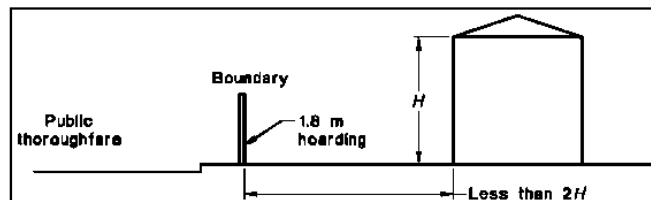
D.6 Security Fencing, Hoarding (including 'Creative Hoardings') and Overhead Protection

Security fencing must be provided around the perimeter of the development site, including any additional precautionary measures taken to prevent unauthorised entry to the site at all times during the demolition, excavation and construction period. Security fencing must be the equivalent 1.8m high chain wire as specified in AS 1725.



Type A Hoarding

Where the development site adjoins a public thoroughfare, the common boundary between them must be fenced for its full length with a hoarding, unless the least horizontal distance between the common boundary and the nearest parts of the structure is greater than twice the height of the structure. The hoarding must be constructed of solid materials (chain wire or the like is not acceptable) to a height of not less than 1.8m adjacent to the thoroughfare.



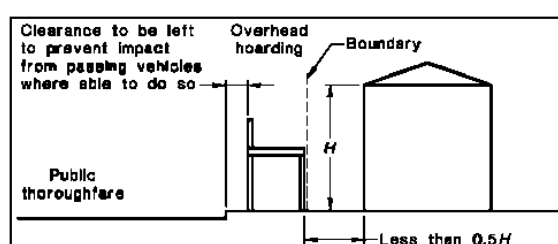
Type B Hoarding

Where a development site adjoins a public thoroughfare with a footpath alongside the common boundary then, in addition to the hoarding required above, the footpath must be covered by an overhead protective structure and the facing facade protected by heavy-duty scaffolding, unless either:

- the vertical height above footpath level of the structure being demolished is less than 4.0m; or
- the least horizontal distance between footpath and the nearest part of the structure is greater than half the height of the structure.

The overhead structure must consist of a horizontal platform of solid construction and vertical supports, and the platform must:

- extend from the common boundary to 200mm from the edge of the carriageway for the full length of the boundary,
- have a clear height above the footpath of not less than 2.1m,
- terminate 200mm from the edge of the carriageway (clearance to be left to prevent impact from passing vehicles) with a continuous solid upstand projecting not less than 0.5m above the platform surface, and
- together with its supports, be designed for a uniformly distributed live load of not less than 7 kPa.



The Principal Contractor or Owner-builder must ensure that overhead protective structures are installed and maintained in accordance with the NSW “Code of Practice - Overhead Protective Structures 1995”. This is code available at [www.safework.nsw.gov.au/ data/assets/pdf file/0008/52883/Overhead-protective-structures-Code-of-practice.pdf](http://www.safework.nsw.gov.au/data/assets/pdf_file/0008/52883/Overhead-protective-structures-Code-of-practice.pdf)

All Hoardings

Security fencing, hoarding and overhead protective structure must not obstruct access to utilities services including but not limited to man holes, pits, stop valves, fire hydrants or the like.

Hoardings on Public Land including ‘Creative Hoardings’

The Principal Contractor or Owner-builder must pay all fees associated with the application and occupation and use of the road (footway) for required hoarding or overhead protection.

A creative hoarding (i.e. an approved artwork or historic image affixed to the hoarding) is required if the hoarding meets the criteria in Council’s Creative Hoardings Policy (adopted March 2020). The cost of printing and affixing the creative hoarding is the responsibility of the Principal Contractor or Owner-builder. The Creative Hoardings Policy can be downloaded from Council’s website www.woollahra.nsw.gov.au

Note: The Principal Contractor or Owner must allow not less than two (2) weeks from the date of making a hoarding application for determination. Any approval for a hoarding or overhead protection under the *Roads Act 1993* will be subject to its own conditions and fees.

Note: Council seeks to increase public art in the public domain by requiring artwork or historic images on hoardings located on public land. Under the Creative Hoardings Policy an application for a hoarding proposed on public land will require an approved artwork or historic image affixed to the hoarding if the hoarding meets the criteria in section 3 of the Policy:

- A. Hoardings proposed on land zoned B2 Local Centre, or B4 Mixed Use, or SP2 Infrastructure under Woollahra Local Environmental Plan 2014 AND erected for 8 weeks or more
OR
- B. Hoardings proposed on land located along a State classified road (regardless of the zone) AND erected for 8 weeks or more
OR
- C. Hoardings proposed in any other location than that referred to in A. and B. above AND erected for 12 weeks or more, except where:
 - i. the capital investment value of the work to which the hoarding relates is less than \$1 million
OR
 - ii. the land is zoned R2 Low Density Residential
OR
 - iii. the land is zoned R3 Medium Density Residential and the hoarding located in a lane or street that does not have through traffic (eg a cul-de-sac or no through road).

Artwork and historic images for the hoardings are assessed and approved in accordance with the Creative Hoardings Policy. Details of the artwork or images proposed to be affixed to the hoardings must be submitted with Council’s form “Application for a permit to use a footpath for the erection of a hoarding/scaffolding”.

The Creative Hoardings Policy can be downloaded from www.woollahra.nsw.gov.au or for more information contact Council’s Cultural Development Team.

Standard Condition: D11 (Autotext DD11)

D.7 Site Signs

The Principal Contractor or Owner-builder must ensure that the sign/s required by clauses 98A and 227A of the *Regulation* is/are erected and maintained at all times.

Clause 98A of the *Regulation* provides:

Erection of signs

- For the purposes of section 4.17(11) of the *Act*, the requirements of subclauses (2) and (3) are prescribed as conditions of a development consent for development that involves any building work, subdivision work or demolition work.
- A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:
 - a. showing the name, address and telephone number of the Principal Certifier for the work, and
 - b. showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - c. stating that unauthorised entry to the work site is prohibited.
- Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.
- This clause does not apply in relation to building work, subdivision work or demolition work that is carried out inside an existing building that does not affect the external walls of the building.
- This clause does not apply in relation to Crown building work that is certified, in accordance with section 6.28 of the *Act*, to comply with the Building Code of Australia.

Clause 227A of the *Regulation* provides:

Signs on development sites

If there is a person who is the Principal Certifier or the Principal Contractor for any building work, subdivision work or demolition work authorised to be carried out on a site by a development consent or complying development certificate:

- Each such person MUST ensure that a rigid and durable sign showing the person's identifying particulars so that they can be read easily by anyone in any public road or other public place adjacent to the site is erected in a prominent position on the site before the commencement of work, and is maintained on the site at all times while this clause applies until the work has been carried out.

Note: Clause 227A imposes a penalty exceeding \$1,000 if these requirements are not complied with.

Note: If Council is appointed as the Principal Certifier it will provide the sign to the Principal Contractor or Owner-builder who must ensure that the sign is erected and maintained as required by clause 98A and clause 227A of the *Regulation*.

Standard Condition: D12 (Autotext DD12)

D.8 Toilet Facilities

Toilet facilities are to be provided, at or in the vicinity of the work site on which work involved in the erection or demolition of a building is being carried out, at the rate of one toilet for every 20 persons or part of 20 persons employed at the site.

Each toilet provided:

- a) must be a standard flushing toilet, and
- b) must be connected to a public sewer, or
- c) if connection to a public sewer is not practicable, to an accredited sewage management facility approved by the Council, or
- d) if connection to a public sewer or an accredited sewage management facility is not practicable, to some other sewage management facility approved by the Council.

The provision of toilet facilities in accordance with this condition must be completed before any other work is commenced.

In this condition:

accredited sewage management facility means a sewage management facility to which Division 4A of Part 3 of the *Local Government (Approvals) Regulation 1993* applies, being a sewage management facility that is installed or constructed to a design or plan the subject of a certificate of accreditation referred to in clause 95B of the *Local Government (Approvals) Regulation 1993*.

approved by the Council means the subject of an approval in force under Division 1 of Part 3 of the *Local Government (Approvals) Regulation 1993*.

public sewer has the same meaning as it has in the *Local Government (Approvals) Regulation 1993*.
sewage management facility has the same meaning as it has in the *Local Government (Approvals) Regulation 1993*.

Note: This condition does not set aside the requirement to comply with SafeWork NSW requirements.
Standard Condition: D13 (Autotext DD13)

D.9 Erosion and Sediment Controls – Installation

The Principal Contractor or Owner-builder must install and maintain water pollution, erosion and sedimentation controls in accordance with:

- a) The Soil and Water Management Plan if required under this consent;
- b) “*Do it Right On Site, Soil and Water Management for the Construction Industry*” published by the Southern Sydney Regional Organisation of Councils, 2001; and
- c) “*Managing Urban Stormwater - Soils and Construction*” 2004 published by the NSW Government (*The Blue Book*).

Where there is any conflict *The Blue Book* takes precedence.

Note: The International Erosion Control Association – Australasia (www.austieca.com.au/) lists consultant experts who can assist in ensuring compliance with this condition. Where Soil and Water Management Plan is required for larger projects it is recommended that this be produced by a member of the International Erosion Control Association – Australasia.

Note: The “Do it Right On Site, Soil and Water Management for the Construction Industry” publication can be downloaded from www.woollahra.nsw.gov.au and *The Blue Book* is available at www.environment.nsw.gov.au/stormwater/publications.htm

Note: A failure to comply with this condition may result in penalty infringement notices, prosecution, notices and orders under the *Act* and/or the *Protection of the Environment Operations Act 1997* **without any further warning**. It is a criminal offence to cause, permit or allow pollution.

Note: Section 257 of the *Protection of the Environment Operations Act 1997* provides inter alia that “the occupier of premises at or from which any pollution occurs is taken to have caused the pollution”

Warning: Irrespective of this condition any person occupying the site may be subject to proceedings under the *Protection of the Environment Operations Act 1997* where pollution is caused, permitted or allowed as the result of their occupation of the land being developed.
Standard Condition: D14 (Autotext DD14)

D.10 Building - Construction Certificate, Appointment of Principal Certifier, Appointment of Principal Contractor and Notice of Commencement (Part 6, Division 6.3 of the Act)

The erection of the building in accordance with this development consent must not be commenced until:

- a) A Construction Certificate for the building work has been issued by the consent authority, the Council (if the Council is not the consent authority) or an accredited Certifier, and
- b) The person having the benefit of the development consent has:
 - appointed a Principal Certifier for the building work, and
 - notified the Principal Certifier that the person will carry out the building work as an Owner-builder, if that is the case, and
- c) The Principal Certifier has, no later than 2 days before the building work commences:
 - notified the consent authority and the Council (if the Council is not the consent authority) of his or her appointment, and
 - notified the person having the benefit of the development consent of any critical stage inspections and other inspections that are to be carried out in respect of the building work, and

- d) The person having the benefit of the development consent, if not carrying out the work as an Owner-builder, has:
- appointed a Principal Contractor for the building work who must be the holder of a contractor licence if any residential building work is involved, and
 - notified the Principal Certifier of any such appointment, and
 - unless that person is the Principal Contractor, notified the Principal Contractor of any critical stage inspections and other inspections that are to be carried out in respect of the building work, and
 - given at least 2 days' notice to the Council of the person's intention to commence the erection of the building.

Note: *building* has the same meaning as in section 1.4 of the *Act* and includes part of a building and any structure or part of a structure.

Note: *new building* has the same meaning as in section 6.1 of the *Act* and includes an altered portion of, or an extension to, an existing building.

Note: The commencement of demolition works associated with an altered portion of, or an extension to, an existing building is considered to be the commencement of building work requiring compliance with section 6.6(2) of the *Act* (including the need for a Construction Certificate) prior to any demolition work. See: *Over our Dead Body Society Inc v Byron Bay Community Association Inc* [2001] NSWLEC 125.

Note: Construction Certificate Application, PC Service Agreement and Notice of Commencement forms can be downloaded from Council's website www.woollahra.nsw.gov.au

Note: It is an offence for any person to carry out the erection of a *building* in breach of this condition and in breach of section 6.6(2) of the *Act*.
Standard Condition: D15 (Autotext DD15)

E. Conditions which must be satisfied during any development work

E.1 Compliance with BCA and Insurance Requirements under the [Home Building Act 1989](#)

For the purposes of section 4.17(11) of the *Act*, the following condition is prescribed in relation to a development consent for development that involves any building work:

- a) that the work must be carried out in accordance with the requirements of the Building Code of Australia (BCA),
- b) in the case of residential building work for which the [Home Building Act 1989](#) requires there to be a contract of insurance in force in accordance with Part 6 of that Act, that such a contract of insurance is in force before any building work authorised to be carried out by the consent commences.

This condition does not apply:

- a) to the extent to which an exemption is in force under clause 187 or 188, subject to the terms of any condition or requirement referred to in clause 187 (6) or 188 (4) of the *Regulation*, or
- b) to the erection of a temporary building.

In this clause, a reference to the BCA is a reference to that Code as in force on the date the application for the relevant Construction Certificate is made.

Note: All new guttering is to comply with the provisions of Part 3.5.2 of the Building Code of Australia.
Standard Condition: E1 (Autotext EE1)

E.2 Compliance with Australian Standard for Demolition

Demolition of buildings and structures must comply with Australian Standard AS 2601—2001: *The Demolition of Structures*.

Standard Condition: E2 (Autotext EE2)

E.3 Compliance with Construction Management Plan

All development activities and traffic movements must be carried out in accordance with the approved Construction Management Plan (CMP). All controls in the CMP must be maintained at all times. A copy of the CMP must be kept on-site at all times and made available to the Principal Certifier or Council on request.

Note: Irrespective of the provisions of the Construction Management Plan the provisions of traffic and parking legislation prevails.
Standard Condition: E3 (Autotext EE3)

E.4 Requirement to Notify about New Evidence

Any new information which comes to light during remediation, demolition or construction works which has the potential to alter previous conclusions about site contamination, heritage significance, threatened species or other relevant matters must be immediately notified to Council and the Principal Certifier.

Standard Condition: E4 (Autotext EE4)

E.5 Critical Stage Inspections

Critical stage inspections must be called for by the Principal Contractor or Owner-builder as required by the Principal Certifier, any PC service agreement, the *Act* and the *Regulation*.

Work must not proceed beyond each critical stage until the Principal Certifier is satisfied that work is proceeding in accordance with this consent, the Construction Certificate(s) and the *Act*.

Critical stage inspections means the inspections prescribed by the *Regulations* for the purposes of section 6.5 of the *Act* or as required by the Principal Certifier and any PC Service Agreement.

Note: The PC may require inspections beyond mandatory critical stage inspections in order that the PC be satisfied that work is proceeding in accordance with this consent.

Note: The PC may, in addition to inspections, require the submission of Compliance Certificates, survey reports or evidence of suitability in accordance with Part A2.2 of the BCA in relation to any matter relevant to the development.

Standard Condition: E5 (Autotext EE5)

E.6 Hours of Work –Amenity of the Neighbourhood

- a) No *work* must take place on any Sunday or public holiday.
- b) No *work* must take place before 7am or after 5pm any weekday.
- c) No *work* must take place before 7am or after 1pm any Saturday.
- d) The following *work* **must not** take place before 9am or after 4pm any weekday, or before 9am or after 1pm any Saturday or at any time on a Sunday or public holiday:
 - (i) piling,
 - (ii) piercing,
 - (iii) rock or concrete cutting, boring or drilling,
 - (iv) rock breaking,
 - (v) rock sawing,
 - (vi) jack hammering, or
 - (vii) machine excavation.
- e) No loading or unloading of material or equipment associated with the activities listed in part d) above must take place before 9am or after 4pm any weekday, or before 9am or after 1pm any Saturday or at any time on a Sunday or public holiday.

- f) No operation of any equipment associated with the activities listed in part d) above must take place before 9am or after 4pm any weekday, or before 9am or after 1pm any Saturday or at any time on a Sunday or public holiday.
- g) No rock excavation being cutting, boring, drilling, breaking, sawing, jack hammering or bulk excavation of rock, must occur without a 15 minute break every hour.

This condition has been imposed to mitigate the impact of work upon the amenity of the neighbourhood. Impact of work includes, but is not limited to, noise, vibration, dust, odour, traffic and parking impacts.

Note: The use of noise and vibration generating plant and equipment and vehicular traffic, including trucks in particular, significantly degrade the amenity of neighbourhoods and more onerous restrictions apply to these activities. This more invasive work generally occurs during the foundation and bulk excavation stages of development. If you are in doubt as to whether or not a particular activity is considered to be subject to the more onerous requirement (9am to 4pm weekdays and 9am to 1pm Saturdays) please consult with Council.

Note: Each and every breach of this condition by any person may be subject to a separate penalty infringement notice or prosecution.

Note: The delivery and removal of plant, equipment and machinery associated with wide loads subject to RMS and NSW Police restrictions on their movement outside the approved hours of work will be considered on a case by case basis.

Note: Compliance with these hours of work does not affect the rights of any person to seek a remedy to offensive noise as defined by the *Protection of the Environment Operations Act 1997*, the *Protection of the Environment Operations (Noise Control) Regulation 2017*.

Note: NSW EPA Noise Guide is available at www.epa.nsw.gov.au/noise/nqlg.htm
Standard Condition: E6 (Autotext EE6)

E.7 Public Footpaths – Safety, Access and Maintenance

The Principal Contractor or Owner-builder and any other person acting with the benefit of this consent must:

- a) Not erect or maintain any gate or fence swing out or encroaching upon the road or the footway.
- b) Not use the road or footway for the storage of any article, material, matter, waste or thing.
- c) Not use the road or footway for any *work*.
- d) Keep the road and footway in good repair free of any trip hazard or obstruction.
- e) Not stand any plant and equipment upon the road or footway.
- f) Provide a clear safe pedestrian route a minimum of 1.5m wide.
- g) Protect heritage listed street name inlays in the footpath which are not to be removed or damaged during development.

This condition does not apply to the extent that a permit or approval exists under the section 148B of the *Road Transport Act 2013*, section 138 of the *Roads Act 1993* or section 68 of the *Local Government Act 1993* except that at all time compliance is required with:

- a) Australian Standard AS 1742 (Set): *Manual of uniform traffic control devices* and all relevant parts of this set of standards.
- b) Australian Road Rules.

Note: Section 73 of the *Road Transport (Safety and Traffic Management) Act 1999* allows the NSW Police to close any road or road related area to traffic during any temporary obstruction or danger to traffic or for any temporary purpose.

Note: Section 138 of the *Roads Act 1993* provides that a person must not:

- erect a structure or carry out a work in, on or over a public road, or
- dig up or disturb the surface of a public road, or
- remove or interfere with a structure, work or tree on a public road, or
- pump water into a public road from any land adjoining the road, or
- connect a road (whether public or private) to a classified road, otherwise than with the consent of the appropriate roads authority.

Note: Section 68 of the *Local Government Act 1993* provides that a person may carry out certain activities only with the prior approval of the Council including:

- Part C Management of waste:
 - a. For fee or reward, transport waste over or under a public place
 - b. Place waste in a public place
 - c. Place a waste storage container in a public place.
- Part E Public roads:
 - a. Swing or hoist goods across or over any part of a public road by means of a lift, hoist or tackle projecting over the footway
 - b. Expose or allow to be exposed (whether for sale or otherwise) any article in or on or so as to overhang any part of the road or outside a shop window or doorway abutting the road, or hang an article beneath an awning over the road.
 Standard Condition: E7 (Autotext EE7)

E.8 Tree Preservation

All persons must comply with Chapter E.3 – Tree Management of Council’s Development Control Plan (DCP) 2015, other than where varied by this consent. The DCP applies to any tree with a height greater than 5 metres or a diameter spread of branches greater than 3 metres.

General Protection Requirements

- a) The TPZ must be maintained during all development work unless otherwise specified within these conditions of consent.
- b) Excavation must cease where tree roots with a diameter exceeding 50mm are exposed. The *principal contractor* must procure an inspection of the exposed tree roots by an arborist with a minimum AQF Level 5 qualification. Excavation must only recommence with the implementation of the recommendations of the arborist.
- c) Where there is damage to any part of a tree the *principal contractor* must procure an inspection of the tree by a qualified arborist immediately. The *principal contractor* must immediately implement treatment as directed by the arborist. The arborist is to supply a detailed report to the appointed certifier.

Note: Trees must be pruned in accordance with *Australian Standard AS 4373 “Pruning of Amenity Trees”* and *WorkCover NSW Code of Practice Amenity Tree Industry*.

E.9 Paving in the vicinity of trees

Paving works within the specified radius from the trunks of the following trees shall be constructed in such a way as to ensure that the existing moisture infiltration and gaseous exchange to the tree root system are maintained. When preparing an area for paving within the specified radius the soil surface shall not be skimmed. The new surface shall be established above the former ground level.

Council Ref No.	Species	Radius from centre of trunk (metres)
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)	3
7	<i>Canary Island Date Palm</i> (<i>Phoenix canariensis</i>)	3
9	<i>Phoenix canariensis</i> (Canary Island Date Palm)	14.5
10	<i>Syagrus romanzoffianum</i> (Cocos Palm) (x4)	3
11	<i>Phoenix canariensis</i> (Canary Island Date Palm)	4
14	<i>Afrocarpus falcatus</i> (Outeniqua Yellowwood)	9.6

Paving works are to be designed in consultation with a qualified Arborist (minimum qualification of Australian Qualification Framework Level 5 or recognised equivalent) and are to utilise such measures as semiporous material.

The project arborist shall document compliance with the above condition.

E.10 Level changes in the vicinity of trees

No level changes shall occur within the specified radius from the trunks of the following trees.

Council Ref No.	Species	Radius from centre of trunk (metres)
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)	3
7	<i>Canary Island Date Palm</i> (<i>Phoenix canariensis</i>)	3
9	<i>Phoenix canariensis</i> (Canary Island Date Palm)	14.5
10	<i>Syagrus romanzoffianum</i> (Cocos Palm) (x4)	3
11	<i>Phoenix canariensis</i> (Canary Island Date Palm)	4
14	<i>Afrocarpus falcatus</i> (Outeniqua Yellowwood)	9.6

The project arborist shall document compliance with the above condition.

E.11 Hand excavation within tree root zones

Excavation undertaken within the specified radius from the trunks of the following trees shall be hand dug.

Council Ref No.	Species	Radius from centre of trunk (metres)
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)	3
7	<i>Canary Island Date Palm</i> (<i>Phoenix canariensis</i>)	3
9	<i>Phoenix canariensis</i> (Canary Island Date Palm)	14.5
10	<i>Syagrus romanzoffianum</i> (Cocos Palm) (x4)	3
11	<i>Phoenix canariensis</i> (Canary Island Date Palm)	4
14	<i>Afrocarpus falcatus</i> (Outeniqua Yellowwood)	9.6

Small hand tools such as mattocks or using compressed air or water jetting only shall be used. Roots with a diameter equal to or in excess of 50mm shall not be severed or damaged unless approved in writing by the project arborist.

Mechanical excavation is permitted beyond this radius when root pruning by hand along the perimeter line is completed. Exposed roots to be retained shall be covered with mulch or a geotextile fabric and kept in a moist condition and prevented from drying out.

All root pruning must be undertaken in accordance with the Australian Standard 4373 "Pruning of Amenity Trees" and carried out by a qualified Arborist (minimum qualification of Australian Qualification Framework Level 5 or recognised equivalent).

The project arborist shall document compliance with the above condition.

E.12 Footings in the vicinity of trees

Footings for any structure within the specified radius from the trunks of the following trees shall be supported using an isolated pier and beam system.

Council Ref No.	Species	Radius from centre of trunk (metres)
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)	3
7	<i>Canary Island Date Palm</i> (<i>Phoenix canariensis</i>)	3
9	<i>Phoenix canariensis</i> (Canary Island Date Palm)	14.5
10	<i>Syagrus romanzoffianum</i> (Cocos Palm) (x4)	3
11	<i>Phoenix canariensis</i> (Canary Island Date Palm)	4
14	<i>Afrocarpus falcatus</i> (Outeniqua Yellowwood)	9.6

Excavations for installation of piers shall be located so that no tree root with a diameter equal to or in excess of 50mm is severed or damaged. The smallest possible area shall be excavated which allows construction of the pier. The beam is to be placed a minimum of 100mm above ground level and is to be designed to bridge all tree roots with a diameter equal to or in excess of 50mm.

The project arborist shall document compliance with the above condition.

E.13 Installation of stormwater pipes and pits in the vicinity of trees

Excavation for the installation of stormwater pipes and pits within the specified radius from the trunks of the following trees shall be hand dug.

Council Ref No.	Species	Radius from centre of trunk (metres)
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)	3
7	<i>Canary Island Date Palm</i> (<i>Phoenix canariensis</i>)	3
9	<i>Phoenix canariensis</i> (Canary Island Date Palm)	14.5
10	<i>Syagrus romanzoffianum</i> (Cocos Palm) (x4)	3
11	<i>Phoenix canariensis</i> (Canary Island Date Palm)	4
14	<i>Afrocarpus falcatus</i> (Outeniqua Yellowwood)	9.6

Any roots greater than 40mm diameter uncovered for the installation of stormwater pipes and pits shall not be severed and remain in situ bridging across the excavated trench. Pipes shall be guided under any roots greater than 40mm bridging across excavated trenches. Stormwater pits shall be positioned so that no roots greater than 40mm diameter are severed.

The project arborist shall document compliance with the above condition.

E.14 Maintenance of Environmental Controls

The Principal Contractor or Owner-builder must ensure that the following monitoring, measures and controls are maintained:

- a) erosion and sediment controls,
- b) dust controls,
- c) dewatering discharges,
- d) noise controls,
- e) vibration monitoring and controls,
- f) ablutions.

Standard Condition: E11

E.15 Compliance with Geotechnical / Hydrogeological Monitoring Program

Excavation must be undertaken in accordance with the recommendations of the Geotechnical / Hydrogeological Monitoring Program and any oral or written direction of the supervising professional engineer.

The Principal Contractor and any sub-contractor must strictly follow the Geotechnical / Hydrogeological Monitoring Program for the development including, but not limited to:

- a) the location and type of monitoring systems to be utilised,
- b) recommended hold points to allow for inspection and certification of geotechnical and hydrogeological measures by the professional engineer, and
- c) the contingency plan.

Note: The consent authority cannot require that the author of the geotechnical/hydrogeological report submitted with the development application to be appointed as the professional engineer supervising the work however, it is the Council's recommendation that the author of the report be retained during the construction stage.

Standard Condition: E12 (Autotext EE12)

E.16 Support of Adjoining Land and Buildings

A person must not do anything on or in relation to the site (the supporting land) that removes the support provided by the supporting land to any other land (the supported land) or building (the supported building).

For the purposes of this condition, supporting land includes the natural surface of the site, the subsoil of the site, any water beneath the site, and any part of the site that has been reclaimed.

Note: This condition does not authorise any trespass or encroachment upon any adjoining or supported land or building whether private or public. Where any underpinning, shoring, soil anchoring (temporary or permanent) or the like is considered necessary upon any adjoining or supported land by any person the Principal Contractor or Owner-builder must obtain:

- a. the consent of the owners of such adjoining or supported land to trespass or encroach, or
- b. an access order under the *Access to Neighbouring Land Act 2000*, or
- c. an easement under section 88K of the *Conveyancing Act 1919*, or
- d. an easement under section 40 of the *Land and Environment Court Act 1979* as appropriate.

Note: Section 177 of the *Conveyancing Act 1919* creates a statutory duty of care in relation to support of land. Accordingly, a person has a duty of care not to do anything on or in relation to land being developed (the supporting land) that removes the support provided by the supporting land to any other adjoining land (the supported land).

Note: Clause 20 of the *Roads Regulation 2008* prohibits excavation in the vicinity of roads as follows: "**Excavations adjacent to road** - A person must not excavate land in the vicinity of a road if the excavation is capable of causing damage to the road (such as by way of subsidence) or to any work or structure on the road." Separate approval is required under the *Roads Act 1993* for any underpinning, shoring, soil anchoring (temporary) or the like within or under any road. Council will not give approval to permanent underpinning, shoring, soil anchoring within or under any road.

Note: The encroachment of work or the like is a civil matter of trespass or encroachment and Council does not adjudicate or regulate such trespasses or encroachments except in relation to encroachments upon any road, public place, Crown land under Council's care control or management, or any community or operational land as defined by the *Local Government Act 1993*.

Standard Condition: E13 (Autotext EE13)

E.17 Vibration Monitoring

Vibration monitoring equipment must be installed and maintained, under the supervision of a professional engineer with expertise and experience in geotechnical engineering, between any potential source of vibration and any *building* identified by the professional engineer as being potentially at risk of movement or damage from settlement and/or vibration during the excavation and during the removal of any excavated material from the land being developed.

If vibration monitoring equipment detects any vibration at the level of the footings of any adjacent building exceeding the peak particle velocity adopted by the professional engineer as the maximum acceptable peak particle velocity an audible alarm must activate such that the Principal Contractor and any sub-contractor are easily alerted to the event.

Where any such alarm triggers all excavation works must cease immediately. Prior to the vibration monitoring equipment being reset by the professional engineer and any further work recommencing the event must be recorded and the cause of the event identified and documented by the professional engineer.

Where the event requires, in the opinion of the professional engineer, any change in work practices to ensure that vibration at the level of the footings of any adjacent building does not exceed the peak particle velocity adopted by the professional engineer as the maximum acceptable peak particle velocity these changes in work practices must be documented and a written direction given by the professional engineer to the Principal Contractor and any sub-contractor clearly setting out required work practice.

The Principal Contractor and any sub-contractor must comply with all work directions, verbal or written, given by the professional engineer.

A copy of any written direction required by this condition must be provided to the Principal Certifier within 24 hours of any event.

Where there is any movement in foundations such that damaged is occasioned to any adjoining *building* or such that there is any removal of support to *supported land* the professional engineer, Principal Contractor and any sub-contractor responsible for such work must immediately cease all work, inform the owner of that *supported land* and take immediate action under the direction of the professional engineer to prevent any further damage and restore support to the *supported land*.

Note: *professional engineer* has the same mean as in clause A1.1 of the BCA.

Note: *building* has the same meaning as in section 1.4 of the *Act* i.e. “*building* includes part of a building and any structure or part of a structure....”

Note: *supported land* has the same meaning as in the *Conveyancing Act 1919*.
Standard Condition: E14 (Autotext EE14)

E.18 Erosion and Sediment Controls – Maintenance

The Principal Contractor or Owner-builder must maintain water pollution, erosion and sedimentation controls in accordance with:

- a) the Soil and Water Management Plan required under this consent,
- b) “*Do it Right On Site, Soil and Water Management for the Construction Industry*” published by the Southern Sydney Regional Organisation of Councils, 2001, and
- c) “*Managing Urban Stormwater - Soils and Construction*” 2004 published by the NSW Government (*The Blue Book*).

Where there is any conflict *The Blue Book* takes precedence.



Note: A failure to comply with this condition may result in penalty infringement notices, prosecution, notices and orders under the *Act* and/or the *Protection of the Environment Operations Act 1997* without any further warning. It is a criminal offence to cause, permit or allow pollution.

Note: Section 257 of the *Protection of the Environment Operations Act 1997* provides that “the occupier of premises at or from which any pollution occurs is taken to have caused the pollution”.

Warning: Irrespective of this condition any person occupying the site may be subject to proceedings under the *Protection of the Environment Operations Act 1997* where pollution is caused, permitted or allowed as the result of the occupation of the land being developed whether or not they actually cause the pollution.

Standard Condition: E15 (Autotext EE15)

E.19 Disposal of Site Water During Construction

The Principal Contractor or Owner-builder must ensure:

- a) Prior to pumping any water into the road or public stormwater system that approval is obtained from Council under section 138(1)(d) of the *Roads Act 1993*.
- b) That *water pollution*, as defined by the *Protection of the Environment Operations Act 1997*, does not occur as the result of the discharge to the road, public stormwater system or other place or any site water.
- c) That stormwater from any roof or other impervious areas is linked, via temporary downpipes and stormwater pipes, to a Council approved stormwater disposal system immediately upon completion of the roof installation or work creating other impervious areas.

Note: This condition has been imposed to ensure that adjoining and neighbouring land is not adversely affected by unreasonable overland flows of stormwater and that site water does not concentrate water such that they cause erosion and water pollution.

Standard Condition: E17 (Autotext EE17)

E.20 Site Cranes

Site crane(s) and hoist(s) may be erected within the boundary of the land being developed subject to compliance with Australian Standards AS 1418, AS 2549 and AS 2550 and all relevant parts to these standards.

Cranes must not swing or hoist over any public place unless the Principal Contractor or Owner-builder have the relevant approval under the *Local Government Act 1993*, *Crown Lands Act 1989* or *Roads Act 1993*.

The crane must not be illuminated outside approved working hours other than in relation to safety beacons required by the Civil Aviation Safety Authority under the *Civil Aviation Act 1988 (Cth)*.

No illuminated sign(s) must be erected upon or displayed upon any site crane.

Note: Where it is proposed to swing a crane over a public place the Principal Contractor or Owner-builder must make a separate application to Council under section 68 of the *Local Government Act 1993* and obtain activity approval from Council prior to swinging or hoisting over the public place.

Note: Where it is proposed to swing a crane over private land the consent of the owner of that private land is required. Alternatively, the Principal Contractor or Owner-builder must obtain an access order under the *Access to Neighbouring Land Act 2000* or easement under section 88K of the *Conveyancing Act 1919* or section 40 of the *Land and Environment Court Act 1979* as appropriate. The encroachment of cranes or the like is a civil matter of trespass and encroachment. Council does not adjudicate or regulate such trespasses or encroachments.

Standard Condition: E19 (Autotext EE19)

E.21 Check Surveys - boundary location, building location, building height, stormwater drainage system and flood protection measures relative to Australian Height Datum

The Principal Contractor or Owner-builder must ensure that a registered surveyor carries out check surveys and provides survey certificates confirming the location of the building(s), ancillary works, flood protection works and the stormwater drainage system relative to the boundaries of the site and that the height of buildings, ancillary works, flood protection works and the stormwater drainage system relative to Australian Height Datum complies with this consent at the following critical stages.

The Principal Contractor or Owner-builder must ensure that work must not proceed beyond each of the following critical stages until compliance has been demonstrated to the Principal Certifier's satisfaction:

- a) Upon the completion of foundation walls prior to the laying of any floor or the pouring of any floor slab and generally at damp proof course level.
- b) Upon the completion of formwork for floor slabs prior to the laying of any floor or the pouring of any concrete and generally at each storey.
- c) Upon the completion of formwork or framework for the roof(s) prior to the laying of any roofing or the pouring of any concrete roof.
- d) Upon the completion of formwork and steel fixing prior to pouring of any concrete for any ancillary structure, flood protection work, swimming pool or spa pool or the like.
- e) Upon the completion of formwork and steel fixing prior to pouring of any concrete for driveways showing transitions and crest thresholds confirming that driveway levels match Council approved driveway crossing levels and minimum flood levels.
- f) Stormwater drainage Systems prior to back filling over pipes confirming location, height and capacity of works.
- g) Flood protection measures are in place confirming location, height and capacity.

Note: This condition has been imposed to ensure that development occurs in the location and at the height approved under this consent. This is critical to ensure that building are constructed to minimum heights for flood protection and maximum heights to protect views and the amenity of neighbours.

Standard Condition: E20 (Autotext EE20)

E.22 Placement and Use of Skip Bins

The Principal Contractor or Owner-builder must ensure that all waste storage containers, including but not limited to skip bins, must be stored within the site unless:

- a) Activity Approval has been issued by Council under section 68 of the *Local Government Act 1993* to place the waste storage container in a public place; and
- b) where located on the road it is located only in a positions where a vehicle may lawfully park in accordance with the Australian Road Rules.

Note: Waste storage containers must not be located on the footpath without a site specific activity approval. Where such site specific activity approval is granted a 1.5m wide clear path of travel is maintained free of any trip hazards. Standard Condition: E21 (Autotext EE21)

E.23 Prohibition of Burning

There must be no burning of any waste or other materials. The burning of copper chrome arsenate (CCA) or pentachlorophenol (PCP) treated timber is prohibited in all parts of NSW. All burning is prohibited in the Woollahra local government area.

Note: Pursuant to the *Protection of the Environment Operations (Clean Air) Regulation 2010* all burning (including burning of vegetation and domestic waste) is prohibited except with approval. No approval is granted under this consent for any burning. Standard Condition: E22 (Autotext EE22)

E.24 Dust Mitigation

Dust mitigation must be implemented in accordance with “*Dust Control - Do it right on site*” published by the Southern Sydney Regional Organisation of Councils.

This generally requires:

- a) Dust screens to all hoardings and site fences.
- b) All stockpiles or loose materials to be covered when not being used.
- c) All equipment, where capable, being fitted with dust catchers.
- d) All loose materials being placed bags before placing into waste or skip bins.
- e) All waste and skip bins being kept covered when not being filled or emptied.
- f) The surface of excavation work being kept wet to minimise dust.
- g) Landscaping incorporating trees, dense shrubs and grass being implemented as soon as practically possible to minimise dust.

Note: “*Dust Control - Do it right on site*” can be downloaded from Council’s website www.woollahra.nsw.gov.au or obtained from Council’s office.

Note: Special precautions must be taken when removing asbestos or lead materials from development sites. Additional information can be obtained from www.safework.nsw.gov.au and www.epa.nsw.gov.au. Other specific conditions and advice may apply.

Note: Demolition and construction activities may affect local air quality and contribute to urban air pollution. The causes are dust, smoke and fumes coming from equipment or activities, and airborne chemicals when spraying for pest management. Precautions must be taken to prevent air pollution. Standard Condition: E23 (Autotext EE23)

E.25 Site Waste Minimisation and Management – Demolition

In order to maximise resource recovery and minimise residual waste from demolition activities:

- a) the provisions of the Site Waste Minimisation and Management Plan (SWMMP) are to be implemented at all times during the course of the work,
- b) an area is to be allocated for the storage of materials for use, recycling and disposal (giving consideration to slope, drainage, location of waterways, stormwater outlets, vegetation and access and handling requirements),
- c) provide separate collection bins and/or areas for the storage of residual waste,
- d) clearly ‘signpost’ the purpose and content of the bins and/or storage areas,
- e) implement measures to prevent damage by the elements, odour, health risks and windborne litter, and
- f) minimise site disturbance, limiting unnecessary excavation.

When implementing the SWMMP the Applicant must ensure:

- a) footpaths, public reserves and street gutters are not used as places to store demolition waste or materials of any kind without Council approval,
- b) any material moved offsite is transported in accordance with the requirements of the *Protection of the Environment Operations Act 1997*,
- c) waste is only transported to a place that can lawfully be used as a waste facility,
- d) generation, storage, treatment and disposal of hazardous waste and special waste (including asbestos) is conducted in accordance with relevant waste legislation administered by the NSW Environment Protection Authority, and relevant occupational health and safety legislation administered by SafeWork NSW, and
- e) evidence such as weighbridge dockets and invoices for waste disposal or recycling services are retained.

Note: Materials that have an existing reuse or recycling market should not be disposed of in a land fill. Reuse and recycling opportunities are decreased when asbestos is not carefully removed and segregated from other waste streams.

Standard Condition: E31 (Autotext EE31)

E.26 Site Waste Minimisation and Management – Construction

In order to maximise resource recovery and minimise residual waste from construction activities:

- a) the provisions of the Site Waste Minimisation and Management Plan (SWMMP) are to be implemented at all times during the course of the work,
- b) arrange for the delivery of materials so that materials are delivered 'as needed' to prevent the degradation of materials through weathering and moisture damage,
- c) consider organising to return excess materials to the supplier or manufacturer,
- d) allocate an area for the storage of materials for use, recycling and disposal (considering slope, drainage, location of waterways, stormwater outlets and vegetation),
- e) clearly 'signpost' the purpose and content of the storage areas,
- f) arrange contractors for the transport, processing and disposal of waste and recycling and ensure that all contractors are aware of the legal requirements for disposing of waste,
- g) promote separate collection bins or areas for the storage of residual waste,
- h) implement measures to prevent damage by the elements, odour and health risks, and windborne litter,
- i) minimise site disturbance and limit unnecessary excavation,
- j) ensure that all waste is transported to a place that can lawfully be used as a waste facility, and
- k) retain all records demonstrating lawful disposal of waste and keep them readily accessible for inspection by regulatory authorities such as Council, the NSW EPA or SafeWork NSW.

Standard Condition: E32 (Autotext EE32)

E.27 Asbestos Removal

All asbestos removal work must be carried out safely according to NSW work health and safety legislation.

Where hazardous material, including bonded or friable asbestos has been identified in accordance with the conditions in Section B above, and such material must be demolished, disturbed and subsequently removed, all such works must comply with the following criteria:

- a) Be undertaken by contractors who hold a current SafeWork NSW "demolition licence" and a current SafeWork NSW "Class A licence" for friable asbestos removal.
- b) Be carried out in accordance with the relevant SafeWork NSW codes of practice.
- c) No asbestos products may be reused on the site.
- d) No asbestos laden skip or bins shall be left in any public place.

Note: This condition is imposed to protect the health and safety of persons working on the site and the public

Standard Condition: E39

E.28 Classification of Hazardous Waste

Prior to the exportation of hazardous waste (including hazardous fill or soil) from the site, the waste materials must be classified in accordance with the provision of the *Protection of the Environment Operations Act 1997* and the NSW EPA *Waste Classification Guidelines, Part 1: Classifying Waste, 2014*.

Note: This condition is imposed to ensure that where hazardous waste will be removed from a site an asbestos licensed contractor can definitively determine where the waste may be legally taken for disposal.

Standard Condition: E40

E.29 Disposal of Asbestos and Hazardous Waste

Asbestos and hazardous waste, once classified in accordance with the hazardous waste classification condition above must only be transported to waste facilities licensed to accept asbestos and appropriate classifications of hazardous waste.

Note: This condition is imposed to ensure that asbestos and other hazardous waste is disposed of lawfully under the *Protection of the Environment Operations Act 1997* and relevant NSW EPA requirements.

Standard Condition: E41

E.30 Asbestos Removal Signage

Standard commercially manufactured signs containing the words "DANGER ASBESTOS REMOVAL IN PROGRESS" measuring not less than 400mm x 300mm are to be erected in prominent visible positions on the site when asbestos is being removed.

Note: This condition is imposed to ensure awareness of any hazard to the health and safety of persons working on the site and public.

Standard Condition: E42

E.31 Notification of Asbestos Removal

In addition to the requirements for licensed asbestos removalists to give written notice to SafeWork NSW all adjoining properties and those opposite the development site must be notified in writing of the dates and times when asbestos removal is to be conducted.

The notification is to identify the licensed asbestos removal contractor and include a contact person for the site together with telephone and facsimile numbers and email addresses.

Note: This condition has been imposed to ensure that local residents are informed and have adequate communication facilitated for incidents of asbestos removal.

Standard Condition: E43

F. Conditions which must be satisfied prior to any occupation or use of the building (Part 6 of the Act and Part 8 Division 3 of the Regulation)

F.1 Occupation Certificate (section 6.9 of the Act)

A person must not commence occupation or use of the whole or any part of a new building (within the meaning of section 6.10 of the Act) unless an Occupation Certificate has been issued in relation to the building or part.

Note: New building includes an altered portion of, or an extension to, an existing building.

Standard Condition: F1 (Autotext FF1)

F.2 Commissioning and Certification of Systems and Works

The Principal Contractor or Owner-builder must submit to the satisfaction of the Principal Certifier works-as-executed (WAE) plans, Compliance Certificates and evidence of suitability in accordance with Part A2.2 of the BCA confirming that the works, as executed and as detailed, comply with the requirement of this consent, the Act, the *Regulations*, any relevant construction certificate, the BCA and relevant Australian Standards.

Works-as-executed plans, Compliance Certificates and evidence of suitability in accordance with Part A2.2 of the BCA must include but may not be limited to:

- a) Certification from the supervising professional engineer that the requirement of the Geotechnical/Hydrogeological conditions and report recommendations were implemented and satisfied during development work.
- b) All flood protection measures.
- c) All garage/car park/basement car park, driveways and access ramps comply with Australian Standard AS 2890.1: *Off-Street car parking*.
- d) All stormwater drainage and storage systems.
- e) All mechanical ventilation systems.
- f) All hydraulic systems.
- g) All structural work.
- h) All acoustic attenuation work.
- i) All waterproofing.
- j) Such further matters as the Principal Certifier may require.

Note: This condition has been imposed to ensure that systems and works as completed meet development standards as defined by the *Act*, comply with the BCA, comply with this consent and so that a public record of works as execute is maintained.

Note: The PC may require any number of WAE plans, certificates, or other evidence of suitability as necessary to confirm compliance with the *Act*, *Regulation*, development standards, BCA, and relevant Australia Standards. As a minimum WAE plans and certification is required for stormwater drainage and detention, mechanical ventilation work, hydraulic services (including but not limited to fire services).

Note: The PC must submit to Council, with any Occupation Certificate, copies of WAE plans, Compliance Certificates and evidence of suitability in accordance with Part A2.2 of the BCA upon which the PC has relied in issuing any Occupation Certificate.
Standard Condition: F7 (Autotext FF7)

F.3 Pruning or Removing a Tree Growing on Private Property

The provisions of State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 and the Woollahra Development Control Plan 2015 (DCP), Chapter E3 –Tree Management, may require that an application be made to Council prior to pruning or removing any tree. The aim is to secure the amenity of trees and preserve the existing landscape within our urban environment.

G. Conditions which must be satisfied prior to the issue of any Subdivision Certificate

G.1 Strata Title Subdivision Certificate (*Part 4 Strata Schemes Development Act 2015*)

In addition to the statutory requirements of the *Strata Schemes Development Act 2015* a strata certificate must not be issued which would have the effect of:

- a) transferring to any strata unit entitlement, any areas of common property shown upon the approved development application plans,
- b) transferring to any strata unit entitlement, any visitor parking spaces, or
- c) creating any unit entitlement to any car parking spaces not associated with an occupiable unit entitlement within the strata plan.

Note: This condition has been imposed to ensure that: (a) common property is not alienated from the strata scheme and assigned to any one or more strata lots, (b) visitor parking is not alienated from the strata scheme and assigned to any one or more strata lots such that visitors would be restricted from lawful access and use of required visitor parking, (c) parking spaces are not strata subdivided as separate strata lots which may be sold with full strata title rights as a parking space lot, reducing available parking to strata lots and visitors required to reduce demand for on-street public parking.
Standard Condition: G2 (Autotext GG2)

H. Conditions which must be satisfied prior to the issue of the Occupation Certificate for the whole of the building

H.1 Fulfillment of BASIX Commitments – clause 154B of the *Regulation*

All BASIX commitments must be effected in accordance with the BASIX Certificate No. 1153767M_03.

Note: Clause 154B(2) of the *Environmental Planning and Assessment Regulation 2000* provides: "A certifying authority must not issue a final Occupation Certificate for a BASIX affected building to which this clause applies unless it is satisfied that each of the commitments whose fulfilment it is required to monitor has been fulfilled."
Standard Condition: H7 (Autotext HH7)

H.2 Removal of Ancillary Works and Structures

The Principal Contractor or Owner must remove from the land and any adjoining public place:

- a) the site sign,
- b) ablutions,
- c) hoarding,
- d) scaffolding, and
- e) waste materials, matter, article or thing.

Note: This condition has been imposed to ensure that all ancillary matter is removed prior to the issue of the Final Occupation Certificate.
Standard Condition: H12 (Autotext HH12)

H.3 Positive Covenant and Works-As-Executed Certification of Stormwater Systems

Prior to issue of any Occupation Certificate, stormwater drainage works are to be certified by a professional engineer with works-as-executed drawings prepared by a registered surveyor and submitted for approval by the Principal Certifying Authority, confirming:

- a) compliance with conditions of development consent relating to stormwater,
- b) the structural adequacy of the on-site retention system, pumpout system,
- c) that the works have been constructed in accordance with the approved drawings and will provide 60m³ rainwater retention storage and 12m³ holding tank storage,
- d) pipe invert levels and surface levels to Australian Height Datum, and
- e) contours indicating the direction in which water will flow over land should the capacity of the pit be exceeded in a storm event exceeding design limits.

A positive covenant pursuant to section 88E of the *Conveyancing Act 1919* must be created on the title of the subject property, providing for the indemnification of Council from any claims or actions and for the on-going maintenance of the on-site-detention system and/or absorption trenches, including any pumps and sumps incorporated in the development. The wording of the Instrument must be in accordance with Council's standard format and the Instrument must be registered with the NSW Land Registry Services.

Note: The required wording of the Instrument can be downloaded from Council's website www.woollahra.nsw.gov.au. The PC must supply a copy of the WAE plans to Council together with the Final Occupation Certificate.

Note: The Final Occupation Certificate must not be issued until this condition has been satisfied.
Standard Condition: H20 (Autotext HH20)

H.4 Landscaping

The *principal contractor* or *owner* must provide to *PCA* a works-as-executed landscape plan and certification from a qualified landscape architect/designer, horticulturist and/or arborist as applicable to the effect that the works comply with this consent.

Note: This condition has been imposed to ensure that all Landscaping work is completed prior to the issue of the Final Occupation Certificate.

I. Conditions which must be satisfied during the ongoing use of the development

I.1 Maintenance of BASIX Commitments

All BASIX commitments must be maintained in accordance with the BASIX Certificate No. 1153767M_03.

Note: This condition affects successors in title with the intent that environmental sustainability measures must be maintained for the life of development under this consent.
Standard Condition: I24

I.2 Ongoing Maintenance of the On-Site-Retention System

The owner(s) must in accordance with this condition and any positive covenant:

- a) Permit stormwater to be retained by the system.
- b) Keep the system clean and free of silt rubbish and debris.
- c) Maintain renew and repair as reasonably required from time to time the whole or part of the system so that it functions in a safe and efficient manner and in doing so complete the same within the time and in the manner reasonably specified in written notice issued by Council.
- d) Carry out the matters referred to in paragraphs (b) and (c) at the owner's expense.
- e) Not make any alterations to the system or elements thereof without prior consent in writing of the Council and not interfere with the system or by its act or omission cause it to be interfered with so that it does not function or operate properly.
- f) Permit Council or its authorised agents from time to time upon giving reasonable notice (but at any time and without notice in the case of an emergency) to enter and inspect the land with regard to compliance with the requirements of this covenant.
- g) Comply with the terms of any written notice issued by Council in respect to the requirements of this clause within the time reasonably stated in the notice.
- h) Where the owner fails to comply with the owner's obligations under this covenant, permit Council or its agents at all times and on reasonable notice at the owner's cost to enter the land with equipment, machinery or otherwise to carry out the works required by those obligations.
- i) Indemnify the Council against all claims or actions and costs arising from those claims or actions which Council may suffer or incur in respect of the system and caused by an act or omission by the owners in respect of the owner's obligations under this condition.

Note: This condition has been imposed to ensure that owners are aware of require maintenance requirements for their stormwater systems.

Note: This condition is supplementary to the owner(s) obligations and Council's rights under any positive covenant.
Standard Condition: I29

I.3 Outdoor Lighting – Residential

Outdoor lighting must comply with AS/NZS 4282:2019: *Control of the obtrusive effects of outdoor lighting*. The maximum luminous intensity from each luminaire and threshold limits must not exceed the level 1 control relevant under tables in AS/NZS 4282:2019.

Note: This condition has been imposed to protect the amenity of neighbours and limit the obtrusive effects of outdoor lighting in public places.

Note: This condition has been imposed to control the obtrusive effects of outdoor lighting.
Standard Condition: I49

J. Miscellaneous Conditions

Nil.

K. Advisings

K.1 Criminal Offences – Breach of Development Consent and Environmental Laws

Failure to comply with this development consent and any condition of this consent is a **criminal offence**. Failure to comply with other environmental laws is also a criminal offence.

Where there is any breach Council may without any further warning:

- a) Issue Penalty Infringement Notices (On-the-spot fines);
- b) Issue notices and orders;
- c) Prosecute any person breaching this consent; and/or
- d) Seek injunctions/orders before the courts to restrain and remedy any breach.

Warnings as to potential maximum penalties

Maximum penalties under NSW environmental laws include fines up to \$1.1 Million and/or custodial sentences for serious offences.

Warning as to enforcement and legal costs

Should Council have to take any action to enforced compliance with this consent or other environmental laws Council's policy is to seek from the Court appropriate orders requiring the payments of its costs beyond any penalty or remedy the Court may order.

This consent and this specific advice will be tendered to the Court when seeking costs orders from the Court where Council is successful in any necessary enforcement action.

Note: The payment of environmental penalty infringement notices does not result in any criminal offence being recorded. If a penalty infringement notice is challenged in Court and the person is found guilty of the offence by the Court, subject to section 10 of *the Crimes (Sentencing Procedure) Act 1999*, a criminal conviction is recorded. The effect of a criminal conviction beyond any fine is serious.

Standard Advising: K1 (Autotext KK1)

K.2 Dial Before You Dig



The Principal Contractor, Owner-builder or any person digging may be held financially responsible by the asset owner should they damage underground pipe or cable networks. Minimise your risk and dial 1100 Before You Dig or visit www.1100.com.au

When you contact Dial Before You Dig you will be sent details of all Dial Before You Dig members who have underground assets in the vicinity of your proposed excavation.

Standard Advising: K2 (Autotext KK2)

K.3 Builder's Licences and Owner-builders Permits

Section 6.6(2)(d) of the *Act* requires among other matters that the person having the benefit of the development consent, if not carrying out the work as an **owner-builder**, must appoint a Principal Contractor for residential building work who must be the holder of a contractor licence.

The Owner(s) must appoint the Principal Certifier. The Principal Certifier must check that the required insurances are in place before the commencement of building work. The Principal Contractor (builder) must provide the Owners with a certificate of insurance evidencing the contract of insurance under the *Home Building Act 1989* for the residential building work.

Note: For more information go to the NSW Fair Trading website

www.fairtrading.nsw.gov.au/housing-and-property/building-and-renovating

Standard Condition: K5 (Autotext KK5)

K.4 Building Standards - Guide to Standards and Tolerances

The Principal Certifier does not undertake detailed quality control inspections and the role of the Principal Certifier is primarily to ensure that the development proceeds in accordance with this consent, Construction Certificates and that the development is fit for occupation in accordance with its classification under the Building Code of Australia.

Critical Stage Inspections do not provide the level of supervision required to ensure that the minimum standards and tolerances specified by the "NSW Guide to Standards and Tolerances 2017" are achieved.

The quality of any development is a function of the quality of the Principal Contractor's or Owner-builder's supervision of individual contractors and trades on a daily basis during the development. The Principal Certifier does not undertake this role.

Council, as the Principal Certifier or otherwise, does not adjudicate building contract disputes between the Principal Contractor, contractors and the Owner.

Note: For more information on the *NSW Guide to Standards and Tolerances* go to the NSW

Fair Trading website www.fairtrading.nsw.gov.au/housing-and-property/building-and-renovating/after-you-build-or-renovate/guide-to-standards-and-tolerances or call 133

220. Standard Condition: K6 (Autotext KK6)

K.5 SafeWork NSW Requirements

The *Work Health and Safety Act 2011* and subordinate regulations, codes of practice and guidelines control and regulate the development industry.

Note: For more information go to the SafeWork NSW website www.safework.nsw.gov.au or call 131 050.

Standard Condition: K7 (Autotext KK7)

K.6 Dividing Fences

The erection of dividing fences under this consent does not affect the provisions of the *Dividing Fences Act 1991*. Council does not adjudicate civil disputes relating to the provision of, or payment for, the erection of dividing fences.

Note: Further information can be obtained from the NSW Civil and Administrative Tribunal

www.ncat.nsw.gov.au/Pages/cc/Divisions/dividing_fences.aspx

Note: Community Justice Centres provide a free mediation service to the community to help people resolve a wide range of disputes, including dividing fences matters. Their service is free, confidential, voluntary, timely and easy to use. Mediation sessions are conducted by two impartial, trained mediators who help people work together to reach an agreement. Around 75% of mediations result in an agreement being reached. Mediation sessions can be arranged at convenient times during the day, evening or weekends. To contact the Community Justice Centres go to www.cjc.nsw.gov.au or call 1800 990 777.
Standard Advising: K10 (Autotext KK10)

K.7 Appeal

Council is always prepared to discuss its decisions and, in this regard, please do not hesitate to contact Mr M D'Alessio, Assessment Officer, on (02) 9391 7000.

However, if you wish to pursue your rights of appeal in the Land and Environment Court you are advised that Council generally seeks resolution of such appeals through a section 34 Conference, site hearings and the use of Court Appointed Experts, instead of a full Court hearing.

This approach is less adversarial, it achieves a quicker decision than would be the case through a full Court hearing and it can give rise to considerable cost and time savings for all parties involved. The use of the section 34 Conference approach requires the appellant to agree, in writing, to the Court appointed commissioner having the full authority to completely determine the matter at the conference.

Standard Condition: K14 (Autotext KK14)

K.8 Release of Security

An application must be made to Council by the person who paid the security for release of the securities held under section 4.17 of the *Act*.

The securities will not be released until a Final Occupation Certificate has been lodged with Council, Council has inspected the site and Council is satisfied that the public works have been carried out to Council's requirements. Council may use part or all of the security to complete the works to its satisfaction if the works do not meet Council's requirements.

Council will only release the security upon being satisfied that all damage or all works, the purpose for which the security has been held have been remedied or completed to Council's satisfaction as the case may be.

Council may retain a portion of the security to remedy any defects in any such public work that arise within 6 months after the work is completed.

Upon completion of each section of road, drainage and landscape work to Council's satisfaction, 90% of the bond monies held by Council for these works will be released upon application. 10% may be retained by Council for a further 6 month period and may be used by Council to repair or rectify any defects or temporary works during the 6 month period.

Note: The Refund of Security Bond Application form can be downloaded from

www.woollahra.nsw.gov.au

Standard Condition: K15 (Autotext KK15)

K.9 Recycling of Demolition and Building Material

It is estimated that building waste, including disposable materials, resulting from demolition, excavation, construction and renovation, accounts for almost 70% of landfill. Such waste is also a problem in the generation of dust and the pollution of stormwater. Council encourages the recycling of demolition and building materials.

Standard Condition: K17 (Autotext KK17)

K.10 Owner-builders

Under the *Home Building Act 1989* any property owner who intends undertaking construction work to a dwelling house or dual occupancy to the value of \$12,000 or over must complete an approved education course and obtain an owner-builder permit from NSW Fair Trading.

Note: For more information go to the NSW Fair Trading website www.fairtrading.nsw.gov.au or call 133 220. Standard Condition: K18 (Autotext KK18)

K.11 Pruning or Removing a Tree Growing on Private Property

The provisions of State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 and the Woollahra Development Control Plan 2015 (DCP), Chapter E3 –Tree Management, may require that an application be made to Council prior to pruning or removing any tree. The aim is to secure the amenity of trees and preserve the existing landscape within our urban environment.

Before you prune or remove a tree, make sure you read all relevant conditions. You can obtain a copy of the Woollahra DCP from Council's website www.woollahra.nsw.gov.au or call Council on 9391 7000 for further advice. Standard Condition: K19 (Autotext KK19)

K.12 Dilapidation Report

Please note the following in relation to the condition for a dilapidation report:

- a) The dilapidation report will be made available to affected property owners on requested and may be used by them in the event of a dispute relating to damage allegedly due to the carrying out of the development.
- b) This condition cannot prevent neighbouring buildings being damaged by the carrying out of the development.
- c) Council will not be held responsible for any damage which may be caused to adjoining buildings as a consequence of the development being carried out.
- d) Council will not become directly involved in disputes between the developer, its contractors and the owners of neighbouring buildings.
- e) In the event that access for undertaking the dilapidation survey is denied the Applicant is to demonstrate in writing to the satisfaction of the Principal Certifier that all reasonable steps were taken to obtain access to the adjoining property. The dilapidation report will need to be based on a survey of what can be observed externally.

Standard Advising: K23 (Autotext KK23)

Attachments

1. Plans, shadows and landscape
2. Referral Response - Heritage
3. Referral Response - Technical Services
4. Referral Response - Landscaping

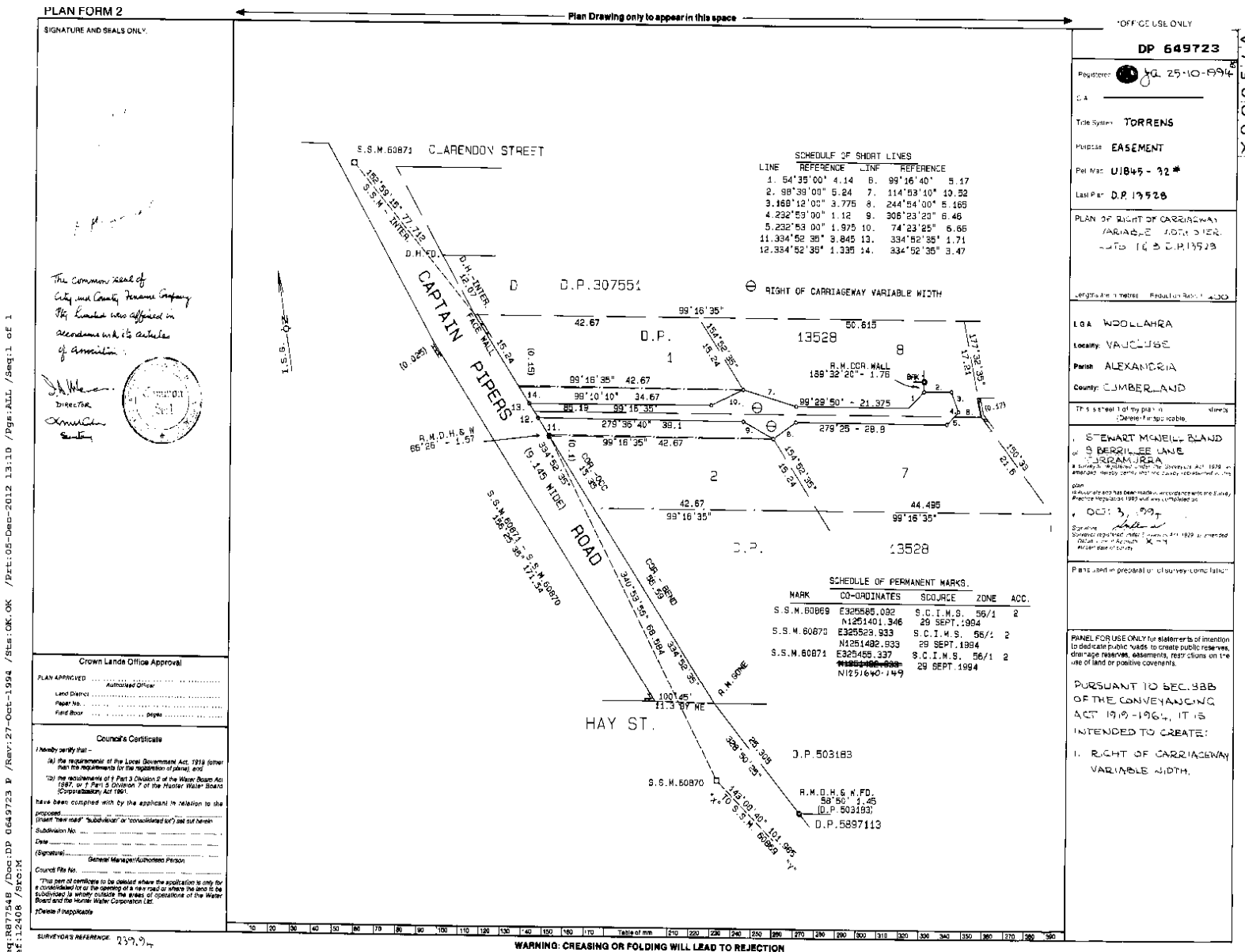


NOTE: BOUNDARIES HAVE BEEN DEFINED FOR PLANNING & DESIGN PURPOSES. PROPOSED STRUCTURES ON OR NEAR BOUNDARIES OF THE LAND MUST SET OUT BY A REGISTERED SURVEYOR. THE EXACT LOCATION OF UNDERGROUND SERVICES IS UNKNOWN.

▲ BENCH MARK	☒ TELSTRA PIT	⊕ WATER METER	⊕ SEWER MANHOLE	⊕ STOP VALVE
🌳 TREES	☒ HYDRANT	⊕ GAS METER	⊕ POWER POLE	⊕ DRAIN / GRATE

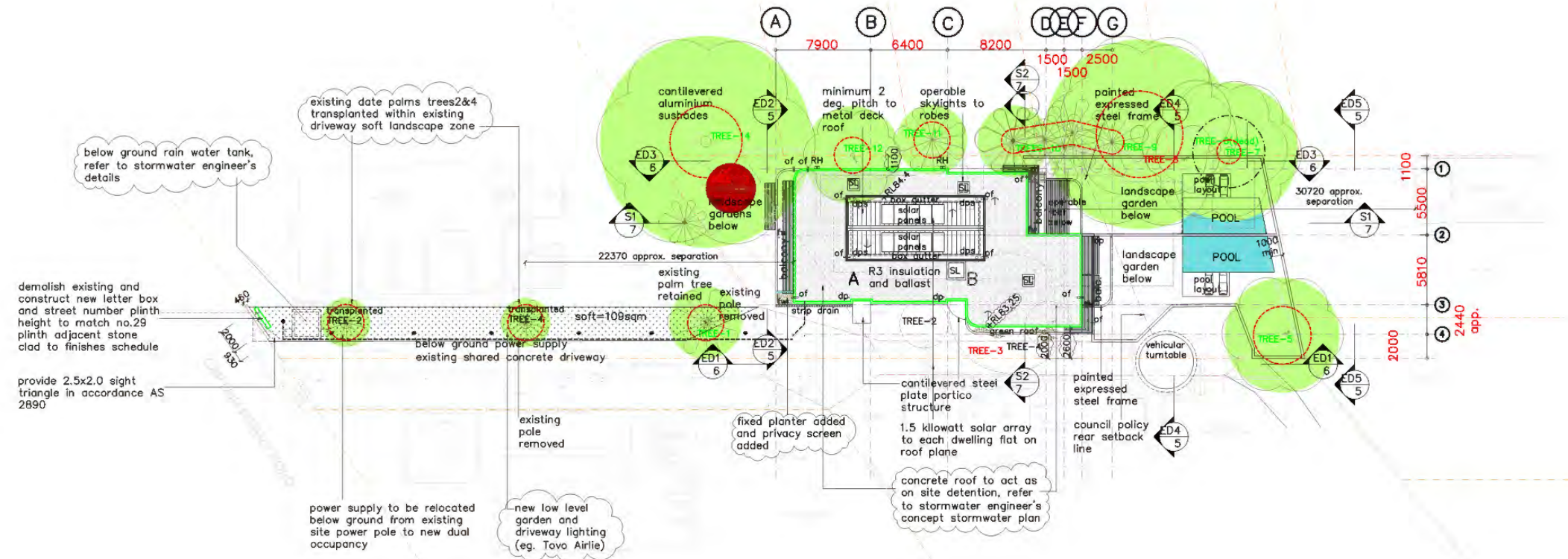
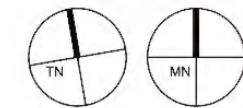
SHEET 01 OF 01	REF: 1240828
REGISTERED SURVEYOR	SCALE: 1:100 @A0
	GRID:
	DATUM: AHD
	DATE: 18/11/2020

PLAN SHOWING DETAIL AND LEVELS AT
 31 CAPTAIN PIPERS ROAD, VAUCLUSE
 LOT 8 IN D.P. 13528



Reg: 1877549 /Doc: DP 649723 /Rev: 27-Oct-1994 /Sta: OK OK /Pgt: ALL /Seq: 1 of 1
 Pgt: 12408 /Pct: 1

Y.O.O.F.I.A



SITE and ROOF PLAN

DRAINAGE and PLUMBING KEY
 (refer also stormwater engineer's details)

- downpipe location dp
- downpipe and spreader dps
- overflow spigot of
- feature rainhead RH
- sump fitted with heel guard grate as specified rfer stormwater eng. details sump
- grated spoon drain, refer stormwater eng. details —
- nominal stormwater floor waste location fw
- nominal sewer stack location, acoustic wrap aerial drainage and sewer stack as specified swr
- nominal garden tap location tap
- gas instantaneous hot water service in recessed cage hws

GENERAL KEY
 refer drg. 3



BASIC COMMENTS—LOT-A:
 Showerheads, toilet cisterns, bathroom taps and kitchen taps to be min. 3 star rating.
 At least 130 litres of roof area to be drain to min. 2,000L rainwater tank to be connected to toilets and laundry and washing. Overflow of rainwater tank to be drain to stormwater detention tank.
 Hot water system to be gas tankless water min. 6 star rated. Each bathroom, kitchen and laundry to have individual flow ducted to outside with manual on/off switch.
 Heating and cooling to be three phase zoned day/night e/c min. EER 3.5-4.
 Primary type of artificial lighting for all bedrooms plus study, living and dining area, kitchen area, to bathrooms and toilets, to laundry and hallway to be LED or Aurora (equivalent). All lighting to be surface mounted track, wall or ceiling, no ceiling penetrations permitted. Use cordless with electric cover to be provided.
 External "top" walls to have minimum R1.5 insulated performance added. Upper half height glazing framed walls to have minimum R2.0 insulation and wall wrap added.
 Ceiling below metal deck roofs to have minimum R3.5 insulation added. Metal deck roofs to have minimum R1.5 full backed insulation added. Concrete roofs to have minimum R3.0 external insulation added. Garage ceiling to be R1.5 insulated. R1.5 extruded polystyrene added to balconies where internal spaces below.
 Skylights to be timber framed double glazed max. U value 2.53 and SHGC value 0.9.
 All external glazed doors and windows to be Aluprof aluminium windows and doors and to be double clear glazed with maximum U-value and maximum SHGC value in accordance with HERSA Certificate.
 An external fixed clothes line must be installed as part of the development.
 A photovoltaic system minimum 1.5 kWp is to be installed.
 Pool to be maximum 30m shallow, 80m with timber and no pool heating.

BASIC COMMENTS—LOT-B:
 Showerheads, toilet cisterns, bathroom taps and kitchen taps to be min. 3 star rating.
 At least 130 litres of roof area to be drain to min. 2,000L rainwater tank to be connected to toilets and laundry and washing. Overflow of rainwater tank to be drain to stormwater detention tank.
 Hot water system to be electric storage. Each bathroom, kitchen and laundry to have individual flow ducted to outside with manual on/off switch.
 Heating and cooling to be three phase zoned day/night e/c min. EER 3.5-4.0.
 Primary type of artificial lighting for all bedrooms plus study, living and dining area, kitchen area, to bathrooms and toilets, to laundry and hallway to be LED or Aurora (equivalent). All lighting to be surface mounted track, wall or ceiling, no ceiling penetrations permitted. Use cordless with electric cover to be provided.
 External "top" walls to have minimum R1.5 insulated performance added. Upper half height glazing framed walls to have minimum R2.0 insulation and wall wrap added.
 Lower ground concrete slab and ground slabs/entry on ground to be R4.0 insulated.
 Ceiling below metal deck roofs to have minimum R3.5 insulation added. Metal deck roofs to have minimum R1.5 full backed insulation added. Garage ceiling and plant room ceiling to be R1.5 insulated. concrete ceiling to be R4.0 insulated. R1.5 extruded polystyrene added to balconies or roof garden where internal spaces below.
 Skylights to be timber framed double glazed max. U value 2.53 and SHGC value 0.9.
 All external glazed doors and windows to be Aluprof aluminium windows and doors and to be double clear glazed with maximum U-value and maximum SHGC value in accordance with HERSA Certificate.
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 A photovoltaic system minimum 1.5 kWp is to be installed.
 Pool to be maximum 30m shallow, 80m with timber and no pool heating.

ISSUE 9/08/21



Letter	Revisions/Issue	Date	By

Architects Ink

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 Architecture
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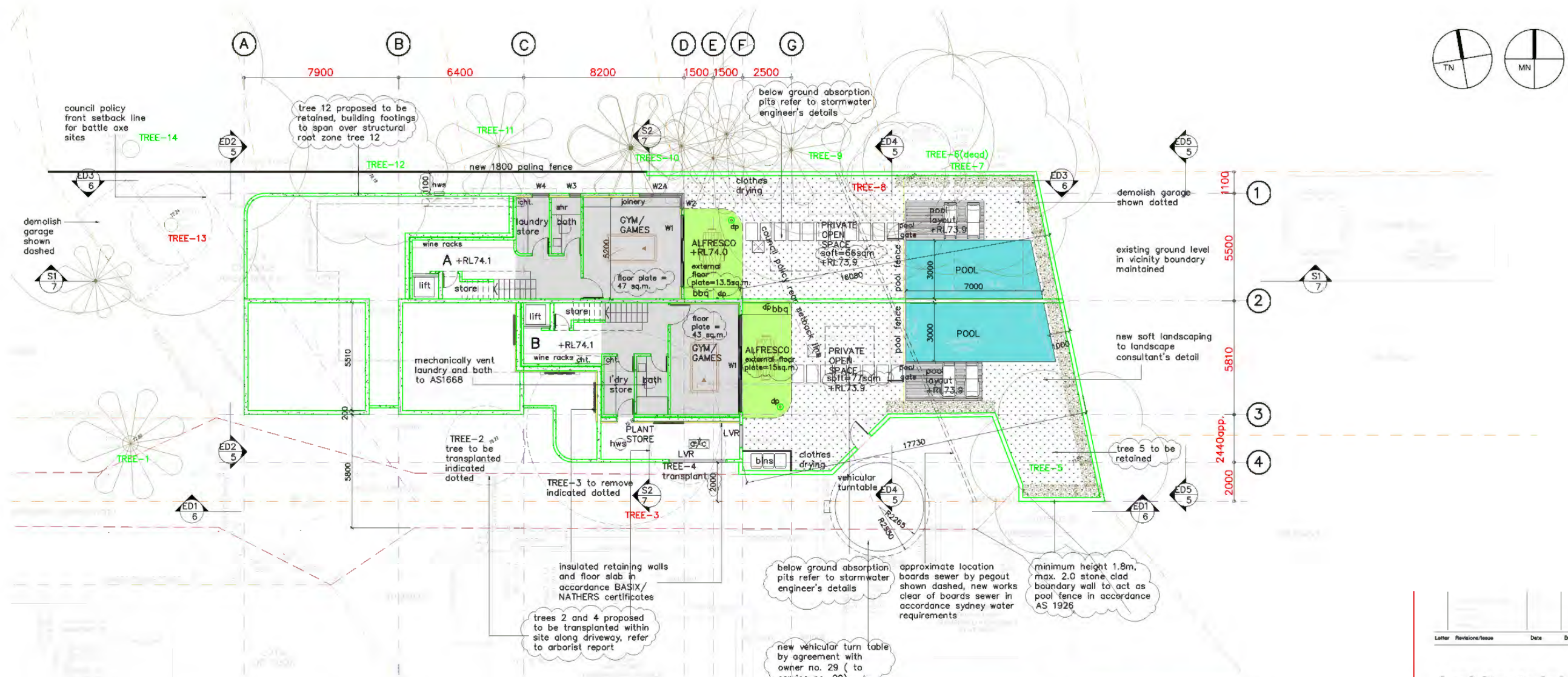
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Project
 NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM

Address
 31 CAPTAIN PIPERS ROAD VAUCLUSE

Drawing
 SITE and ROOF PLAN

Drawn	PDP	Sheet size
Scale	1:200 (1:400 - A3)	A1
Date	August 2020	Issue
Project Number	2002 - 1 of 7	d



LOWER GROUND PLAN

SURVEY KEY

- BENCH MARK
- TELSTRA PIT
- WATER METER
- SEWER MANHOLE
- STOP VALVE
- TREES
- HYDRANT
- GAS METER
- POWER POLE
- DRAIN / GATE

KEY:

refer to drawing 3 for general, wall and drainage keys

AREA CALCULATIONS PROPOSED:

- site area (966.6sq.m. total) =
- proposed ground floor plate
- proposed upper floor plate
- proposed lower ground floor plate
- proposed lower ground external floor plate
- proposed total floor plate
- proposed deep soil landscape
- proposed deep soil front setback (percent front setback)
- proposed deep soil rear setback (percent rear setback)

	lot-A	lot-B	lot-A+B	common	total soft landscape (% area outside buildable)
site area (on title)	389sq.m.	258sq.m.	647 sq.m.	319.6 sq.m.	
proposed ground floor plate	169 sq.m.	124 sq.m.	293 sq.m.		
proposed upper floor plate	141 sq.m.	118 sq.m.	259 sq.m.		
proposed lower ground floor plate	47 sq.m.	43 sq.m.	90 sq.m.		
proposed lower ground external floor plate	13.5 sq.m.	15 sq.m.	28.5sq.m.		
proposed total floor plate	370.5sq.m.	300sq.m.	670.5 sq.m.		
proposed deep soil landscape	116 sq.m.	77sq.m.	193 sq.m.	109sq.m.	302sq.m.(302/673.5)=44.8% outside buildable area
proposed deep soil front setback (percent front setback)	50 sq.m. (41%)	NA	50sq.m. (50/122=41%)		
proposed deep soil rear setback (percent rear setback)	66sq.m.	77sq.m.	143sq.m. (143/230=62%)		

BASIX COMMITMENTS—LOT-A:

Showersheads, toilet cisterns, bathroom taps and kitchen taps to be min. 3 star rating.
At least 135sq.m. of roof area is to drain to min. 2,000L rainwater tank to be connected to all toilets and laundry cold washing. Overflow of rainwater tank is to drain to stormwater detention tank.
Hot water system to be gas instantaneous min. 6 star rated. Each bathroom, kitchen and laundry to have individual fans ducted to facade with manual on/off switch.
Heating and cooling to be three phase zoned day/night a/o min. EER 3.5-4.
Primary type of artificial lighting for all bedrooms plus study, living and dining area, kitchen area, to bathrooms and toilets, to laundry and hallways to be LED or fluoro (dedicated). All lighting to be surface mounted track, wall or uplights, no ceiling penetrations permitted. Gas cooktops with electric oven to be provided.
External "logie" walls to have minimum R1.5 insulated plasterboard added. Upper hall highlight glazing framed walls to have minimum R2.0 insulation and wall wrap added.
Ceilings below metal deck roofs to have minimum R3.5 insulation added. Metal deck roofs to have minimum R1.5 foil backed insulation blanket added. Concrete roofs to have minimum R3.0 external insulation added. Garage ceiling to be R1.5 insulated. R1.5 extruded polystyrene added to balconies where internal space below.
Skylights to be timber framed double glazed max. U value 2.53 and SHGC value 0.24.
All external glazed doors and windows to be Alspec aluminium windows and doors are to be double clear glazed with maximum U-value and maximum SHGC value in accordance with Nathers certificates.
An external fixed clothes line must be installed as part of the development.
A photovoltaic system minimum 1.5 kilowatt is to be installed.
Pool to be maximum 36k kilolitres, filter with timer and no pool heating.

BASIX COMMITMENTS—LOT-B:

Showersheads, toilet cisterns, bathroom taps and kitchen taps to be min. 3 star rating.
At least 115sq.m. of roof area is to drain to min. 2,000L rainwater tank to be connected to all toilets and laundry cold washing. Overflow of rainwater tank is to drain to stormwater detention tank.
Hot water system to be electric storage. Each bathroom, kitchen and laundry to have individual fans ducted to facade with manual on/off switch.
Heating and cooling to be three phase zoned day/night a/o min. EER 3.5-4.0.
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Lower ground concrete slab and ground study/ entry on ground to be R4.0 insulated
Ceilings below metal deck roofs to have minimum R3.5 insulation added. Metal deck roofs to have minimum R1.5 foil backed insulation blanket added. Garage ceiling and plant room ceiling to be R1.5 insulated, room ceiling to be R4.0 insulated. R1.5 extruded polystyrene added to balconies or roof garden where internal space below.
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ISSUE 9/08/21

Architects Ink

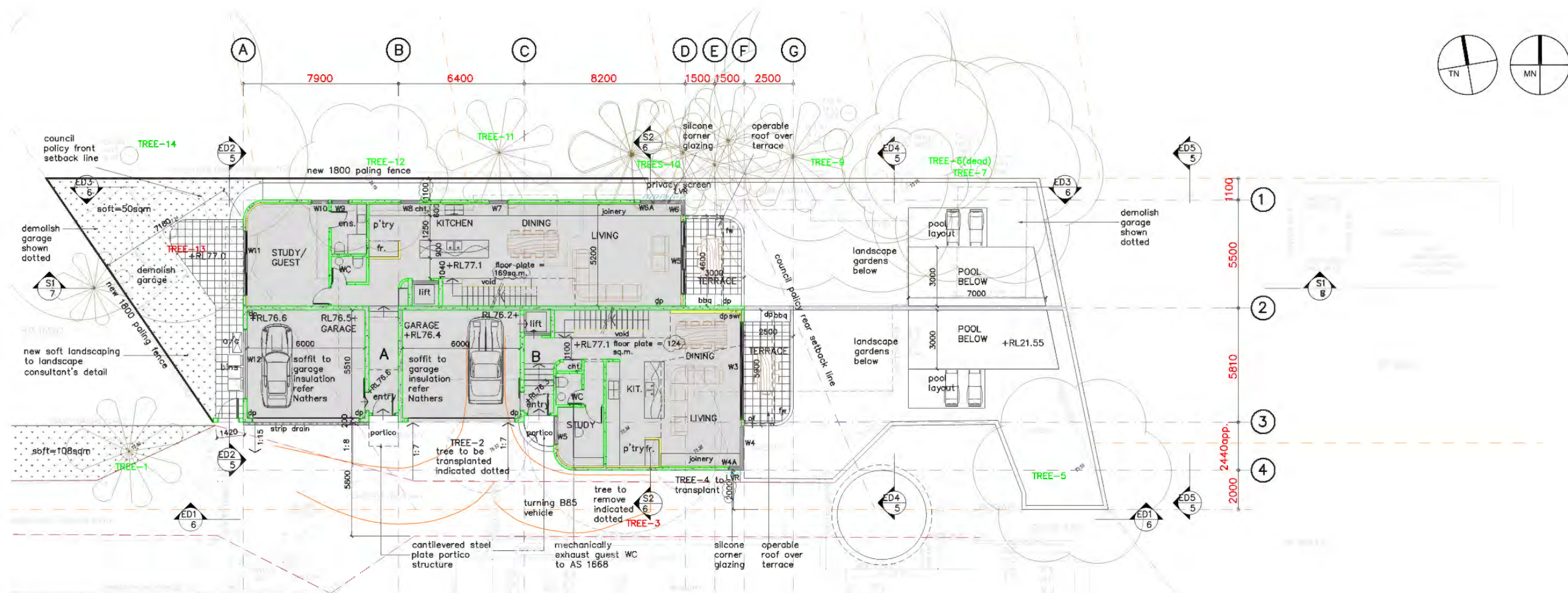
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21 William Street
Double Bay NSW 2028
PO Box 825
Double Bay NSW 1500
ACN 101247732 Reg 5452

Project
NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM

Address
31 CAPTAIN PIPERS ROAD VAUCLUSE

Drawing
SCHEME-B LOWER GROUND FLOOR PLAN

Drawn	PDP	Sheet No.
Scale	1:100 (1:200 - A3)	A1
Date	August 2020	
Project Number		Issue
2002 - 2 of 7		d



GROUND PLAN

GENERAL KEY:

existing relative level	+RL21.55
proposed structural relative level	+RL21.55
proposed finished relative level	+RL fin. 21.55
smoke detector hard wired in accordance with as 3786 and BCA 3.7.2	@s
electrical switch location in recessed "colorbond" box	elect
steel post to structural eng. details	sp
letter box location	lb
gas fireplace location	fp
a/c plant condenser location	a/c
fixed privacy louvers	LVR
double glazed flat glass skylight	SL

WALL TYPES KEY:

"logic" wall 120	[Symbol]
"logic" wall 150	[Symbol]
"logic" wall 150 plus Kingspan K17 insulation and plasterbd. lining in accordance BASIX/NATHERS certificates	[Symbol]
as above except discontinuous construction in accordance BCA 3.8.6.1, "logic" wall 200 structural, minimum 20mm cavity plus 70mm separate framed wall	[Symbol]
"redi" wall 200 retaining walls	[Symbol]
off form concrete wall	[Symbol]
"logic" wall 150 plus "avante" external brick cladding system as specified	[Symbol]
new brick wall	[Symbol]
new H2 F8 ex 90x45 grade timber framed wall and insulation as specified	[Symbol]
as above except ex150x45 and insulation as specified	[Symbol]

DRAINAGE and PLUMBING KEY
(refer also stormwater engineer's details)

downpipe location	dp
downpipe and spreader	dps
overflow spigot	of
feature rainhead	RH
sump fitted with heel guard grate as specified rfer stormwater eng. details	sump
grated spoon drain, refer stormwater eng. details	[Symbol]
nominal stormwater floor waste location	fw
nominal sewer stack location, acoustic wrap aerial drainage and sewer stack as specified	swr
nominal garden tap location	tap
gas instantaneous hot water service in recessed cage (lot-A)	hws
electric storage hot water service in recessed cage (lot-B)	hwg

BASIX COMMITMENTS—LOT-A:

Showerheads, toilet cisterns, bathroom taps and kitchen taps to be min. 3 star rating.

At least 135sq.m. of roof area is to drain to min. 2,000L rainwater tank to be connected all toilets and laundry cold washing. Overflow of rainwater tank is to drain to stormwater detention tank.

Hot water system to be gas instantaneous min. 8 star rated. Each bathroom, kitchen and laundry to have individual fans ducted to facade with manual on/off switch.

Heating and cooling to be three phase zoned day/night a/c min. EER 3.5-4.

Primary type of artificial lighting for all bedrooms plus study, living and dining area, kitchen area, to bathrooms and toilets, to laundry and hallways to be LED or fluoro (dedicated). All lighting to be surface mounted track, wall or uprights, no ceiling penetrations permitted. Gas cooktops with electric oven to be provided.

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Skylights to be timber framed double glazed max. U value 2.53 and SHGC value 0.24.

All external glazed doors and windows to be Alspec aluminium windows and doors are to be double clear glazed with maximum U-value and maximum SHGC value in accordance with Natthers Certificate.

An external fixed clothes line must be installed as part of the development.

A photovoltaic system minimum 1.5 kilowatt is to be installed.

Pool to be maximum 36k kiloliters, filter with timer and no pool heating.

BASIX COMMITMENTS—LOT-B:

Showerheads, toilet cisterns, bathroom taps and kitchen taps to be min. 3 star rating.

At least 115sq.m. of roof area is to drain to min. 2,000L rainwater tank to be connected all toilets and laundry cold washing. Overflow of rainwater tank is to drain to stormwater detention tank.

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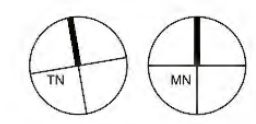
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Letter	Revisions/Issues	Date	By

Architects Ink

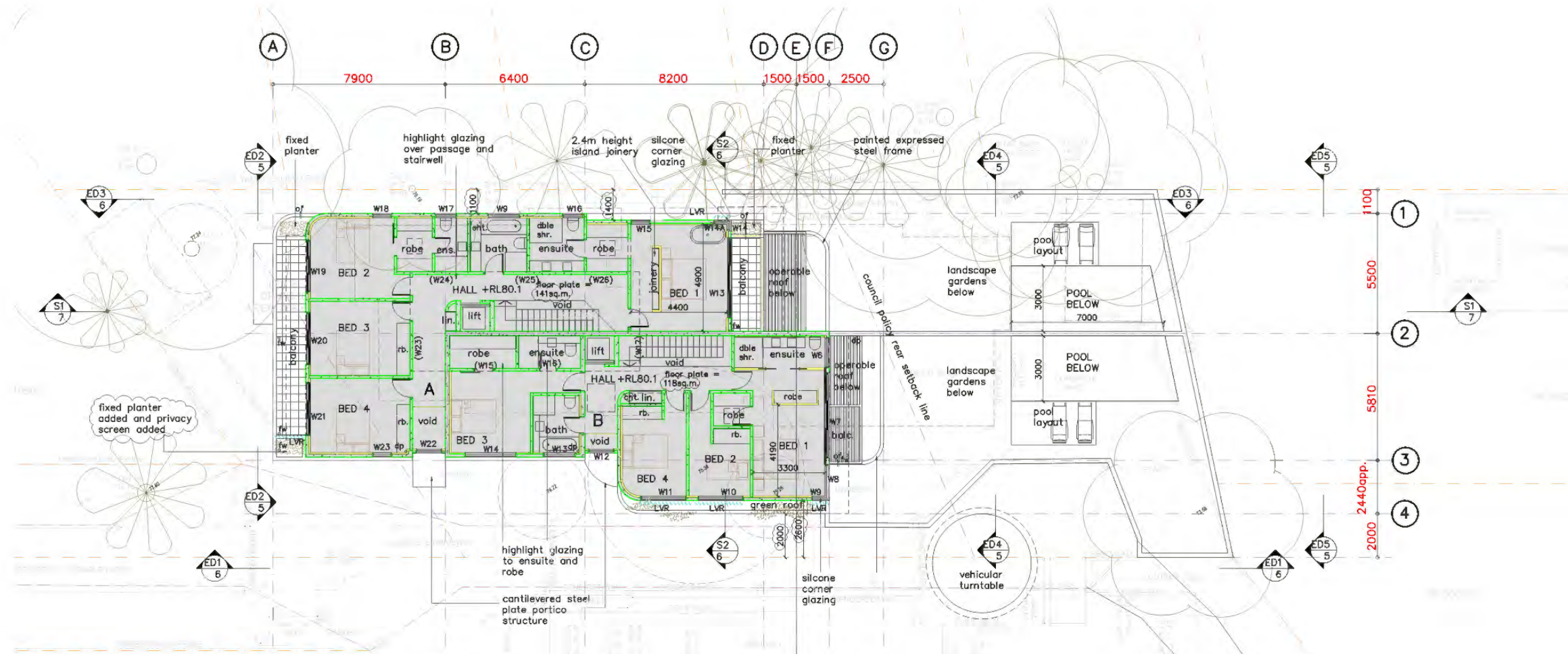
Architects Ink
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PO Box 825 Double Bay NSW 1580
Architects Ink ACN 101347732 Reg 6492

Project:
NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM

Address:
31 CAPTAIN PIPERS ROAD VAUCLUSE

Drawing:
SCHEME-B GROUND FLOOR PLAN

Drawn	PDP	Sheet size
Scale	1:100 (1:200 - A3)	A1
Date	August 2020	Issue
Project Number	2002 - 3 of 7	d



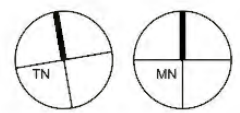
UPPER PLAN

KEY:
 refer to drawing 3 for general, wall and drainage keys

BASIC COMMITMENTS—LOT-A:
 Showerheads, toilet cisterns, bathroom taps and kitchen taps to be min. 3 star rating.
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 Hot water system to be gas instantaneous min. 6 star rated. Each bathroom, kitchen and laundry to have individual fans ducted to facade with manual on/off switch.
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ISSUE 9/08/21



Letter	Revisions/Issue	Date	By

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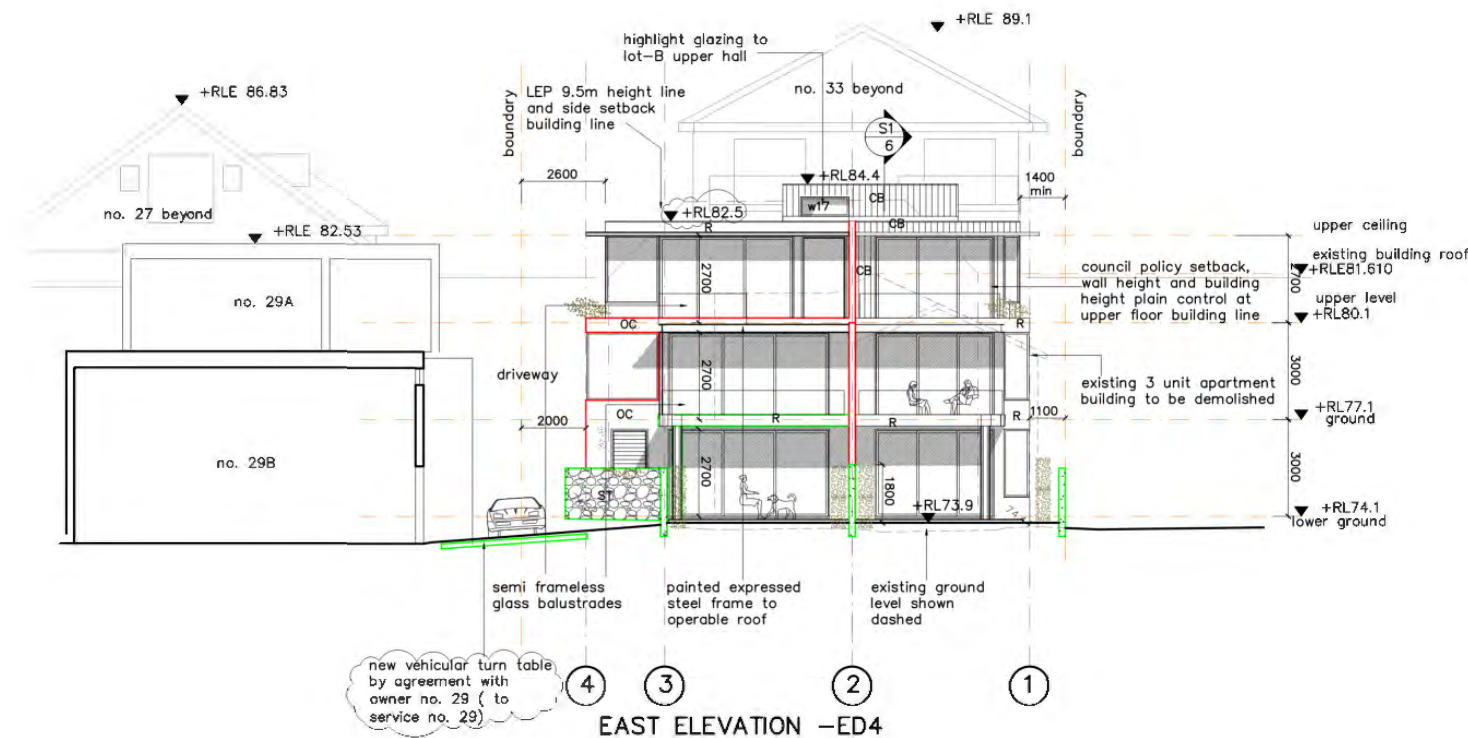
Architects Ink ACN 101247732 Reg. 5482

Project
 NEW DUAL OCCUPANCY and
 STRATA SUBDIVISION for
 PHILLIP HAKIM

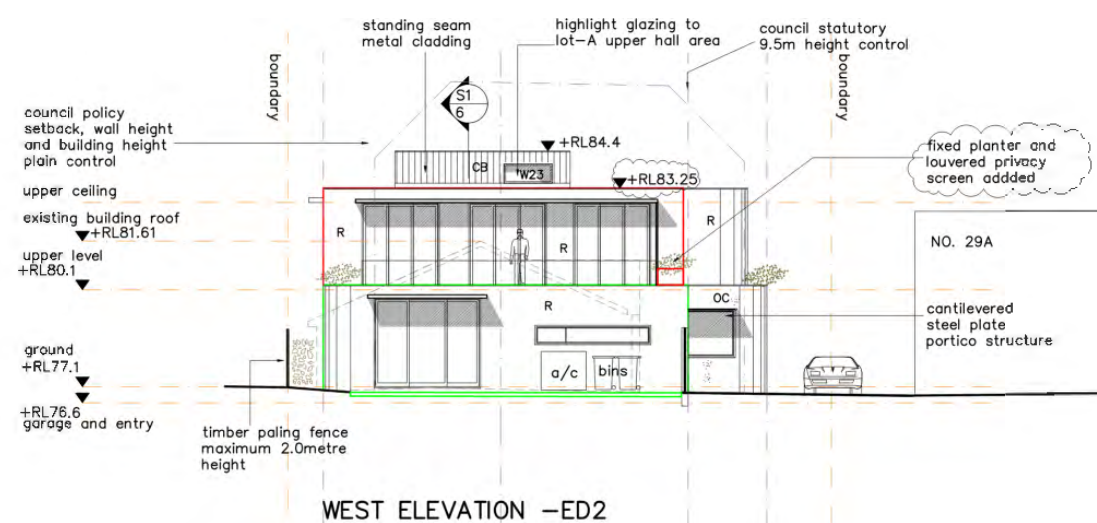
Address
 31 CAPTAIN PIPERS ROAD
 VAUCLUSE

Drawing
 SCHEME-B
 UPPER FLOOR PLAN

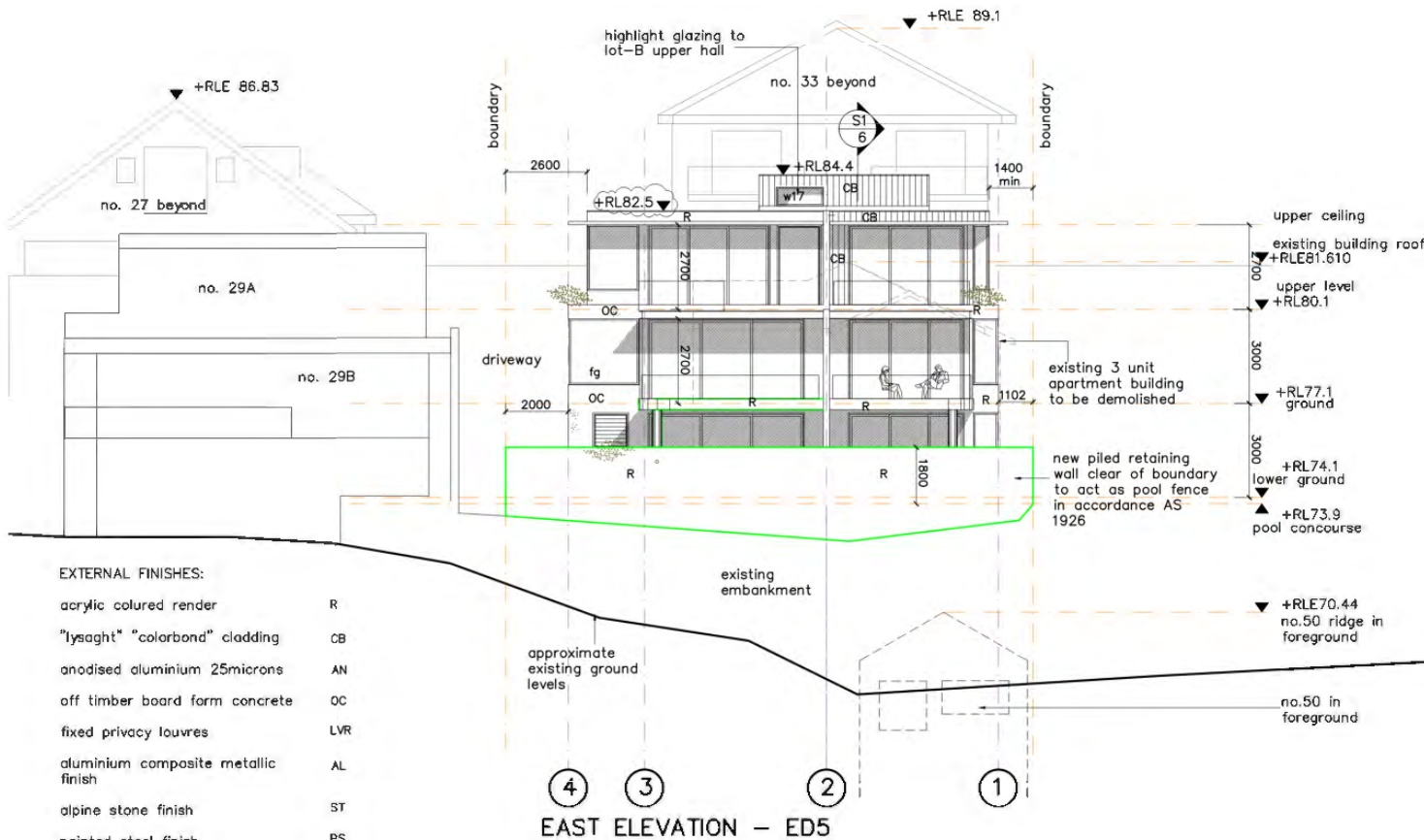
Drawn	PDP	Sheet size
Scale	1:100 (1:200 - A3)	A1
Date	August 2020	
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		d



EAST ELEVATION -ED4



WEST ELEVATION -ED2



EAST ELEVATION - ED5

- EXTERNAL FINISHES:
- acrylic coloured render R
 - "lysaght" "colorbond" cladding CB
 - anodised aluminium 25microns AN
 - off timber board form concrete OC
 - fixed privacy louvres LVR
 - aluminium composite metallic finish AL
 - alpine stone finish ST
 - painted steel finish PS
 - "decor satin" obscure glazing
 - fixed glass fg



BASIC COMMITMENTS-LOT-A:

Showersheads, toilet cisterns, bathroom taps and kitchen taps to be min. 3 star rating.

At least 135sq.m. of roof area is to drain to min. 2,000L rainwater tank to be connected all toilets and laundry cold washing. Overflow of rainwater tank is to drain to stormwater detention tank.

Hot water system to be gas instantaneous min. 6 star rated. Each bathroom, kitchen and laundry to have individual fans ducted to outside with manual on/off switch.

Heating and cooling to be three phase zoned day/night a/c min. EER 3.5-4.

Primary type of artificial lighting for all bedrooms plus study, living and dining area, kitchen area, to bathrooms and toilets, to laundry and hallways to be LED or fluoro (dedicated). All lighting to be surface mounted track, wall or uplights, no ceiling penetrations permitted. Gas cooktops with electric oven to be provided.

External "logic" walls to have minimum R1.5 insulated plasterboard added. Upper hall highlight glazing framed walls to have minimum R2.0 insulation and wall wrap added.

Ceilings below metal deck roofs to have minimum R3.5 insulation added. Metal deck roofs to have minimum R1.5 full backed insulation blanket added. Garage ceiling to have minimum R3.0 external insulation added. Garage ceiling to be R1.5 insulated. R1.5 extruded polystyrene added to balconies where internal space below.

Skylights to be timber framed double glazed max. U value 2.53 and SHGC value 0.24.

All external glazed doors and windows to be Alupac aluminium windows and doors are to be double clear glazed with maximum U-value and maximum SHGC value in accordance with Nethers certificates.

An external fixed clothes line must be installed as part of the development.

A photovoltaic system minimum 1.5 kilowatt is to be installed.

Pool to be maximum 36k kilolitres, filter with timer and no pool heating.

BASIC COMMITMENTS-LOT-B:

Showersheads, toilet cisterns, bathroom taps and kitchen taps to be min. 3 star rating.

At least 135sq.m. of roof area is to drain to min. 2,000L rainwater tank to be connected all toilets and laundry cold washing. Overflow of rainwater tank is to drain to stormwater detention tank.

Hot water system to be electric storage. Each bathroom, kitchen and laundry to have individual fans ducted to outside with manual on/off switch.

Heating and cooling to be three phase zoned day/night a/c min. EER 3.5-4.0.

Primary type of artificial lighting for all bedrooms plus study, living and dining area, kitchen area, to bathrooms and toilets, to laundry and hallways to be LED or fluoro (dedicated). All lighting to be surface mounted track, wall or uplights, no ceiling penetrations permitted. Gas cooktops with electric oven to be provided.

External "logic" walls to have minimum R1.5 insulated plasterboard added. Upper hall highlight glazing framed walls to have minimum R2.0 insulation and wall wrap added.

Lower ground concrete slab and ground study/ entry on ground to be R4.0 insulated

Ceilings below metal deck roofs to have minimum R3.5 insulation added. Metal deck roofs to have minimum R1.5 full backed insulation blanket added. Garage ceiling and plant room ceiling to be R1.5 insulated; room ceiling to be R4.0 insulated. R1.5 extruded polystyrene added to balconies or roof garden where internal space below.

Skylights to be timber framed double glazed max. U value 2.53 and SHGC value 0.24.

All external glazed doors and windows to be Alupac aluminium windows and doors are to be double clear glazed with maximum U-value and maximum SHGC value in accordance with Nethers Certificate.

An external fixed clothes line must be installed as part of the development.

A photovoltaic system minimum 1.5 kilowatt is to be installed.

Pool to be maximum 36k kilolitres, filter with timer and no pool heating.

Revisions/Issue	Date	By

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Architects Ink: WCN101267732 Rey 5492

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NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM

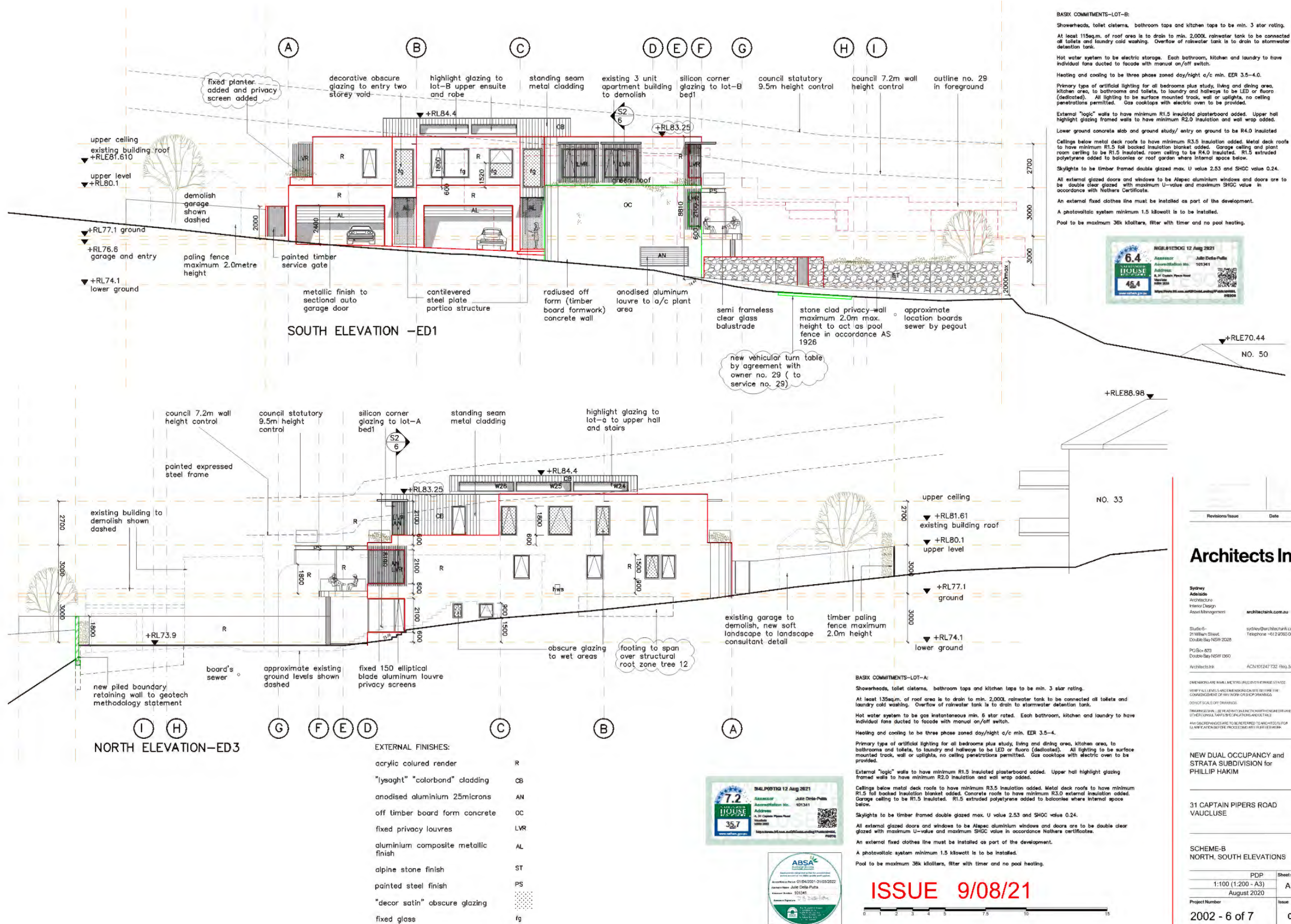
31 CAPTAIN PIPERS ROAD VAUCLUSE

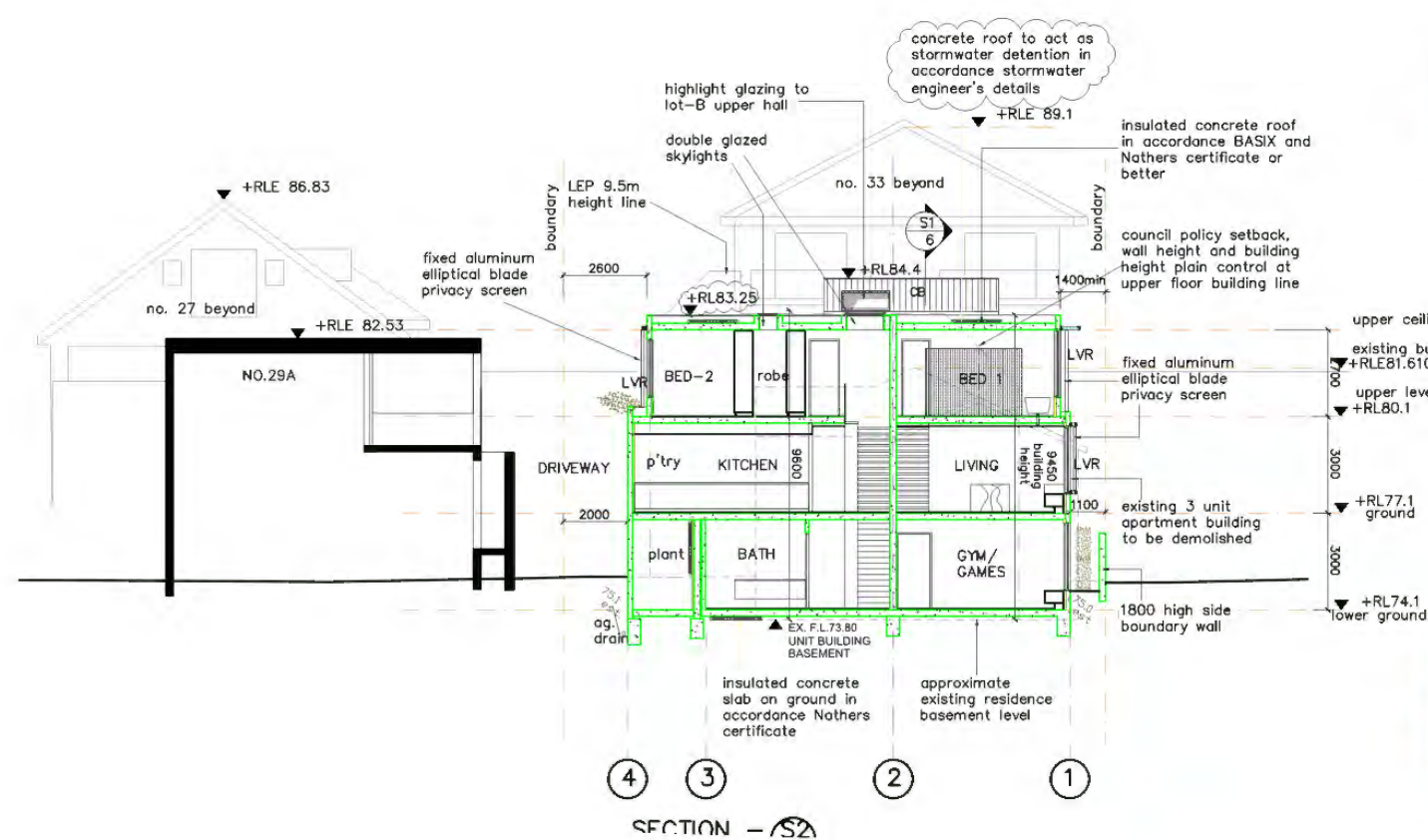
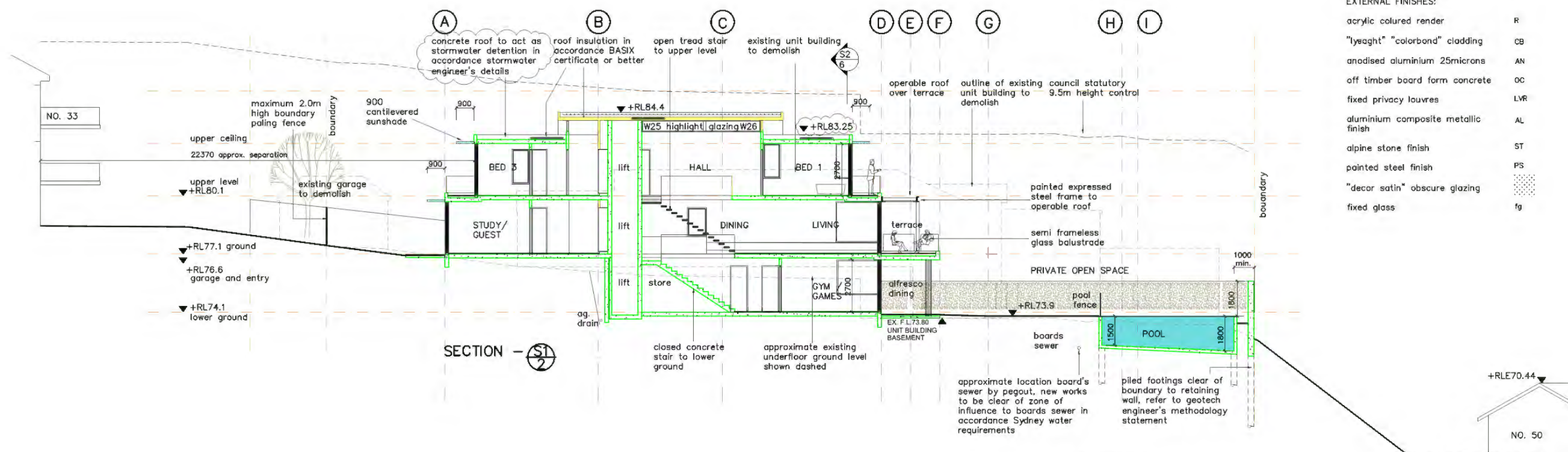
SCHEME-B EAST, WEST ELEVATIONS

PDP	Sheet size
1:100 (1:200 - A3)	A1
August 2020	Issue
Project Number	Issue
2002 - 5 of 7	d

ISSUE 9/08/21







BASIX COMMITMENTS-LOT-A:
Showers, toilet cisterns, bathroom taps and kitchen taps to be min. 3 star rating.
At least 135sq.m. of roof area is to drain to min. 2,000L rainwater tank to be connected to toilets and laundry cold washing. Overflow of rainwater tank is to drain to stormwater detention tank.
Hot water system to be gas instantaneous min. 6 star rated. Each bathroom, kitchen and laundry to have individual fans ducted to outside with manual on/off switch.
Heating and cooling to be three phase zoned day/night a/c min. EER 3.5-4.
Primary type of artificial lighting for all bedrooms plus study, living and dining area, kitchen area, to bathrooms and toilets, to laundry and hallways to be LED or fluoro (dedicated). All lighting to be surface mounted track, wall or uprights, no ceiling penetrations permitted. Gas cooktops with electric oven to be provided.
External "logic" walls to have minimum R1.5 insulated plasterboard added. Upper hall highlight glazing framed walls to have minimum R2.0 insulation and wall wrap added.
Ceilings below metal deck roofs to have minimum R3.5 insulation added. Metal deck roofs to have minimum R1.5 foil backed insulation blanket added. Concrete roofs to have minimum R3.0 external insulation added. Garage ceiling to be R1.5 insulated. R1.5 extruded polystyrene added to balconies or roof garden where internal space below.
Skylights to be timber framed double glazed max. U value 2.53 and SHGC value 0.24.
All external glazed doors and windows to be Alspec aluminium windows and doors one to be double clear glazed with maximum U-value and maximum SHGC value in accordance with Nathers certificate.
An external fixed clothes line must be installed as part of the development.
A photovoltaic system minimum 1.5 kilowatt is to be installed.
Pool to be maximum 30k kilolitres, filter with timer and no pool heating.

BASIX COMMITMENTS-LOT-B:
Showers, toilet cisterns, bathroom taps and kitchen taps to be min. 3 star rating.
At least 115sq.m. of roof area is to drain to min. 2,000L rainwater tank to be connected to toilets and laundry cold washing. Overflow of rainwater tank is to drain to stormwater detention tank.
Hot water system to be electric storage. Each bathroom, kitchen and laundry to have individual fans ducted to outside with manual on/off switch.
Heating and cooling to be three phase zoned day/night a/c min. EER 3.5-4.0.
Primary type of artificial lighting for all bedrooms plus study, living and dining area, kitchen area, to bathrooms and toilets, to laundry and hallways to be LED or fluoro (dedicated). All lighting to be surface mounted track, wall or uprights, no ceiling penetrations permitted. Gas cooktops with electric oven to be provided.
External "logic" walls to have minimum R1.5 insulated plasterboard added. Upper hall highlight glazing framed walls to have minimum R2.0 insulation and wall wrap added.
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Ceilings below metal deck roofs to have minimum R3.5 insulation added. Metal deck roofs to have minimum R1.5 foil backed insulation blanket added. Concrete roofs to have minimum R3.0 external insulation added. Garage ceiling and plant room ceiling to be R1.5 insulated. room ceiling to be R4.0 insulated. R1.5 extruded polystyrene added to balconies or roof garden where internal space below.
Skylights to be timber framed double glazed max. U value 2.53 and SHGC value 0.24.
All external glazed doors and windows to be Alspec aluminium windows and doors one to be double clear glazed with maximum U-value and maximum SHGC value in accordance with Nathers Certificate.
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A photovoltaic system minimum 1.5 kilowatt is to be installed.
Pool to be maximum 30k kilolitres, filter with timer and no pool heating.

ISSUE 9/08/21

Revisions/Issue	Date	By

Architects Ink

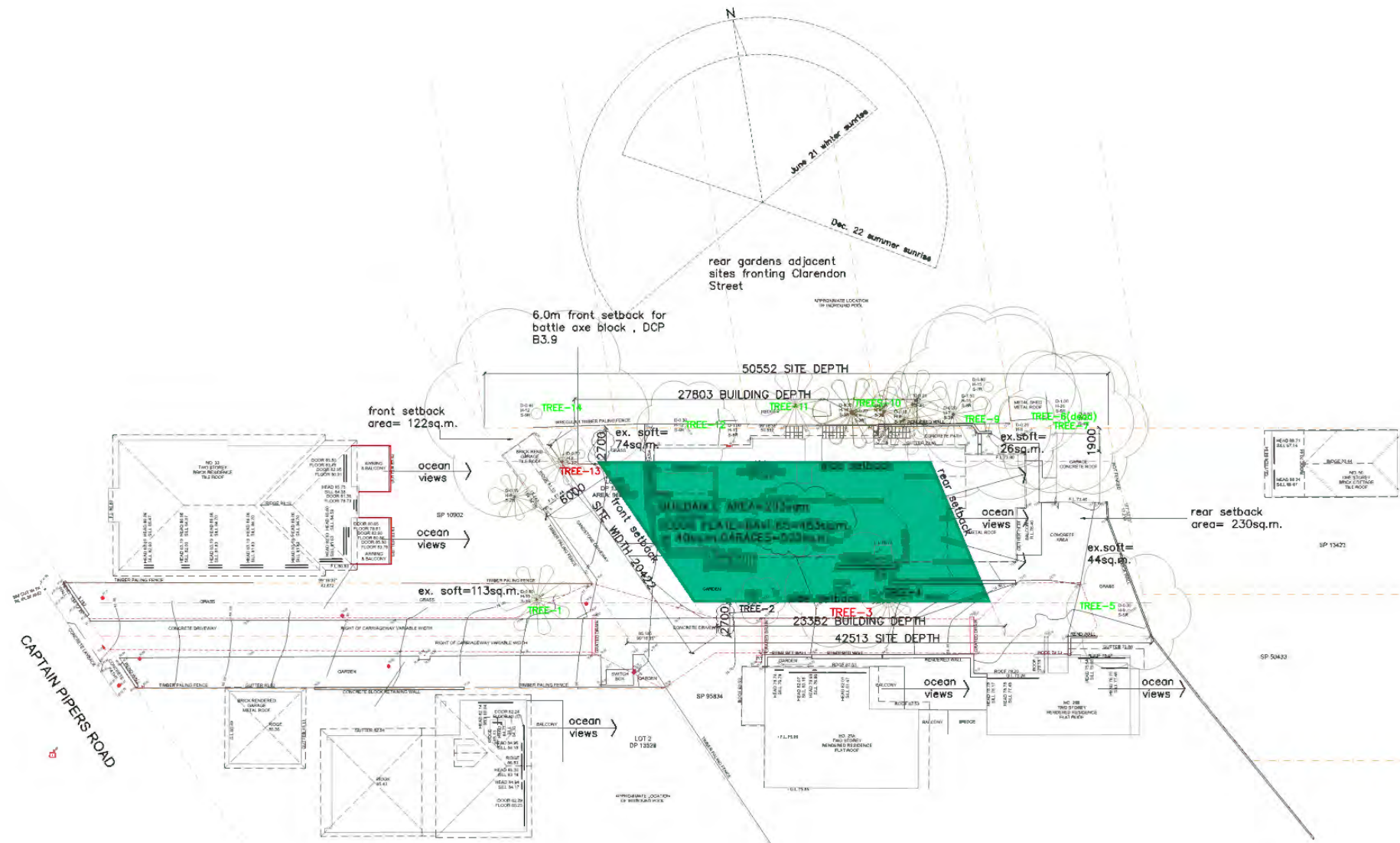
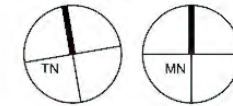
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Double Bay NSW 1860
Architects Ink
ACN101247732 Reg. 5492

NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM

31 CAPTAIN PIPERS ROAD
VAUCLUSE

SCHEME-B SECTIONS

PDP	Sheet size
1:100 (1:200 - A3)	A1
August 2020	
Project Number	Issue
2002 - 7 of 7	d



SITE ANALYSIS PLAN

SURVEY KEY

- ▲ BENCHMARK
- TELEGRAPH
- WATER WETTER
- BURIED WAREHOUSE
- STOP SIGN
- TREE
- W/GRANT
- GARDEN
- POWER POLE
- DRIVEWAY

AREA CALCULATIONS EXISTING:

site area = 966.5 sq.m.
 existing soft landscape 257 sq.m. (26.5%)

KEY:

- tree proposed to retain TREE-14
- tree proposed to remove TREE-5
- tree proposed to transplant TREE-2 TREE-4



Letter	Revisions/Issue	Date	By

Architects Ink

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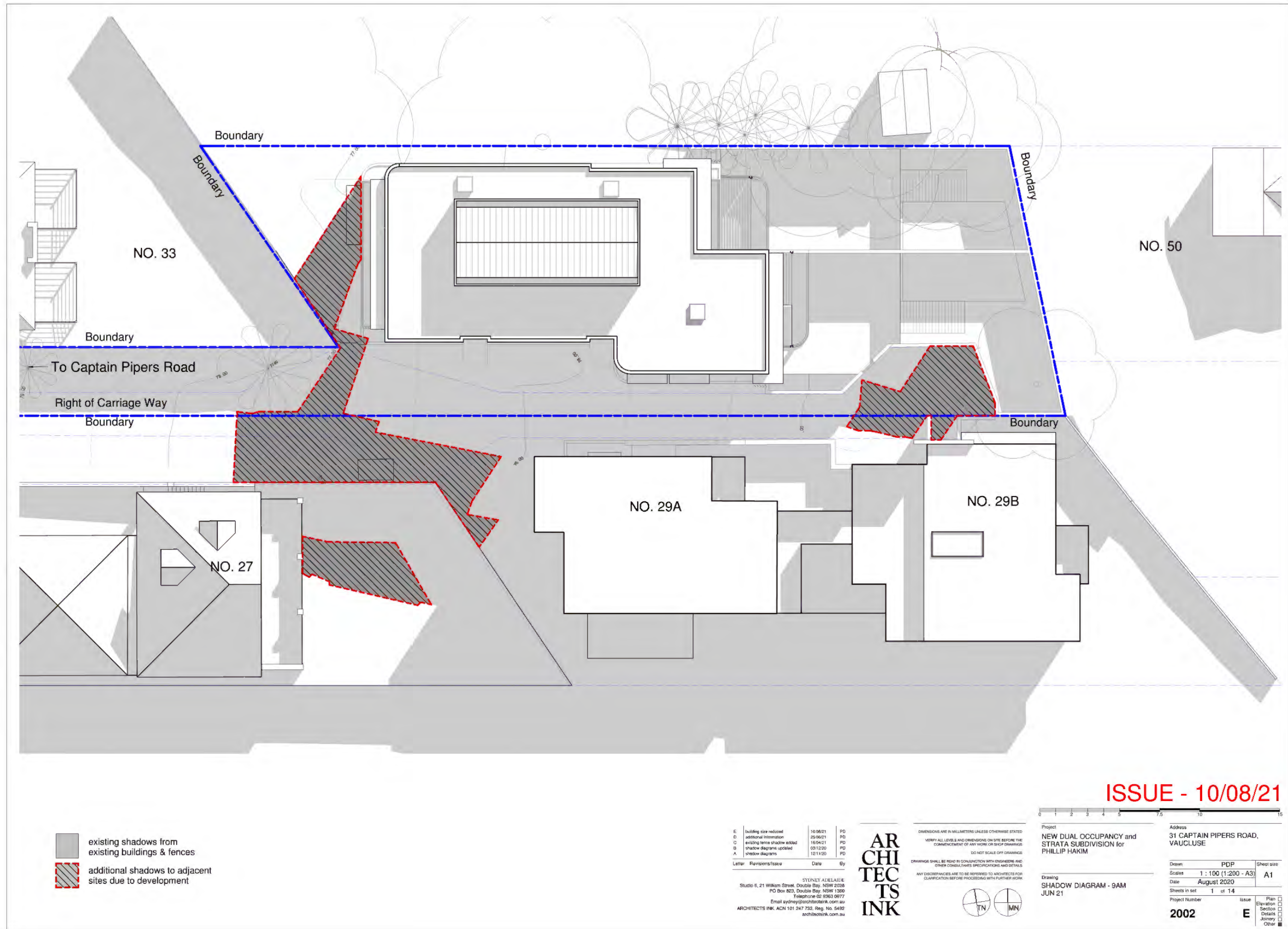
Project
 NEW DUAL OCCUPANCY and
 STRATA SUBDIVISION for
 PHILLIP HAKIM

Address
 31 CAPTAIN PIPERS ROAD
 VAUCLUSE

Drawing
 SITE ANALYSIS

Drawn	PDP	Sheet No
1:200 (1:400 - A3)	August 2020	A1
Project Number	Issue	
2002 - 0 of 7	e	

ISSUE 18/08/21



ISSUE - 10/08/21

existing shadows from existing buildings & fences
 additional shadows to adjacent sites due to development

Letter	Revisions/Issue	Date	By
E	building size reduced	10/08/21	PD
D	additional information	25/06/21	PD
C	existing fence shadow added	16/04/21	PD
B	shadow diagrams updated	03/12/20	PD
A	shadow diagrams	12/11/20	PD

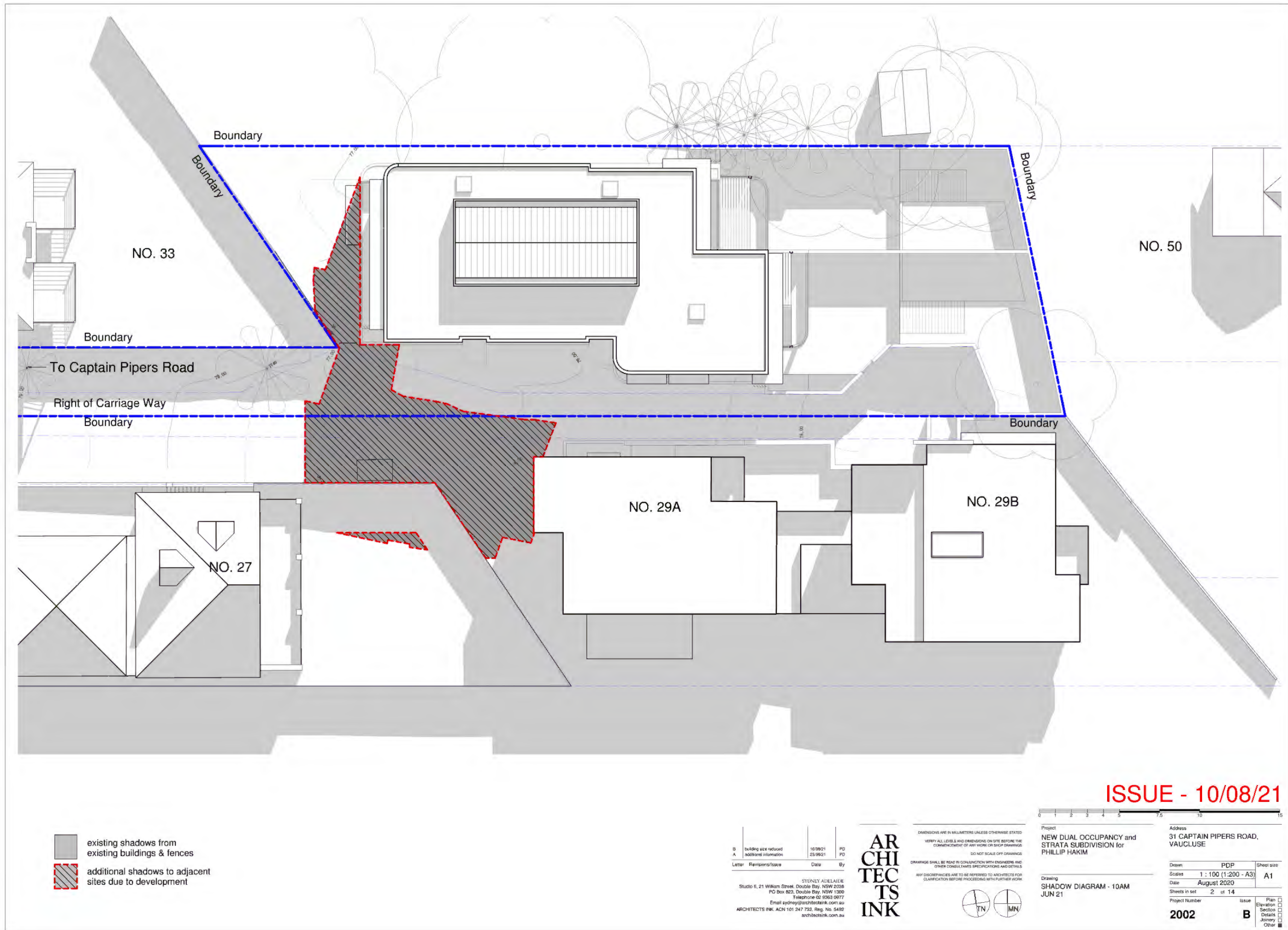
SYDNEY ADELAIDE
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Project
NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM
 Drawing
SHADOW DIAGRAM - 9AM JUN 21

Address
31 CAPTAIN PIPERS ROAD, VAUCLUSE
 Drawn **PDP** Sheet size **A1**
 Scale **1 : 100 (1:200 - A3)**
 Date **August 2020**
 Sheets in set **1 of 14**
 Project Number **2002** Issue **E**
 Plan
 Elevation
 Section
 Detail
 Joinery
 Other



ISSUE - 10/08/21

existing shadows from existing buildings & fences
 additional shadows to adjacent sites due to development

B	building size reduced	10/9/21	PD
A	additional information	25/9/21	PD
Letter	Revisions/Issue	Date	By

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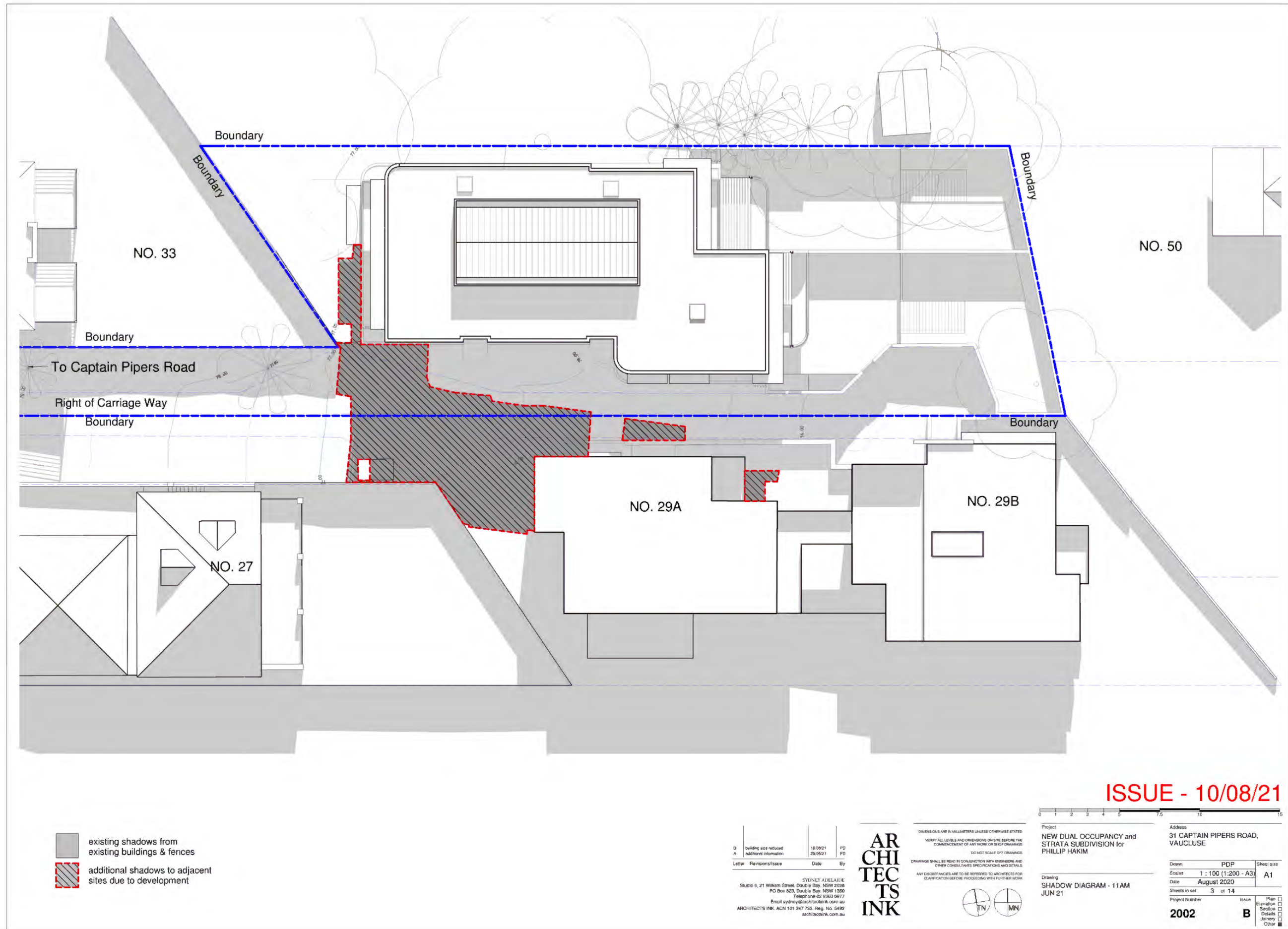
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Project
NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM
 Drawing
SHADOW DIAGRAM - 10AM JUN 21

Address
31 CAPTAIN PIPERS ROAD, VAUCLUSE
 Drawn **PDP** Sheet size **A1**
 Scales **1:100 (1:200 - A3)**
 Date **August 2020**
 Sheets in set **2 of 14**
 Project Number **2002**
 Issue **B**
 Plan
 Elevation
 Section
 Details
 Joinery
 Other



ISSUE - 10/08/21

-  existing shadows from existing buildings & fences
-  additional shadows to adjacent sites due to development

B building size reduced 10/9/21 PD
 A additional information 25/9/21 PD
 Letter Revisions/Issue Date By
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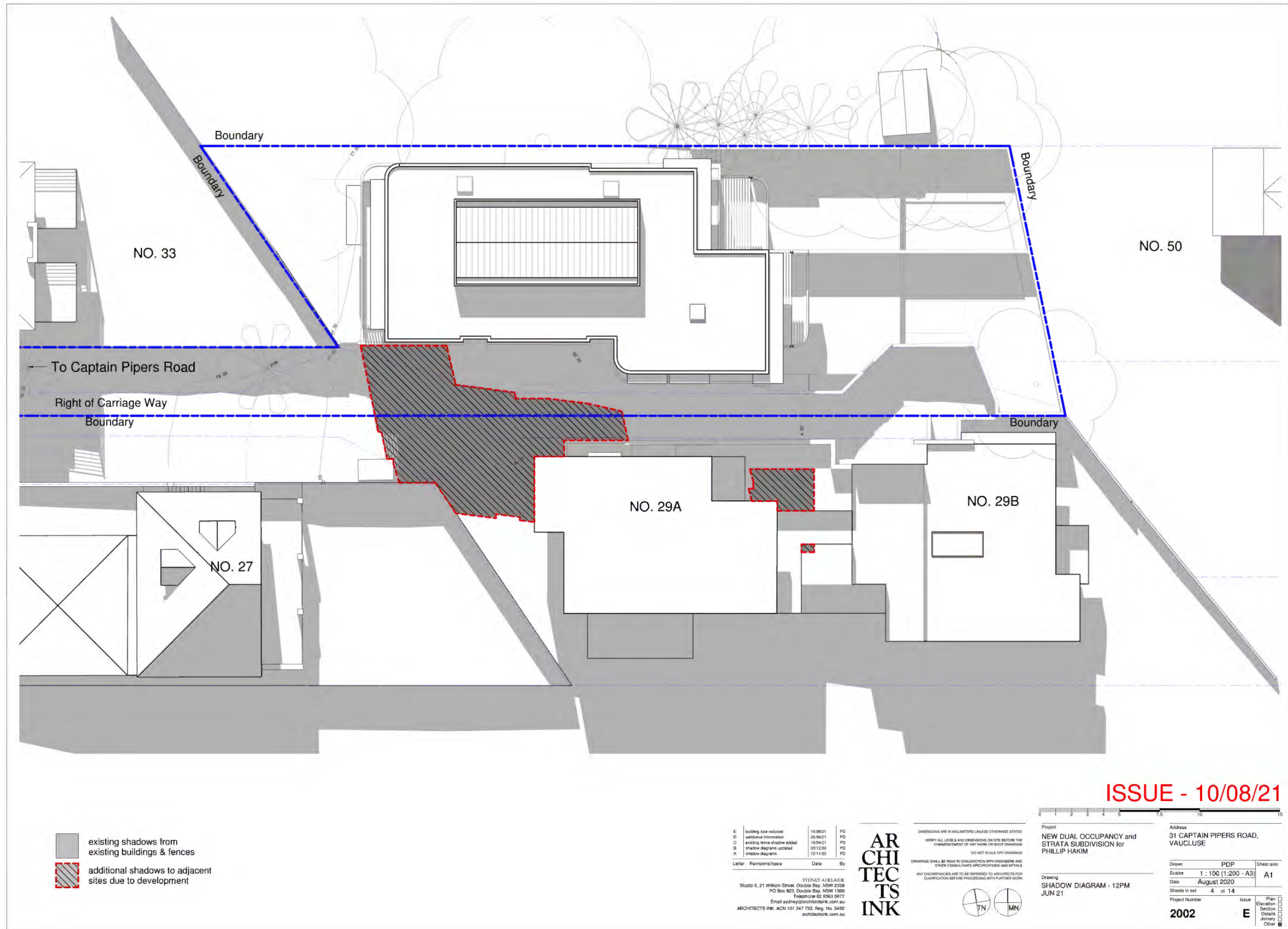
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Project
 NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM
 Drawing
 SHADOW DIAGRAM - 11AM JUN 21

Address
 31 CAPTAIN PIPERS ROAD, VAUCLUSE
 Drawn PDP Sheet size A1
 Scale 1:100 (1:200 - A3)
 Date August 2020
 Sheets in set 3 of 14
 Project Number 2002 Issue B
 Plan
 Elevation
 Section
 Details
 Joinery
 Other



ISSUE - 10/08/21

 existing shadows from existing buildings & fences
 additional shadows to adjacent sites due to development

Letter	Revisions/Issue	Date	By
E	building size reduced	10/08/21	PD
D	additional information	25/06/21	PD
C	existing fence shadow added	16/04/21	PD
B	shadow diagrams updated	03/12/20	PD
A	shadow diagrams	12/11/20	PD

Letter Revisions/Issue Date By
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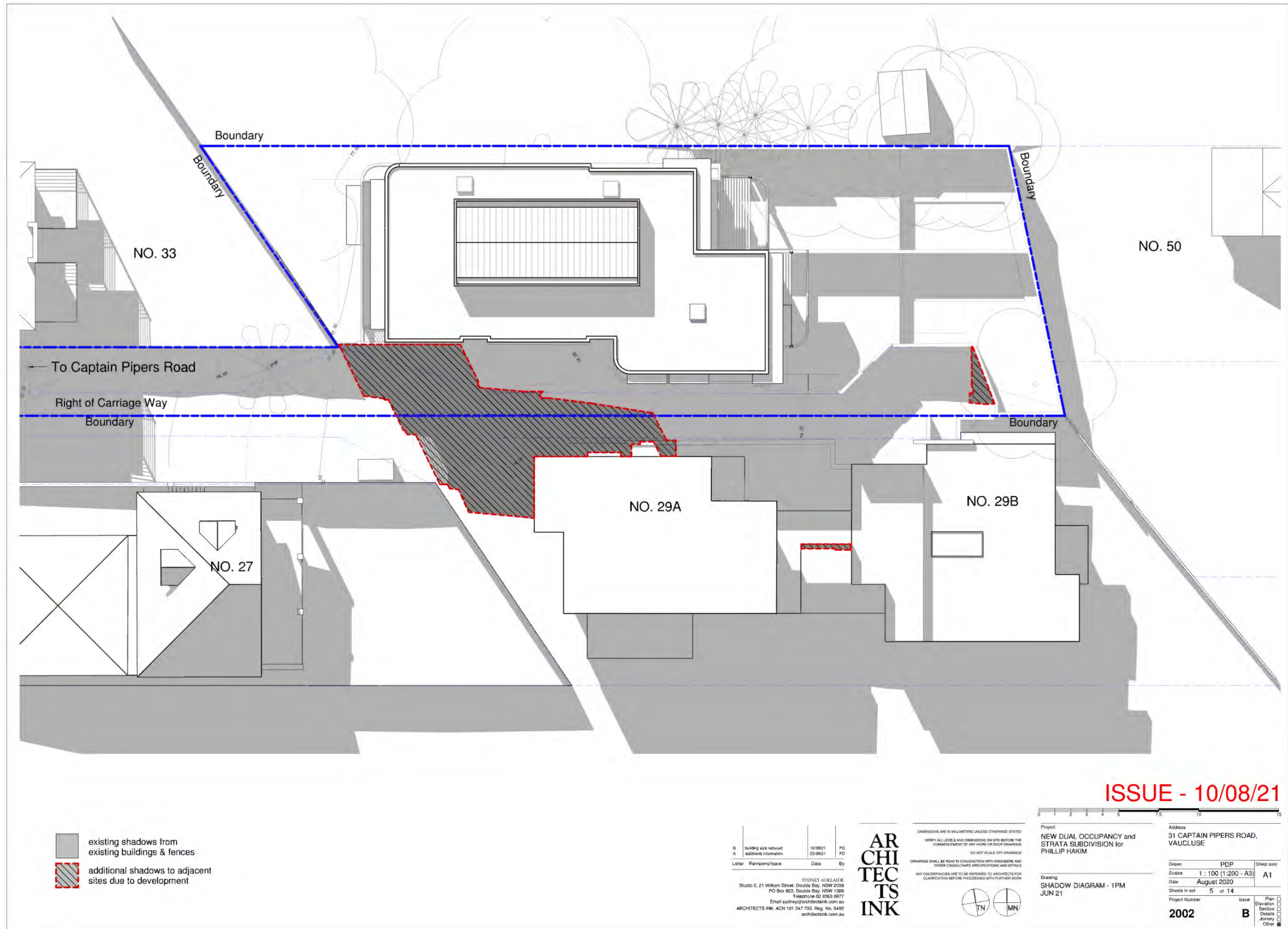
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Project
 NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM
 Drawing
 SHADOW DIAGRAM - 12PM
 JUN 21

Address
 31 CAPTAIN PIPERS ROAD, VAUCLUSE
 Drawn PDP Sheet size A1
 Scales 1:100 (1:200 - A3)
 Date August 2020
 Sheets in set 4 of 14
 Project Number 2002
 Issue E
 Plan
 Elevation
 Section
 Details
 Joinery
 Other



existing shadows from existing buildings & fences
 additional shadows to adjacent sites due to development

B	building size reduced	10/09/21	PD
A	additional information	25/06/21	PD
Letter	Revisions/Issue	Date	By

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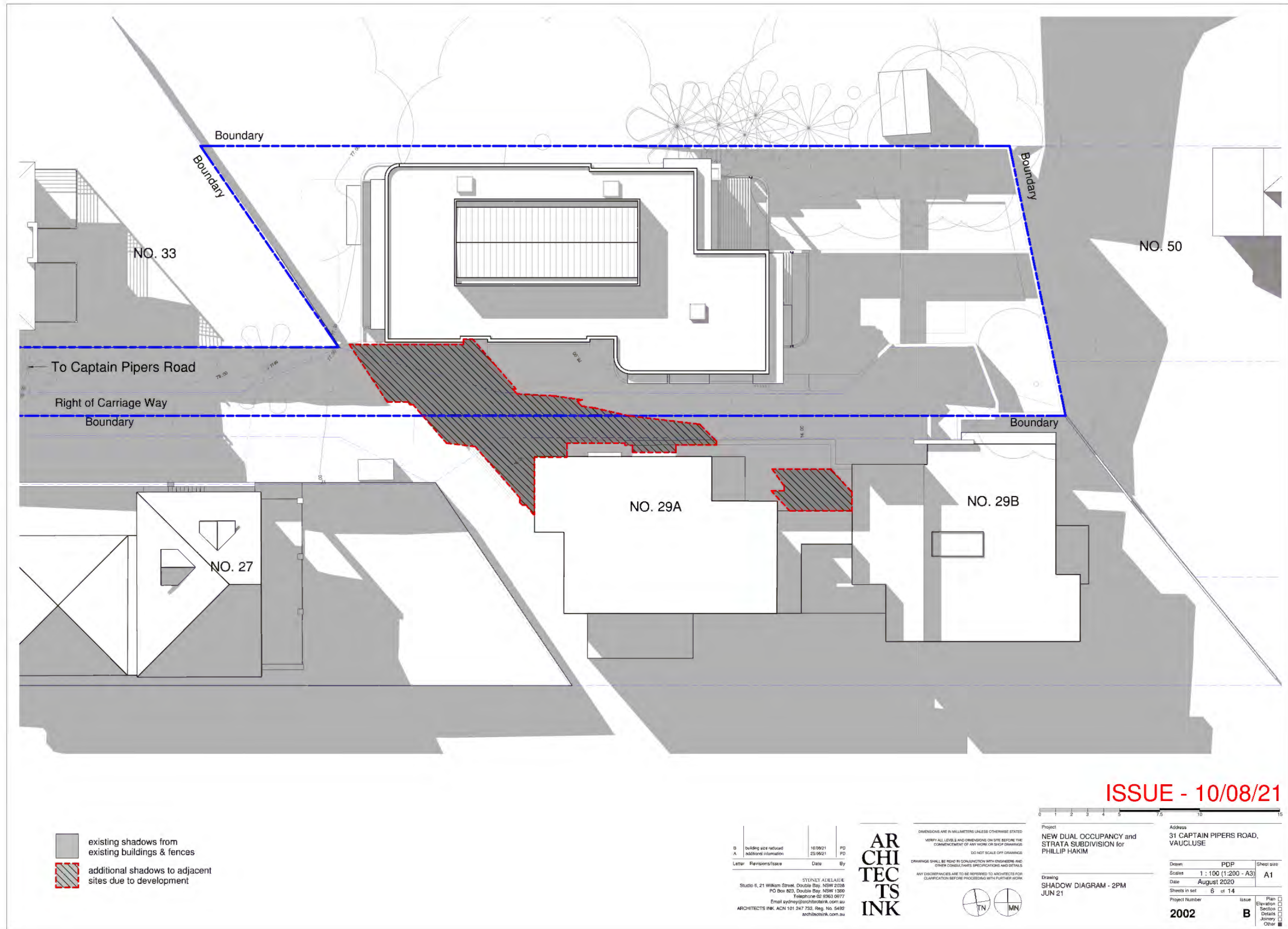
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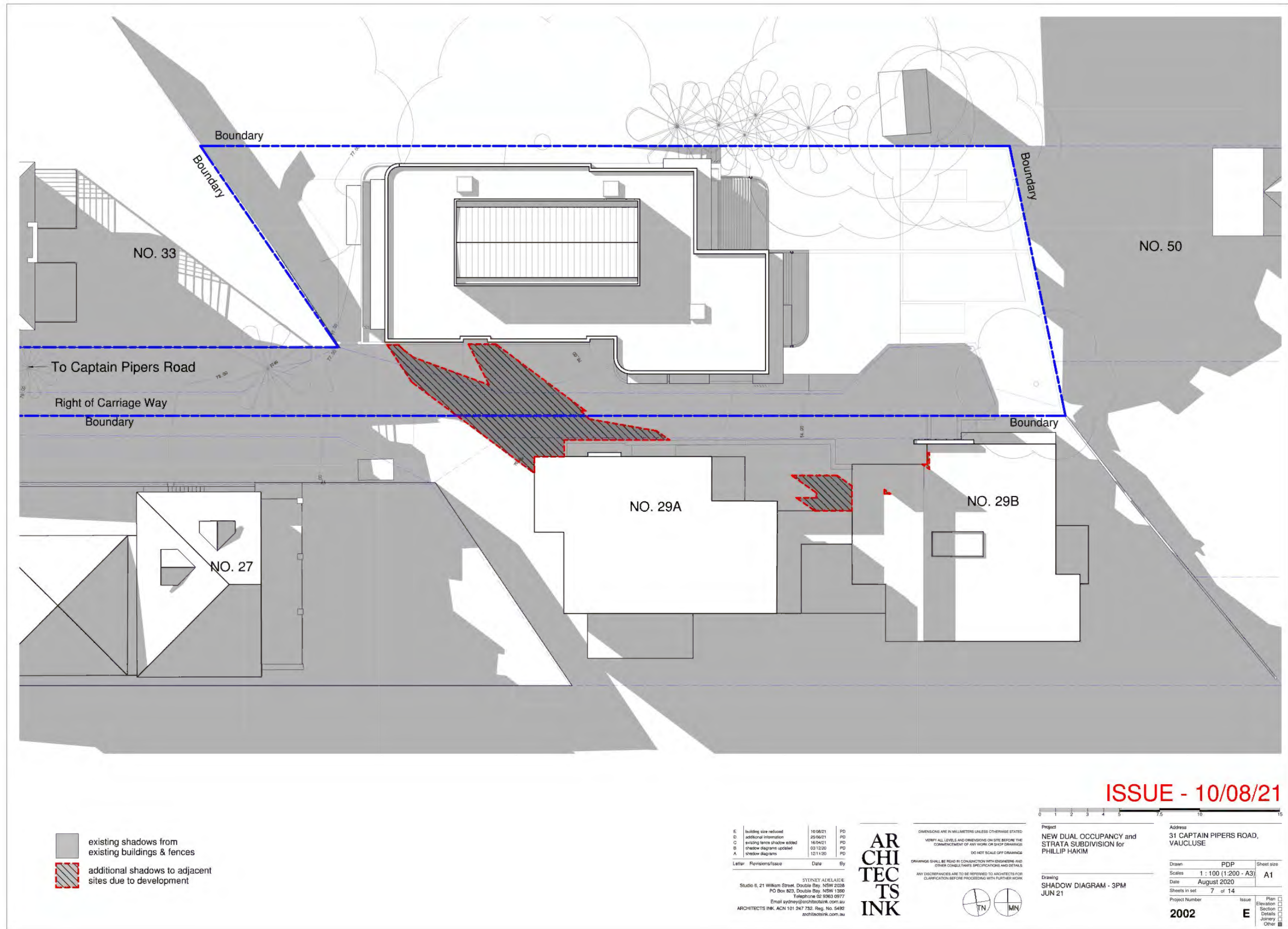


Project
 NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM
 Drawing
 SHADOW DIAGRAM - 1PM
 JUN 21

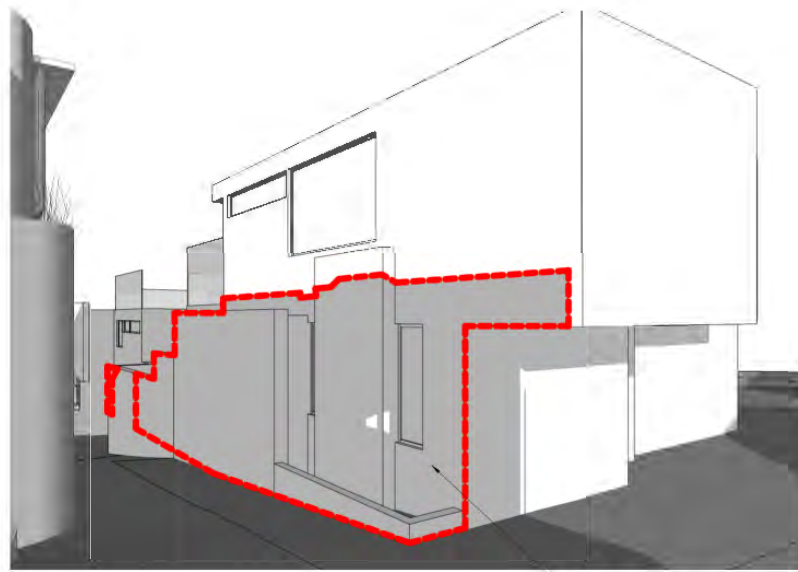
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 Scales 1:100 (1:200 - A3)
 Date August 2020
 Sheets in set 5 of 14
 Project Number 2002 Issue B
 Plan
 Elevation
 Section
 Details
 Joinery
 Other

ISSUE - 10/08/21









Additional shadow due to development

7 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 3PM 21 JUN

- existing shadows to adjacent sites from existing buildings
- additional shadows to adjacent sites due to development

ISSUE - 10/08/21

B building and related 10/08/21 PD
 A additional information 25/08/21 PD
 Letter Revisions/Issue Date By
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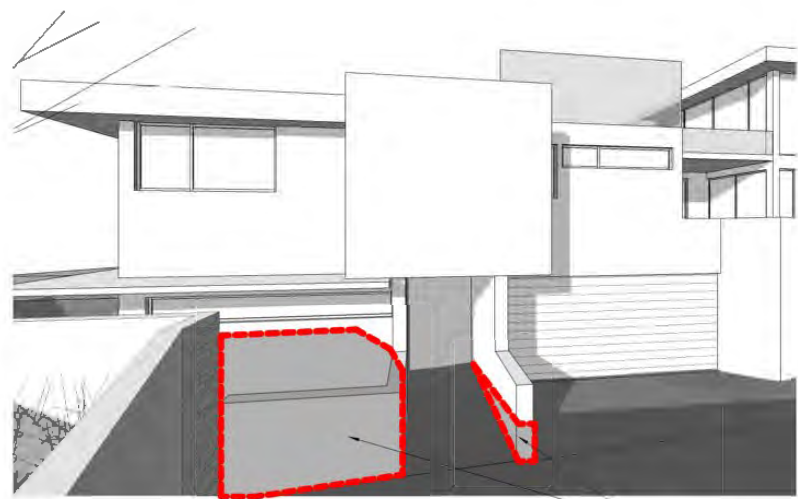


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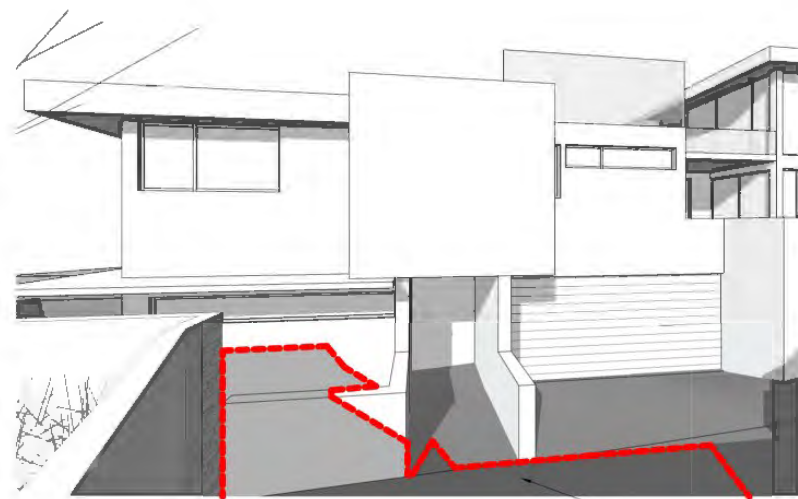
Project
 NEW DUAL OCCUPANCY and
 STRATA SUBDIVISION for
 PHILLIP HAKIM
 Drawing
 ELEVATIONAL SHADOW
 DIAGRAMS TO NO.29A
 CAPTAIN PIPERS ROAD

Address		31 CAPTAIN PIPERS ROAD, VAUCLUSE	
Drawn	PDP	Sheet size	A1
Scale	Not to Scale	Date	August 2020
Sheets in set	9 of 14	Project Number	2002
Issue	B	Plan	<input type="checkbox"/>
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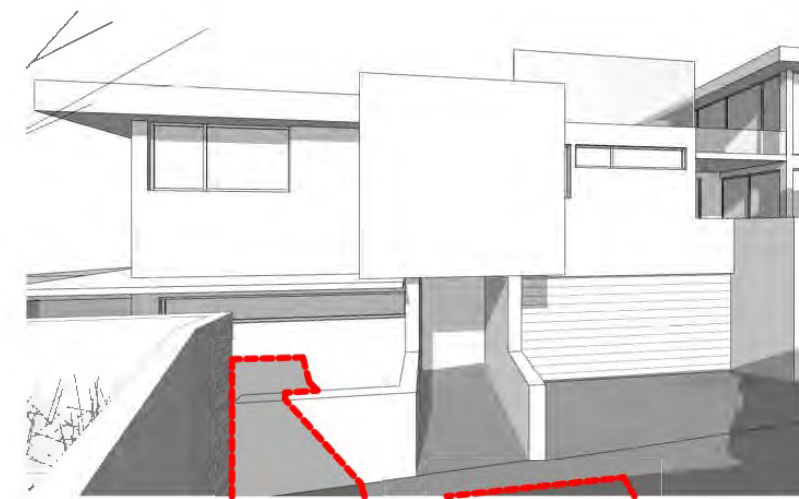
1 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 9AM 21 JUN

Additional shadow due to development

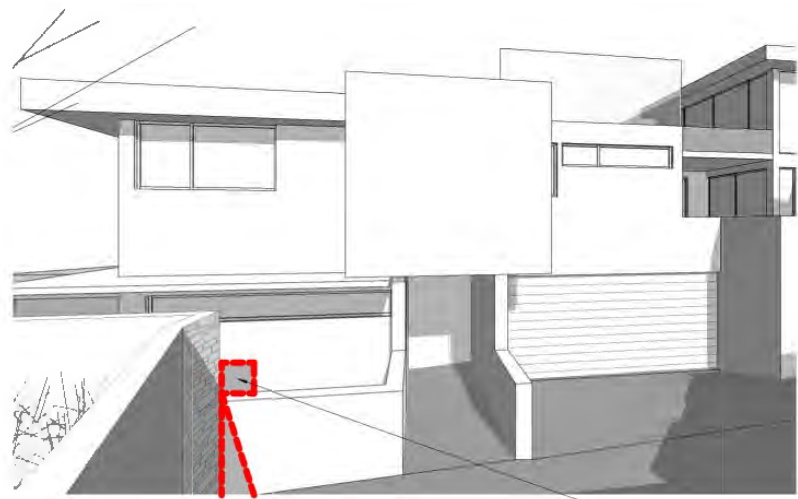


2 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 10AM 21 JUN

Additional shadow due to development

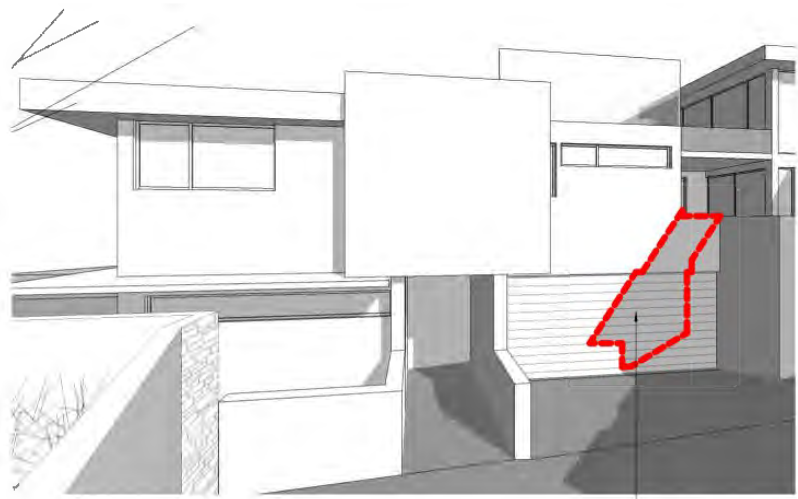


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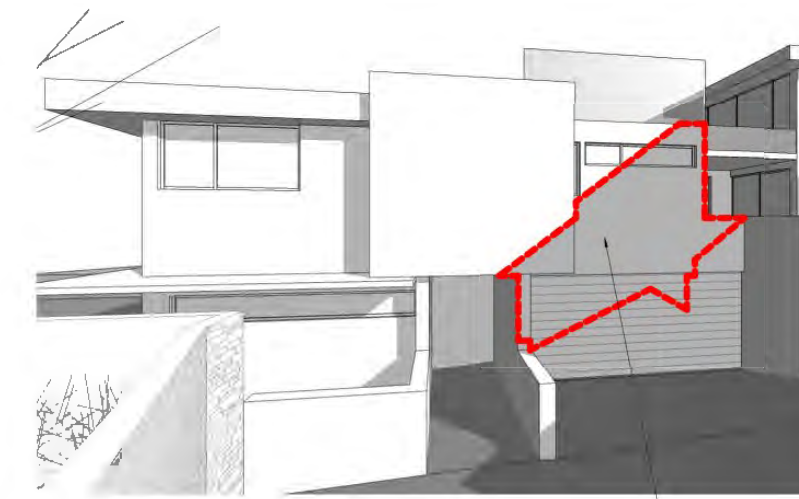
4 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 12PM 21 JUN

Additional shadow due to development



5 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 1PM 21 JUN

Additional shadow due to development



6 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 2PM 21 JUN

Additional shadow due to development

- existing shadows to adjacent sites from existing buildings
- additional shadows to adjacent sites due to development

ISSUE - 10/08/21

Letter	Revisions/Issue	Date	By
A	Building size reduced additional information	10/08/21	PD
B		25/06/21	PD

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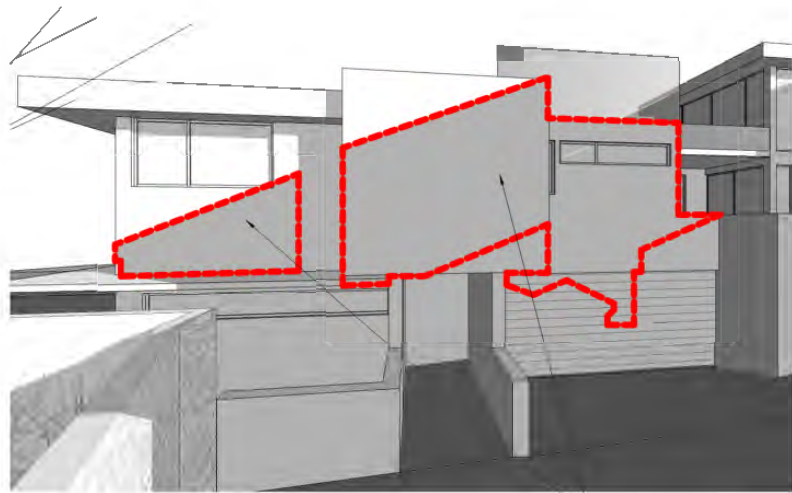


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Project
 NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM

Drawing
 ELEVATIONAL SHADOW DIAGRAMS TO NO.29B CAPTAIN PIPERS ROAD

Address 31 CAPTAIN PIPERS ROAD, VAUCLUSE		Drawn PDP		Sheet size A1
Scale Not to Scale		Date August 2020		Issue B
Sheets in set 10 of 14		Project Number 2002		Plan <input type="checkbox"/>
				Elevation <input type="checkbox"/>
				Section <input type="checkbox"/>
				Detail <input type="checkbox"/>
				Joinery <input type="checkbox"/>
				Other <input type="checkbox"/>



7 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 3PM 21 JUN

Additional shadow due to development

- existing shadows to adjacent sites from existing buildings
- additional shadows to adjacent sites due to development

B	building and related additional information	10/09/21	PD
A		25/09/21	PD
Letter	Revisions/Issue	Date	By

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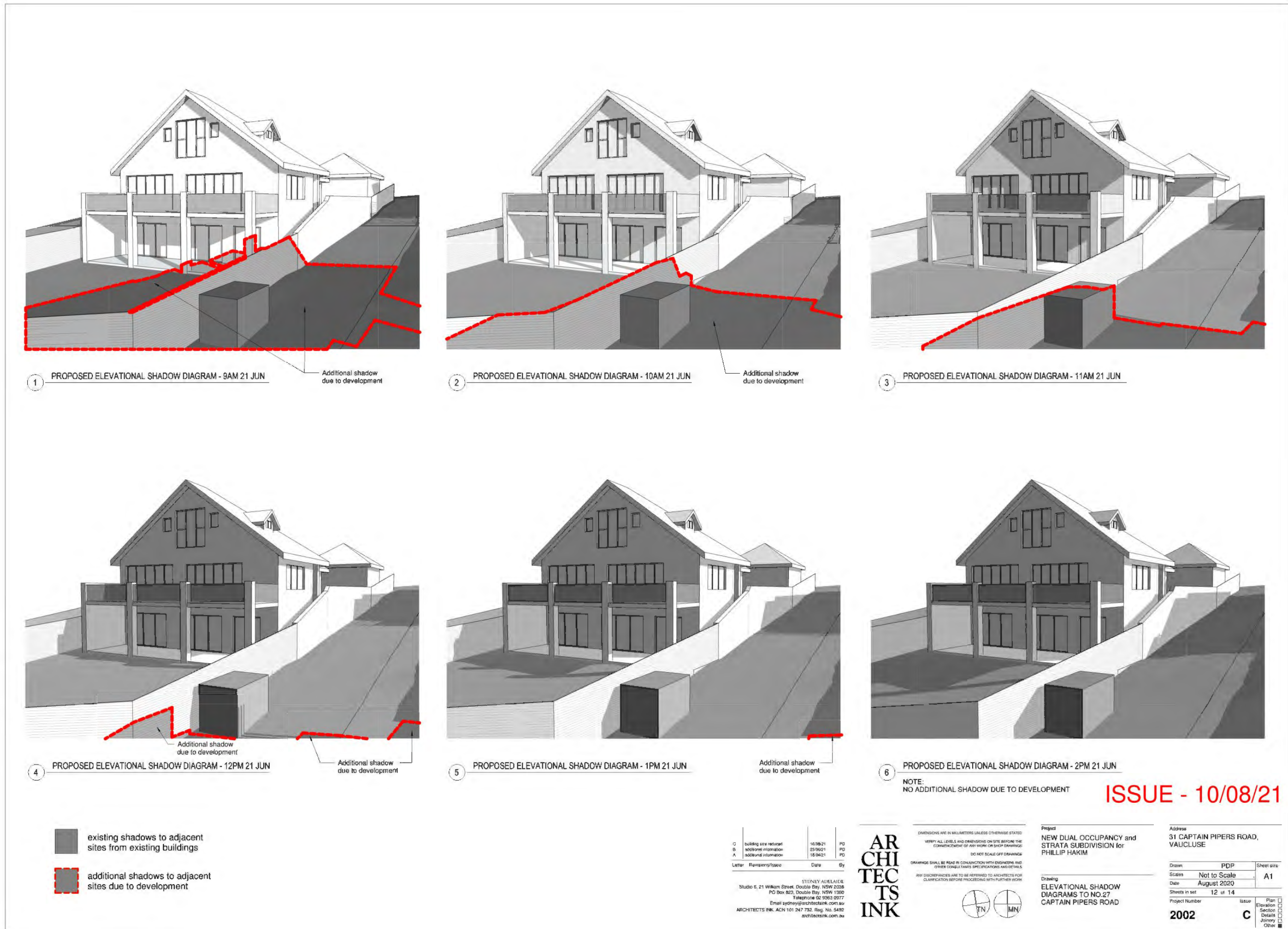
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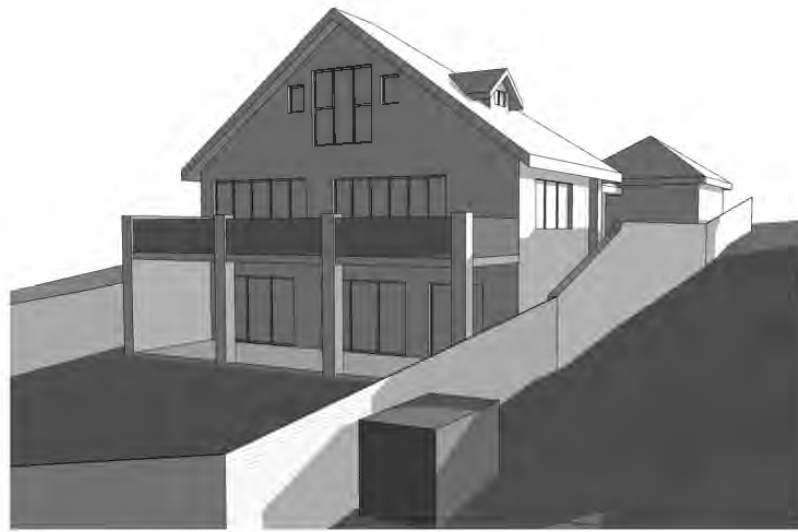
Project
 NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM

Drawing
 ELEVATIONAL SHADOW DIAGRAMS TO NO.29B CAPTAIN PIPERS ROAD

ISSUE - 10/08/21

Address 31 CAPTAIN PIPERS ROAD, VAUCLUSE	
Drawn PDP	Sheet size A1
Scale Not to Scale	Date August 2020
Sheets in set 11 of 14	Project Number 2002
Issue B	Plan <input type="checkbox"/> Elevation <input type="checkbox"/> Section <input type="checkbox"/> Detail <input type="checkbox"/> Joinery <input type="checkbox"/> Other <input type="checkbox"/>





7 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 3PM 21 JUN

NOTE:
 NO ADDITIONAL SHADOW DUE TO DEVELOPMENT

- existing shadows to adjacent sites from existing buildings
- additional shadows to adjacent sites due to development

B	building and related additional information	10/09/21	PD
A		25/09/21	PD
Letter	Revisions/Issue	Date	By

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Project
 NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM

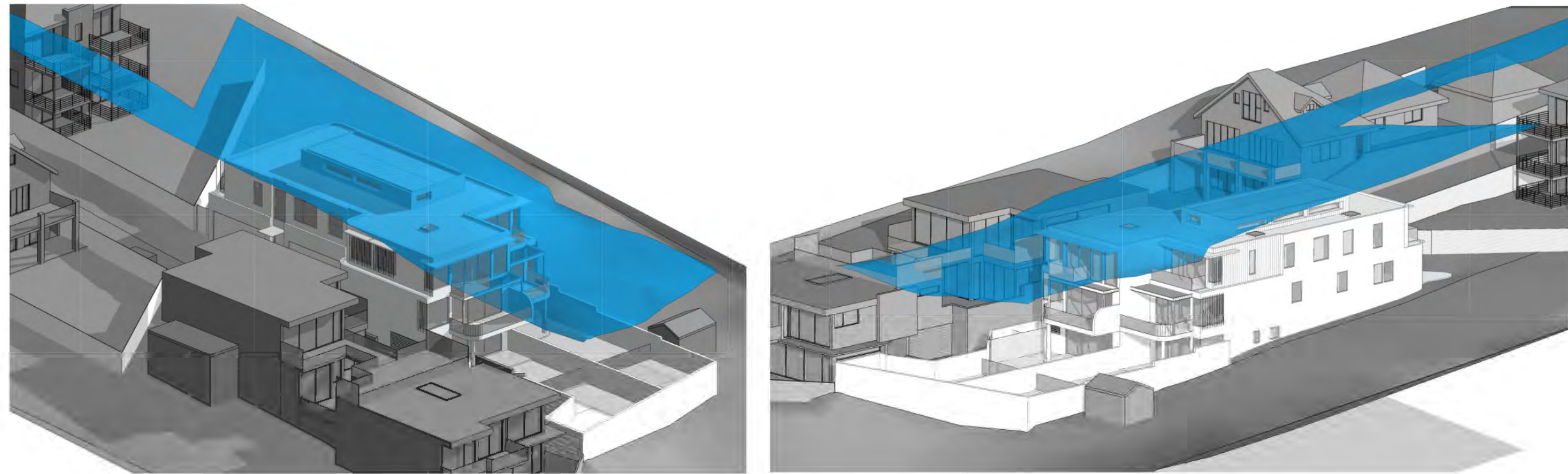
Drawing
 ELEVATIONAL SHADOW DIAGRAMS TO NO.27 CAPTAIN PIPERS ROAD

Address
 31 CAPTAIN PIPERS ROAD, VAUCLUSE

Drawn	PDP	Sheet size
Scale	Not to Scale	A1
Date	August 2020	
Sheets in set	13 of 14	
Project Number	2002	Issue
		B

Plan
 Elevation
 Section
 Details
 Joinery
 Other

ISSUE - 10/08/21



ISSUE - 10/08/21

#	Revisions/Issue	Date	By
A	building size reduced building height plane diagram	10/08/21 24/07/21	PD PD

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Project
 NEW DUAL OCCUPANCY and
 STRATA SUBDIVISION for
 PHILLIP HAKIM

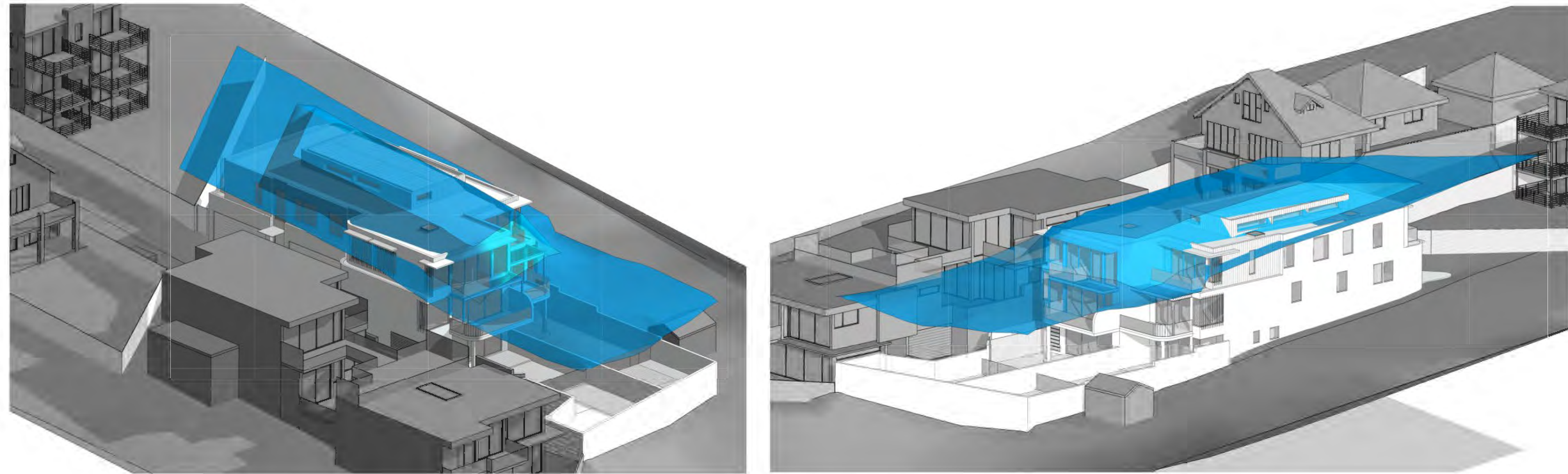
Drawing
 9.5M MAXIMUM BUILDING
 HEIGHT PLANE DIAGRAM

Address
 31 CAPTAIN PIPERS ROAD,
 VAUCLUSE

Drawn: PDP
Scale: (1:200 - A3)
Date: August 2020
Sheets in set: 14 of 14

Project Number
 2002

Issue	Plan	Elevation	Section	Details	Joinery	Other
B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



ISSUE - 19/08/21

Letter	Revisions/Issue	Date	By
A	additions submitted	18/08/21	PD

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Project
 NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM

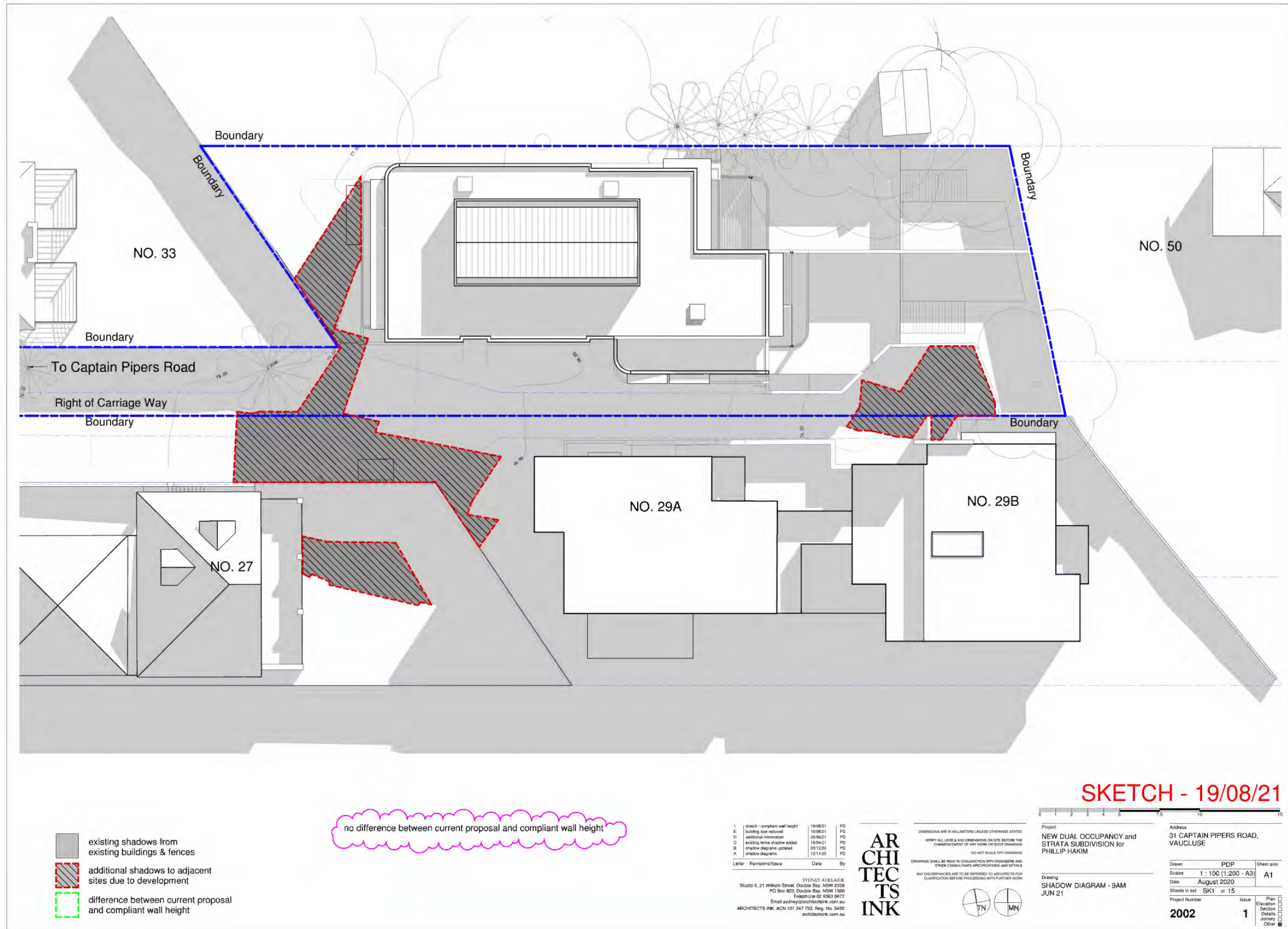
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 9.5M HEIGHT LIMIT PLUS 7.2M WALL HEIGHT LIMIT & 45 DEGREE HEIGHT PLANE

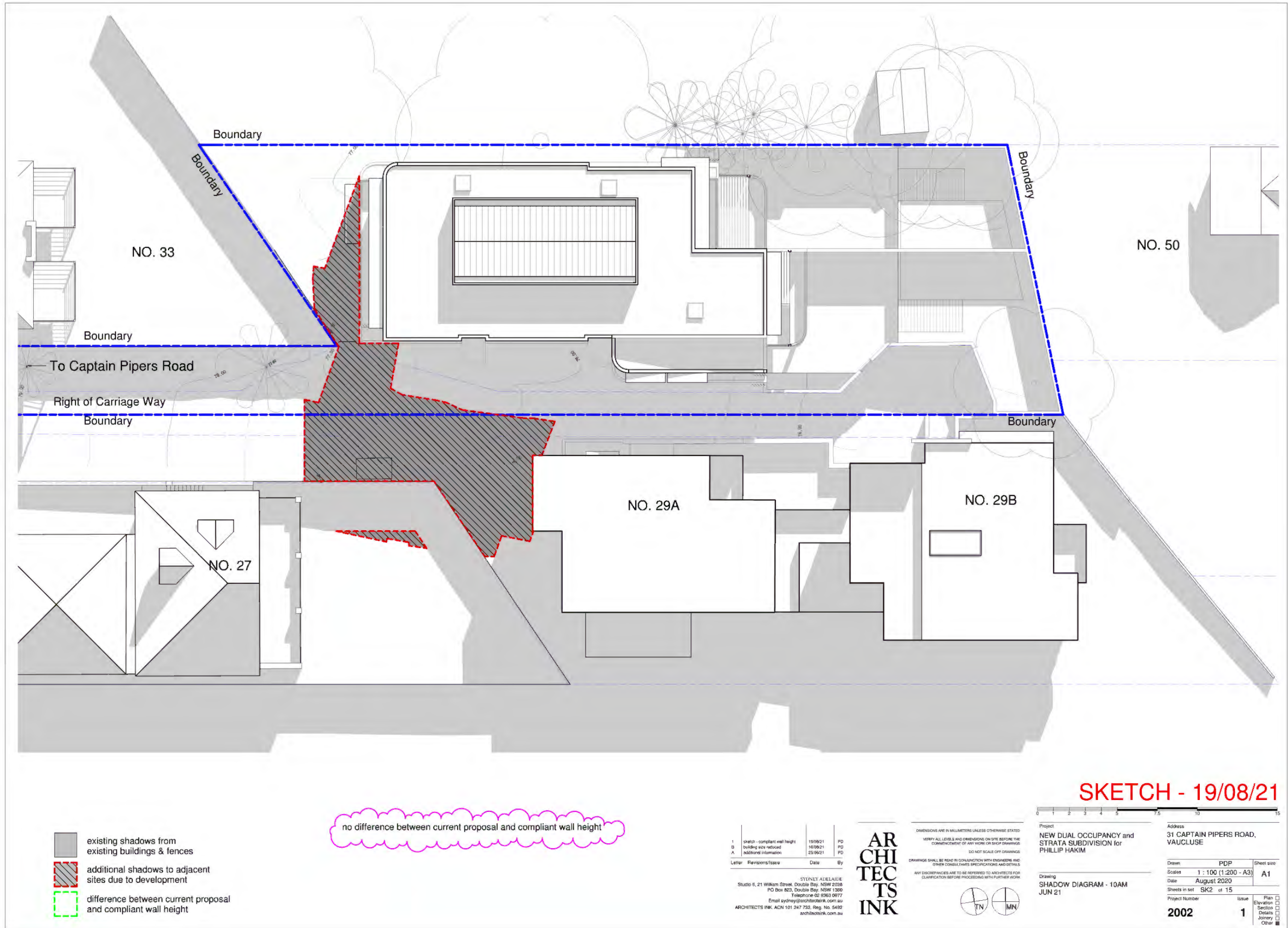
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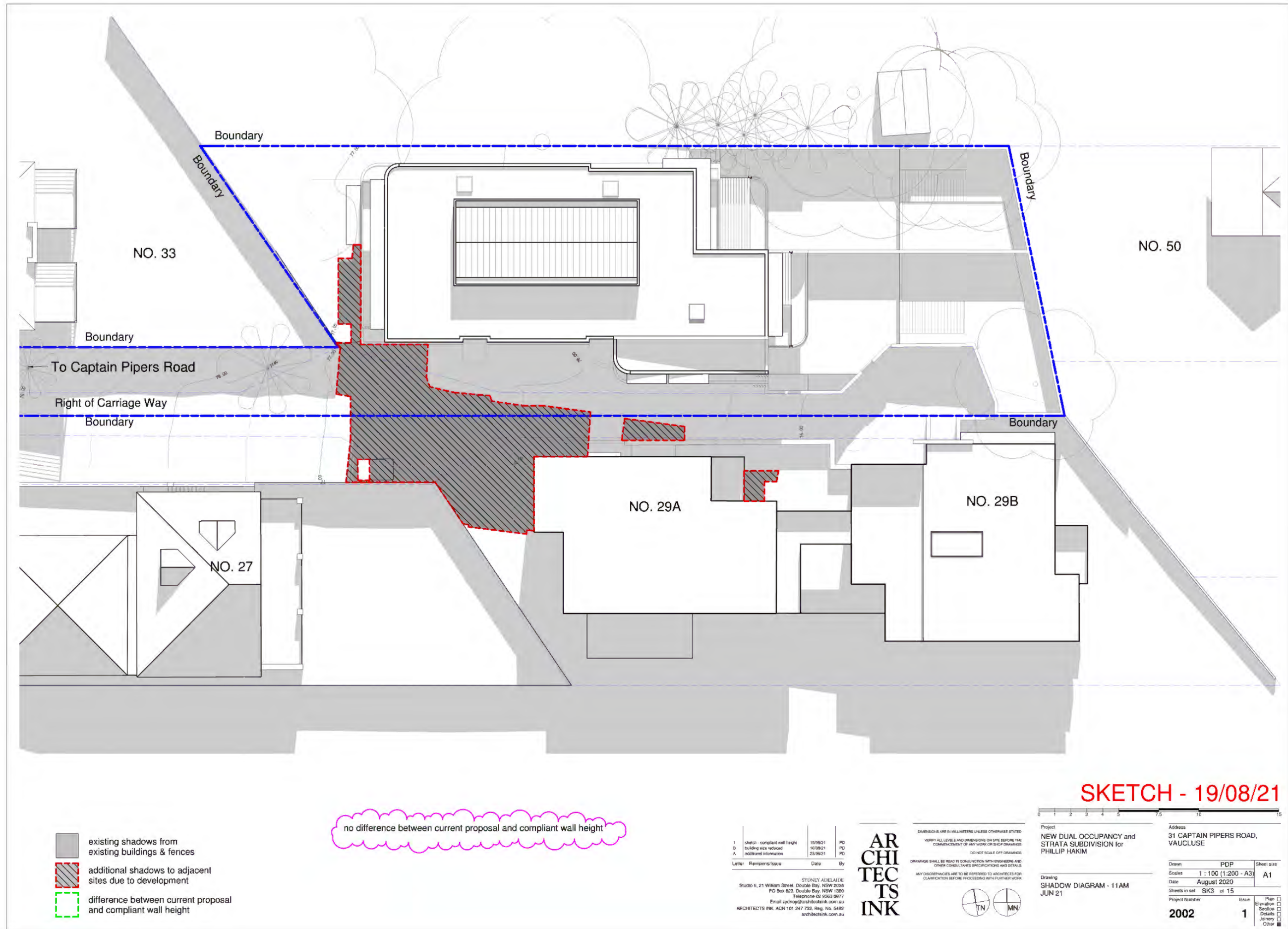
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Scale (1:200 - A3)
Date August 2020
Sheets in set 15 of 15

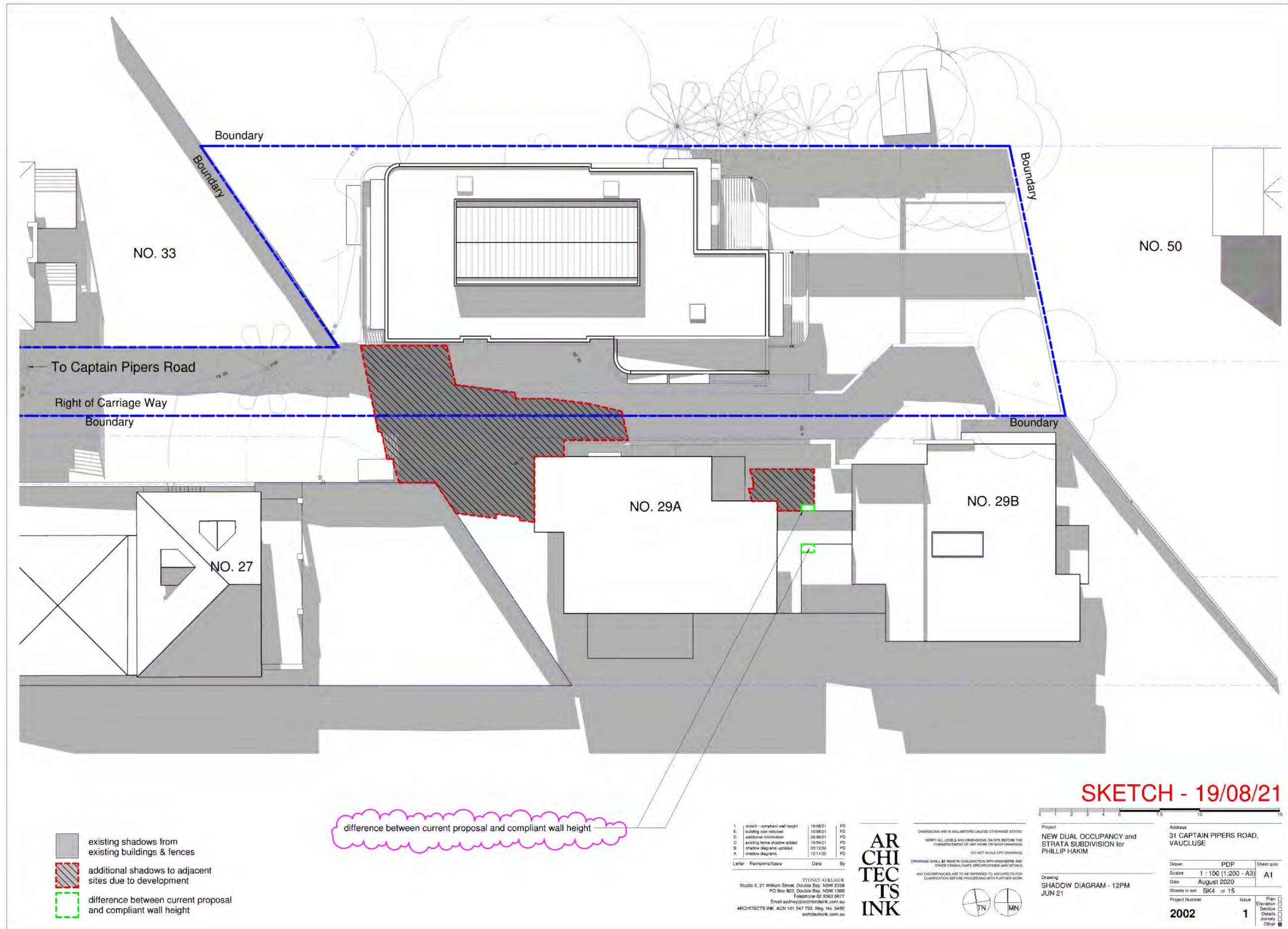
Project Number 2002

Issue	Plan	<input type="checkbox"/>
A	Elevation	<input type="checkbox"/>
	Section	<input type="checkbox"/>
	Details	<input type="checkbox"/>
	Joinery	<input type="checkbox"/>
	Other	<input type="checkbox"/>









SKETCH - 19/08/21

- existing shadows from existing buildings & fences
- additional shadows to adjacent sites due to development
- difference between current proposal and compliant wall height

difference between current proposal and compliant wall height

Letter	Revisions/Issue	Date	By
1	sketch - compliant wall height	19/08/21	PD
E	building size reduced	18/08/21	PD
D	additional information	25/06/21	PD
C	existing fence shadow added	18/04/21	PD
B	shadow diagrams updated	03/12/20	PD
A	shadow diagrams	12/11/20	PD

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Project
NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM

Address
31 CAPTAIN PIPERS ROAD, VAUCLUSE

Drawn: PDP
 Scales: 1:100 (1:200 - A3)
 Date: August 2020
 Sheets in set: SK4 of 15

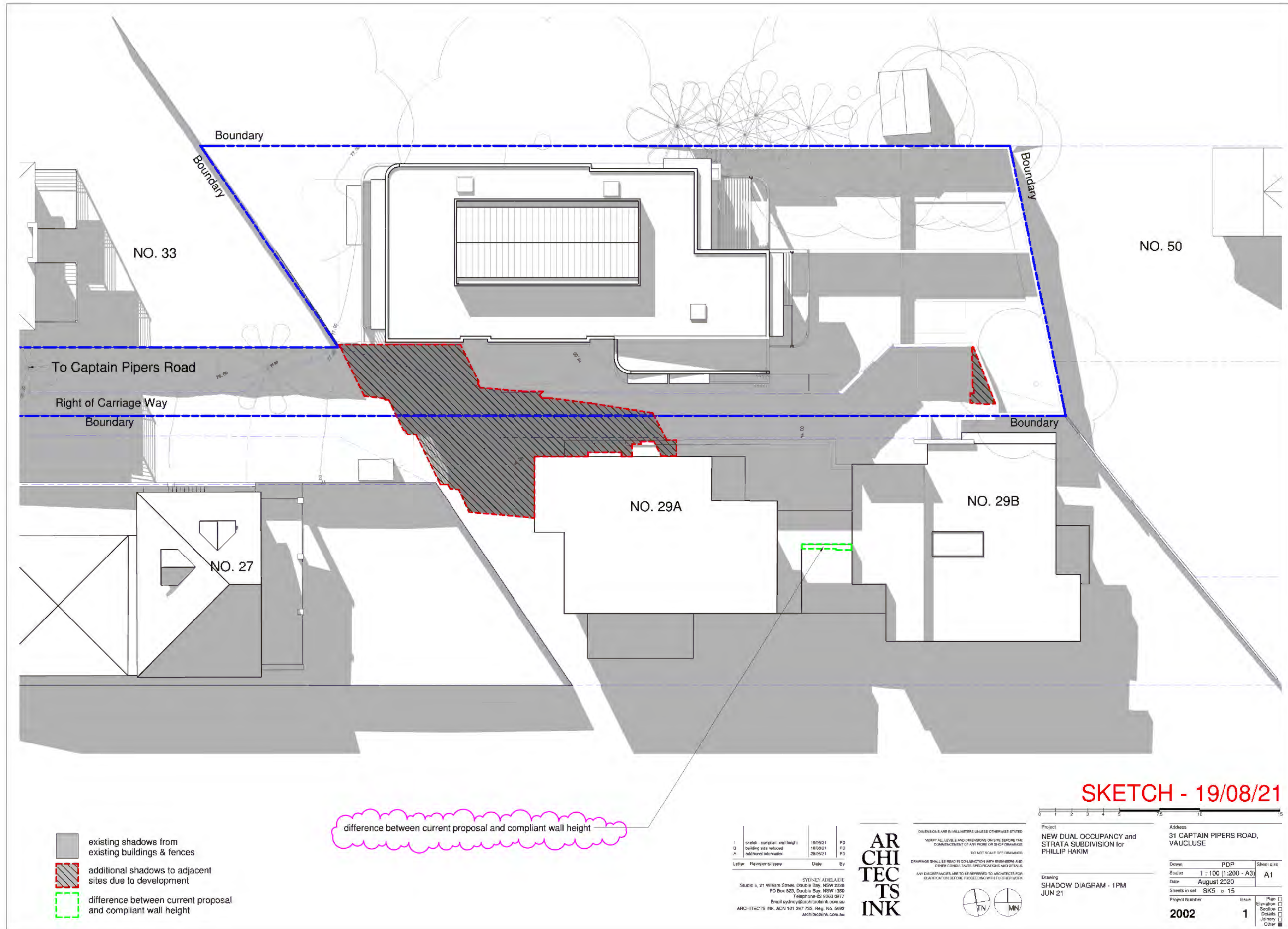
Drawing
SHADOW DIAGRAM - 12PM JUN 21

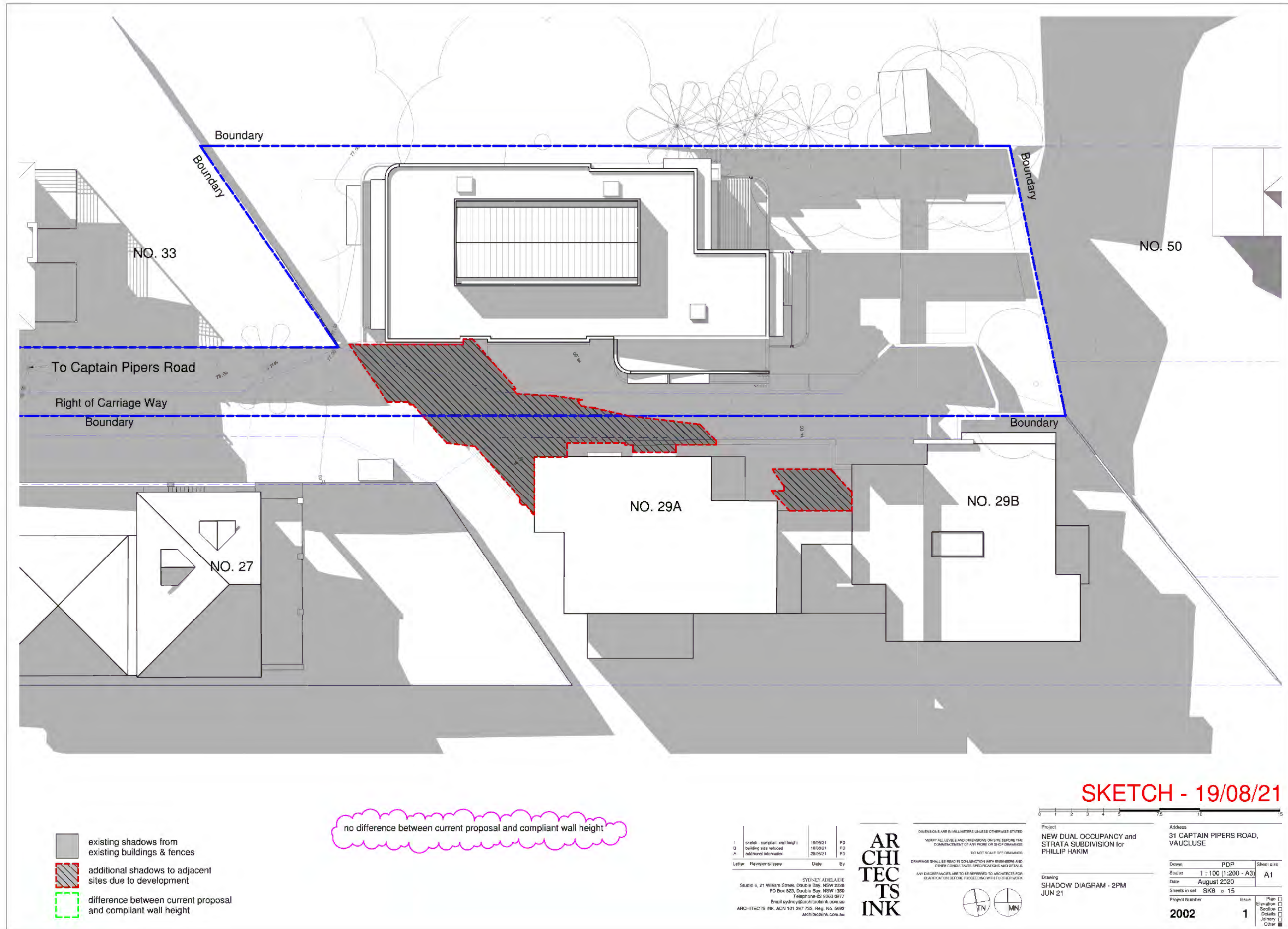
Project Number
2002

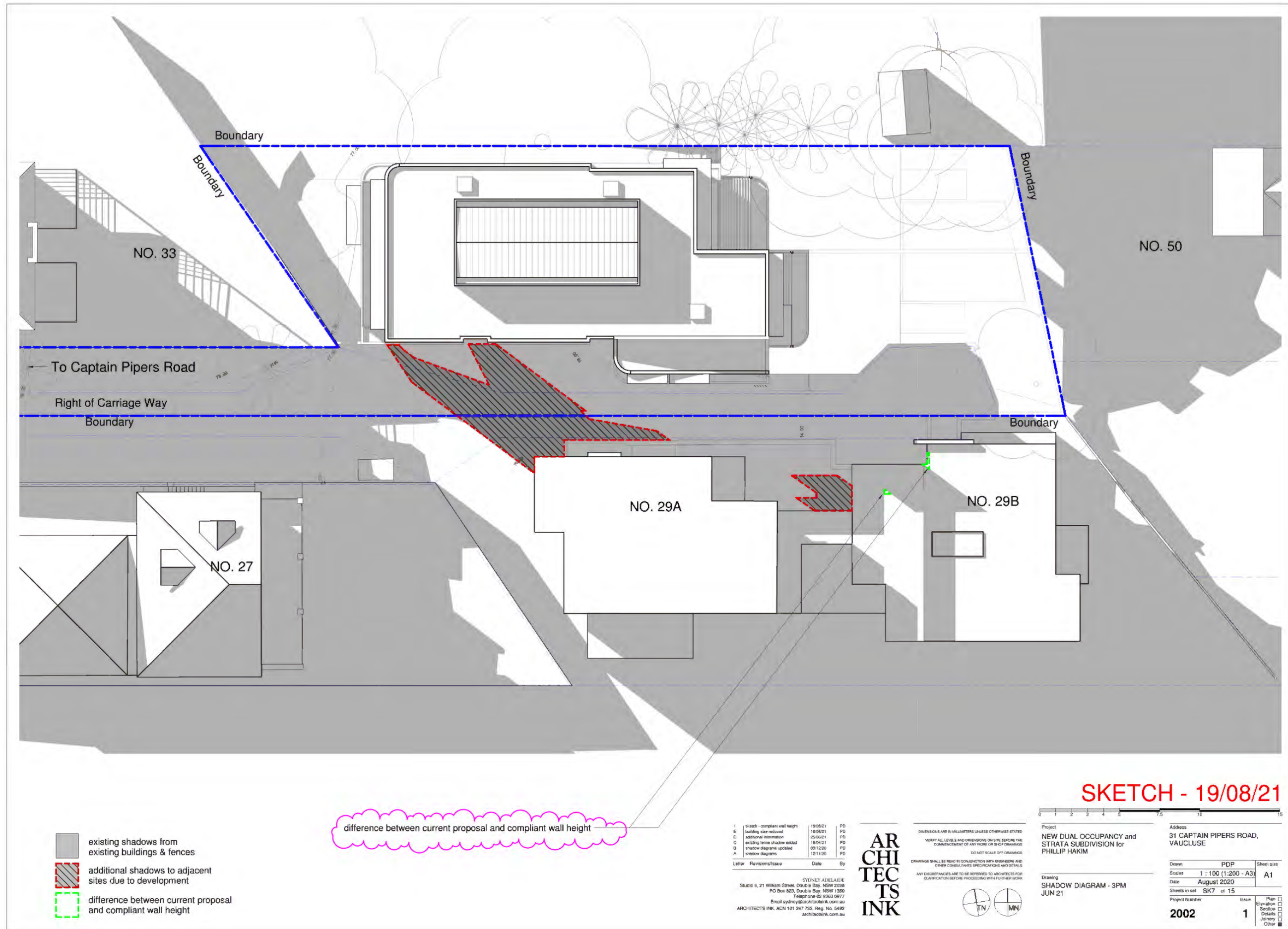
Issue
1

Sheet size
A1

Plan
 Elevation
 Section
 Details
 Joinery
 Other







SKETCH - 19/08/21

- existing shadows from existing buildings & fences
- additional shadows to adjacent sites due to development
- difference between current proposal and compliant wall height

difference between current proposal and compliant wall height

Letter	Revisions/Issue	Date	By
1	sketch - compliant wall height	19/08/21	PD
E	building size reduced	16/08/21	PD
D	additional information	25/06/21	PD
C	existing fence shadow added	16/04/21	PD
B	shadow diagrams updated	03/12/20	PD
A	shadow diagrams	12/11/20	PD

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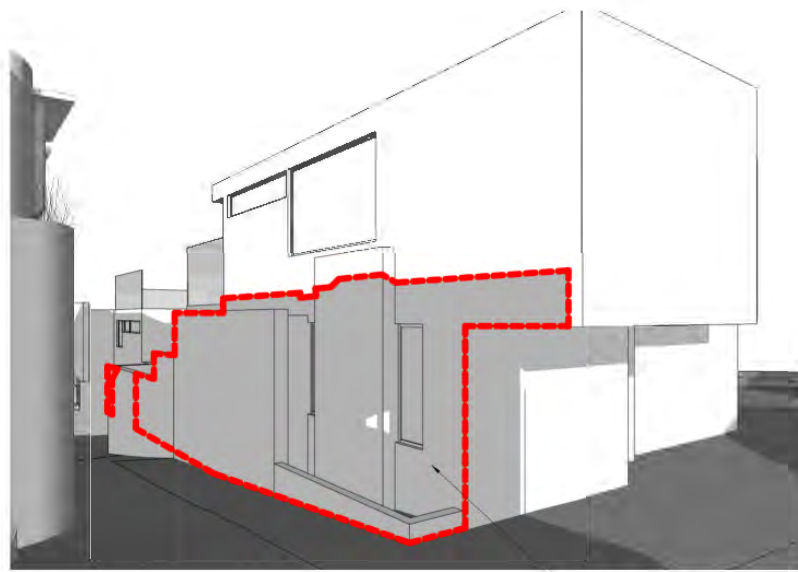
Project
NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM

Address
31 CAPTAIN PIPERS ROAD, VAUCLUSE

Drawn **PDP** Sheet size **A1**
 Scales **1 : 100 (1:200 - A3)**
 Date **August 2020**
 Sheets in set **SK7** of 15
 Project Number **2002** Issue **1**




Issue
 Plan
 Elevation
 Section
 Details
 Joinery
 Other





Additional shadow due to development

7 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 3PM 21 JUN

-  existing shadows to adjacent sites from existing buildings
-  additional shadows to adjacent sites due to development
-  difference between current proposal and compliant wall height

no difference between current proposal and compliant wall height

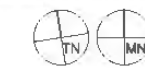
SKETCH - 19/08/21

Letter	Revisions/Issue	Date	By
1	sketch - compliant wall height	15/08/21	PD
B	building height reduced	16/08/21	PD
A	additional illumination	25/08/21	PD

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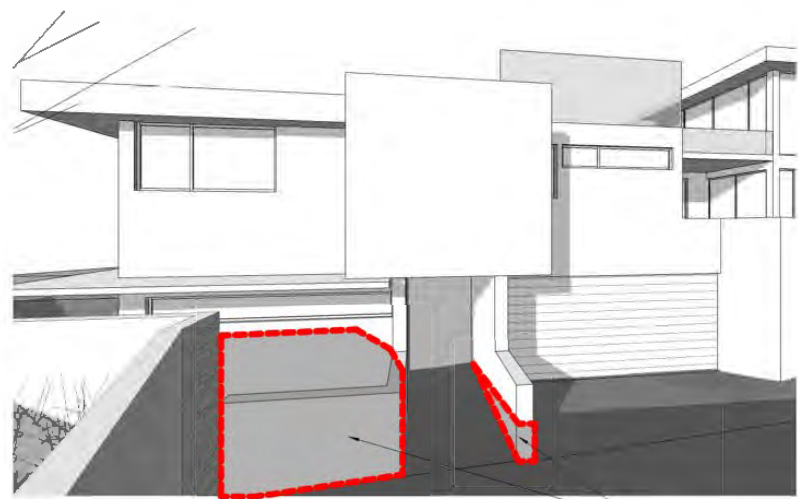
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Project
 NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM

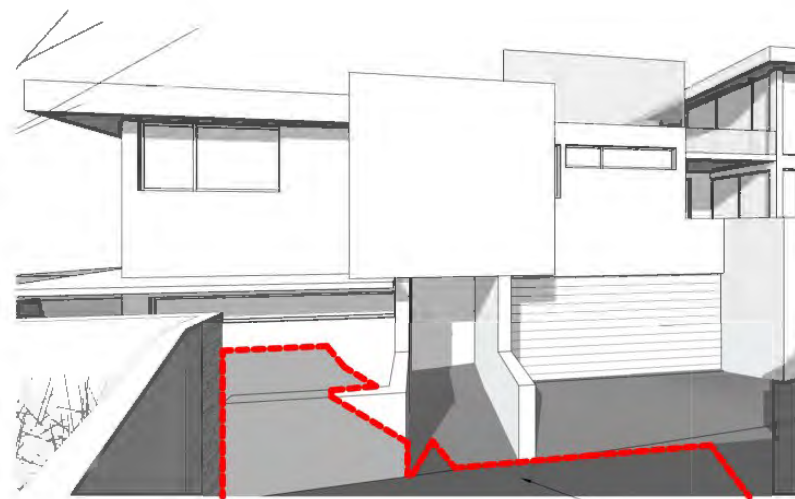
Drawing
 ELEVATIONAL SHADOW DIAGRAMS TO NO.29A CAPTAIN PIPERS ROAD

Address 31 CAPTAIN PIPERS ROAD, VAUCLUSE	
Drawn PDP	Sheet size A1
Scale Not to Scale	Date August 2020
Sheets in set SK9 of 15	Project Number 2002
Issue 1	Plan <input type="checkbox"/> Elevation <input type="checkbox"/> Section <input type="checkbox"/> Detail <input type="checkbox"/> Journey <input type="checkbox"/> Other <input type="checkbox"/>



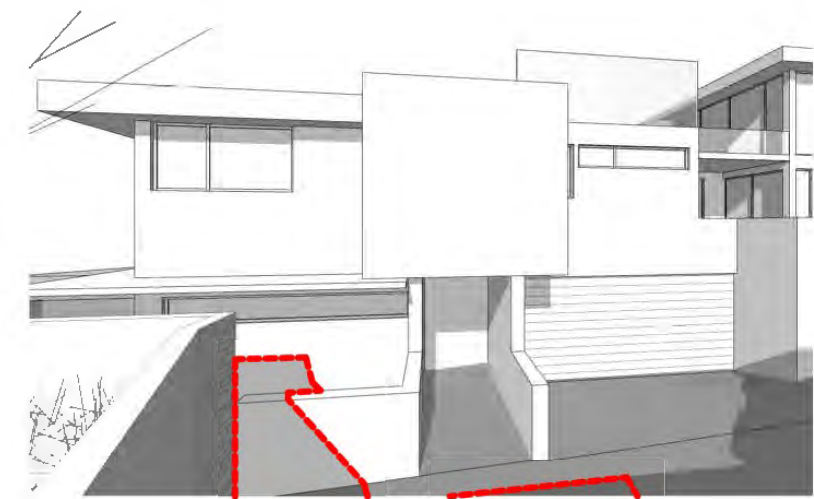
1 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 9AM 21 JUN

Additional shadow due to development

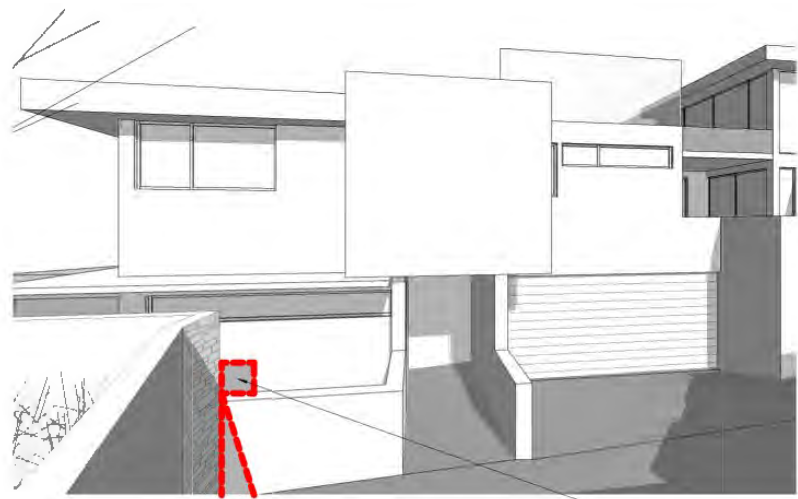


2 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 10AM 21 JUN

Additional shadow due to development

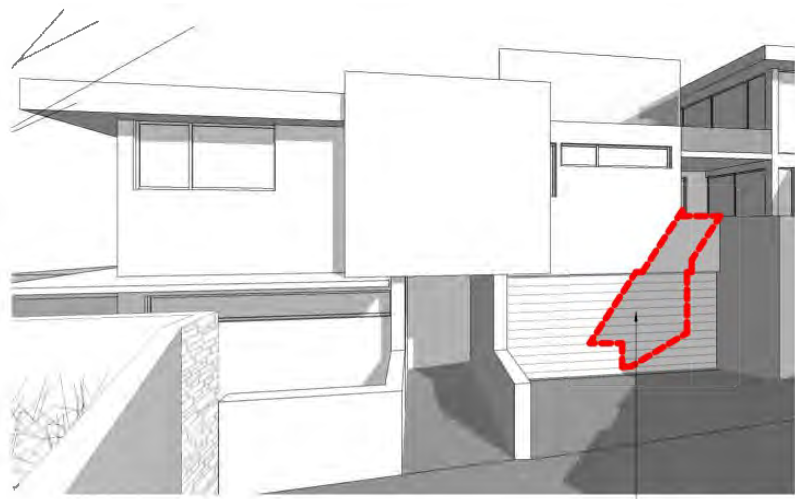


3 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 11AM 21 JUN



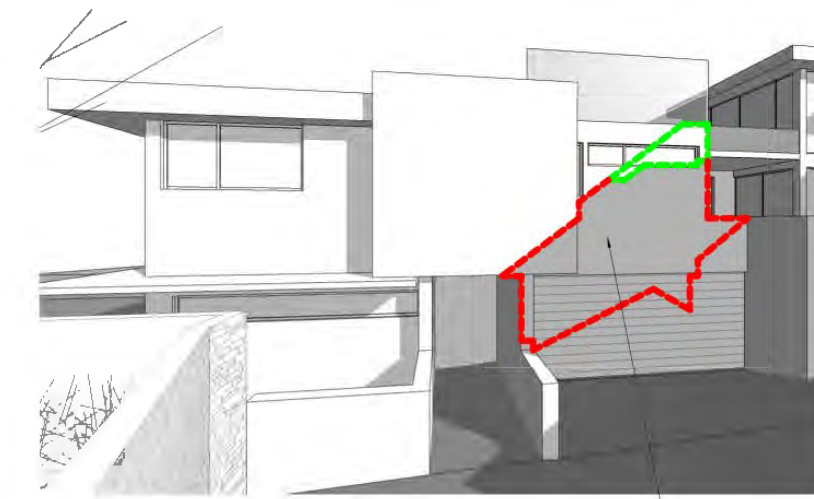
4 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 12PM 21 JUN

Additional shadow due to development






5 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 1PM 21 JUN

Additional shadow due to development



6 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 2PM 21 JUN

Additional shadow due to development

-  existing shadows to adjacent sites from existing buildings
-  additional shadows to adjacent sites due to development
-  difference between current proposal and compliant wall height

1	sketch - compliant wall height	18/08/21	PD
B	building wall height	18/08/21	PD
A	additional information	25/08/21	PD

Letter: Revisions/Issue Date By

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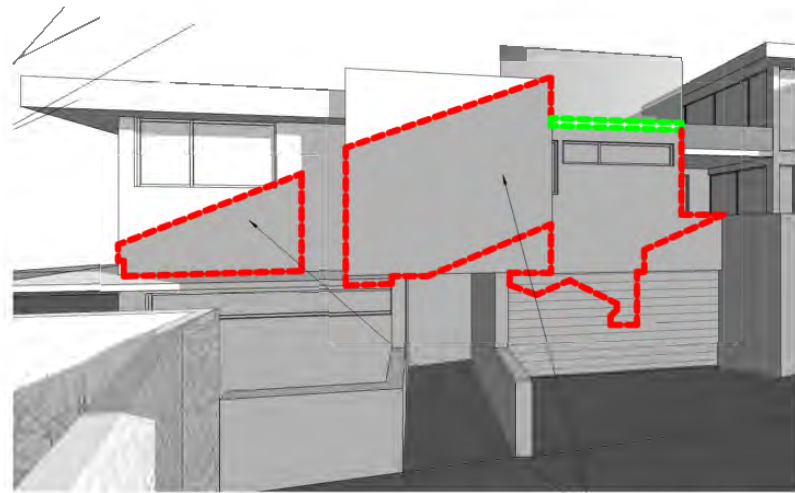
Project
 NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM

Drawing
 ELEVATIONAL SHADOW DIAGRAMS TO NO.29B CAPTAIN PIPERS ROAD

Address
 31 CAPTAIN PIPERS ROAD, VAUCLUSE




Drawn: PDP Sheet size: A1
 Scale: Not to Scale
 Date: August 2020
 Sheets in set: SK10 of 15
 Project Number: 2002 Issue: 1
 Plan
 Elevation
 Section
 Detail
 Joinery
 Other

SKETCH - 19/08/21



7 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 3PM 21 JUN

Additional shadow due to development


-  existing shadows to adjacent sites from existing buildings
-  additional shadows to adjacent sites due to development
-  difference between current proposal and compliant wall height

Letter	Revisions/Issue	Date	By
1	sketch - compliant wall height	15/08/21	PD
B	building height reduced	16/08/21	PD
A	additional illumination	25/08/21	PD

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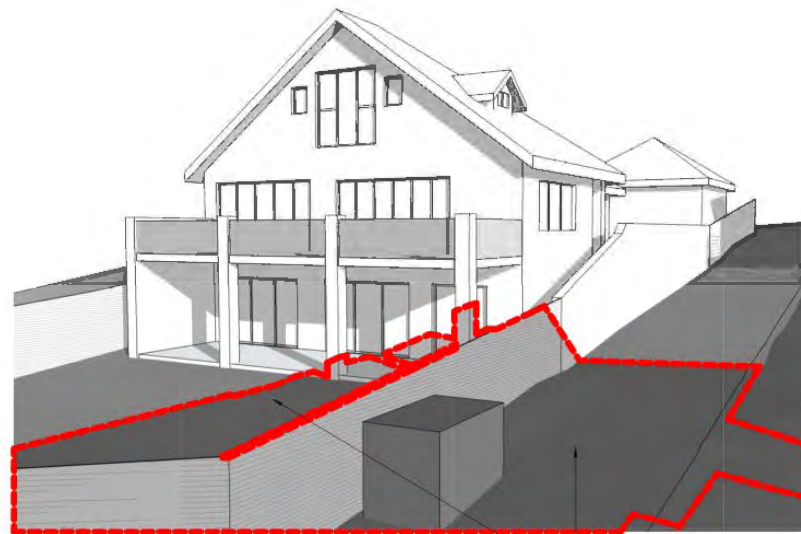


Project
 NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM

Drawing
 ELEVATIONAL SHADOW DIAGRAMS TO NO.29B CAPTAIN PIPERS ROAD

Address 31 CAPTAIN PIPERS ROAD, VAUCLUSE	
Drawn PDP	Sheet size A1
Scale Not to Scale	Date August 2020
Sheets in set SK11 of 15	
Project Number 2002	Issue 1
<input type="checkbox"/> Plan <input type="checkbox"/> Elevation <input type="checkbox"/> Section <input type="checkbox"/> Details <input type="checkbox"/> Joinery <input checked="" type="checkbox"/> Other	

SKETCH - 19/08/21



1 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 9AM 21 JUN
 Additional shadow due to development



2 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 10AM 21 JUN
 Additional shadow due to development



3 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 11AM 21 JUN



4 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 12PM 21 JUN
 Additional shadow due to development






5 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 1PM 21 JUN
 Additional shadow due to development



6 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 2PM 21 JUN

NOTE:
 NO ADDITIONAL SHADOW DUE TO DEVELOPMENT **SKETCH - 19/08/21**

-  existing shadows to adjacent sites from existing buildings
-  additional shadows to adjacent sites due to development
-  difference between current proposal and compliant wall height

no difference between current proposal and compliant wall height

Letter	Revisions/Issue	Date	By
1	sketch - compliant wall height	18/08/21	PD
C	building site retained	18/08/21	PD
B	additional information	20/08/21	PD
A	additional information	18/08/21	PD

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Project
 NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM




Drawing
 ELEVATIONAL SHADOW DIAGRAMS TO NO.27 CAPTAIN PIPERS ROAD

Address 31 CAPTAIN PIPERS ROAD, VAUCLUSE		Sheet size A1
Drawn PDP	Scale Not to Scale	Issue 1
Date August 2020	Project Number 2002	Plan <input type="checkbox"/>
Sheets in set SK12 of 15		Elevation <input type="checkbox"/>
		Section <input type="checkbox"/>
		Detail <input type="checkbox"/>
		Joinery <input type="checkbox"/>
		Other <input type="checkbox"/>



7 PROPOSED ELEVATIONAL SHADOW DIAGRAM - 3PM 21 JUN

NOTE:
 NO ADDITIONAL SHADOW DUE TO DEVELOPMENT

-  existing shadows to adjacent sites from existing buildings
-  additional shadows to adjacent sites due to development
-  difference between current proposal and compliant wall height

no difference between current proposal and compliant wall height

Letter	Revisions/Issue	Date	By
1	sketch - compliant wall height	15/08/21	PH
2	building wall reduced	16/08/21	PH
A	additional illumination	25/08/21	PH

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Project
 NEW DUAL OCCUPANCY and STRATA SUBDIVISION for PHILLIP HAKIM

Address
 31 CAPTAIN PIPERS ROAD, VAUCLUSE

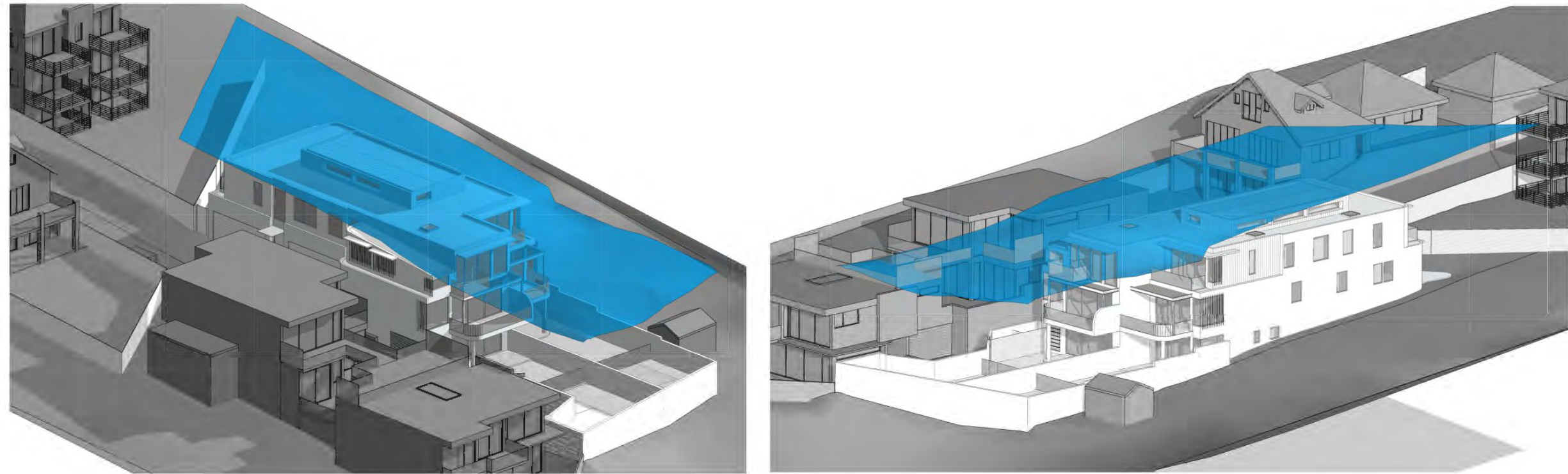
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 Date August 2020
 Sheets in set SK13 of 15

Drawing
 ELEVATIONAL SHADOW DIAGRAMS TO NO.27 CAPTAIN PIPERS ROAD

Project Number 2002 Issue 1

Plan
 Elevation
 Section
 Details
 Joinery
 Other

SKETCH - 19/08/21



SKETCH - 19/08/21

Letter	Revisions/Issue	Date	By
1	sketch - complete wall height	18/08/21	PD
B	building face revised	18/08/21	PD
A	building height plane diagram	24/07/21	PD

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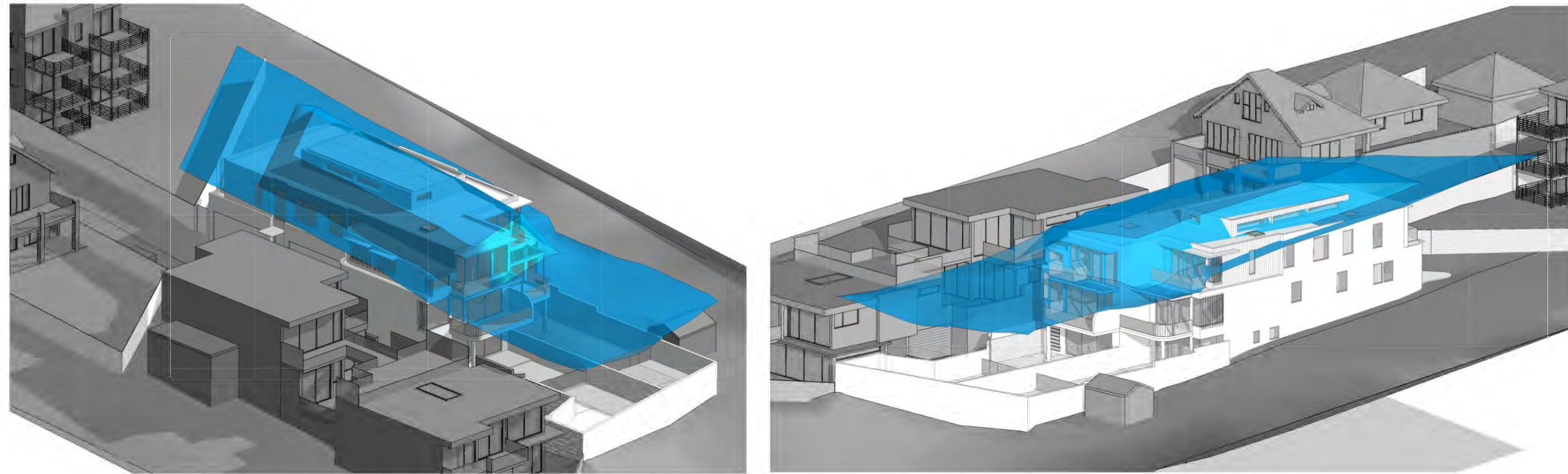
Project
 NEW DUAL OCCUPANCY and
 STRATA SUBDIVISION for
 PHILLIP HAKIM

Drawing
 9.5M MAXIMUM BUILDING
 HEIGHT PLANE DIAGRAM

Address
 31 CAPTAIN PIPERS ROAD,
 VAUCLUSE

Drawn PDP **Sheet size**
Scale (1:200 - A3) **A1**
Date August 2020

Sheets in set SK14 of 15
Project Number 2002
Issue 1
 Plan
 Elevation
 Section
 Details
 Joinery
 Other



SKETCH - 19/08/21

Letter	Revisions/Issue	Date	By
1	Sketch - compliant wall height	19/08/21	PD
A	additional information	19/08/21	PD

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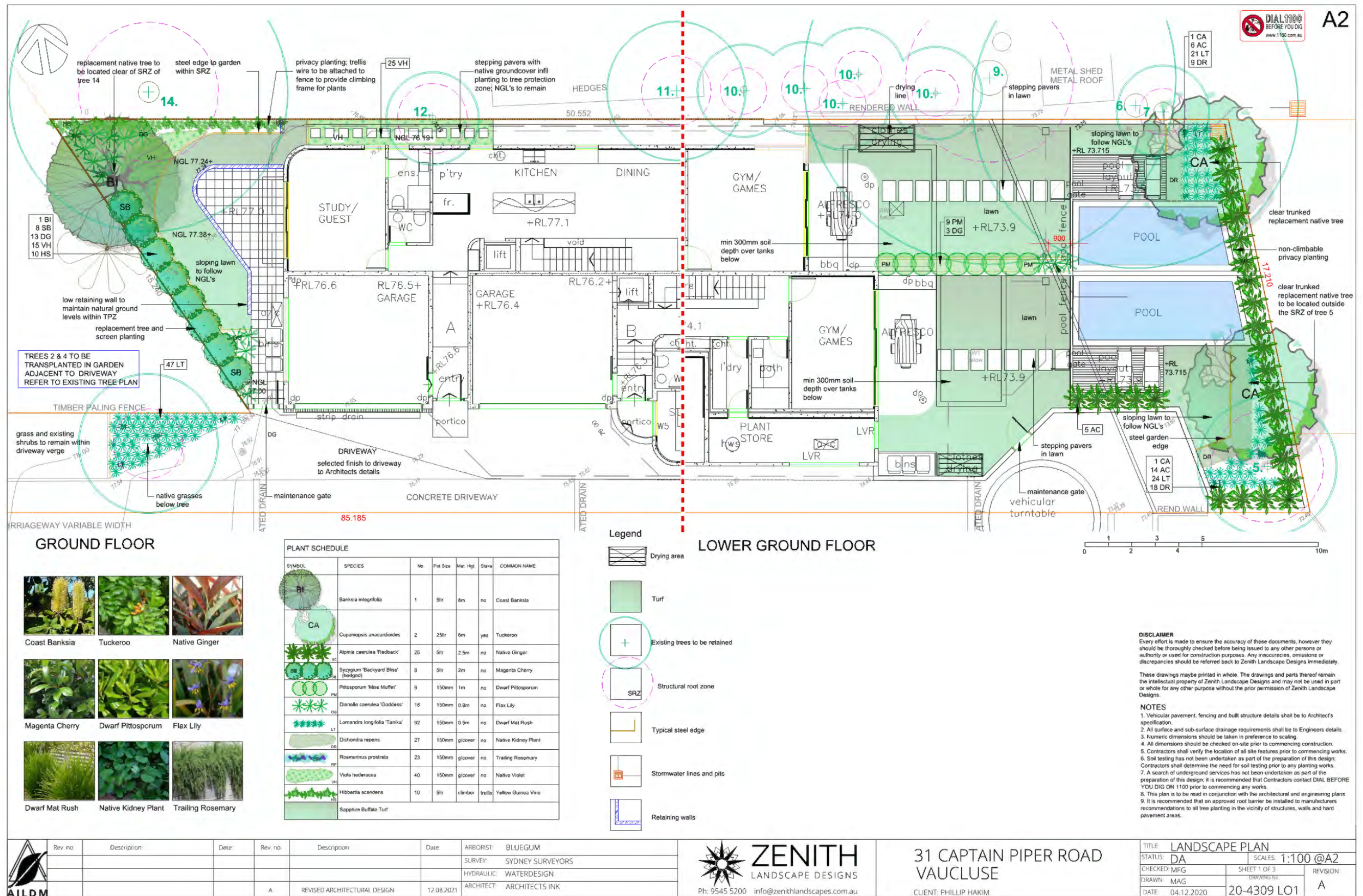


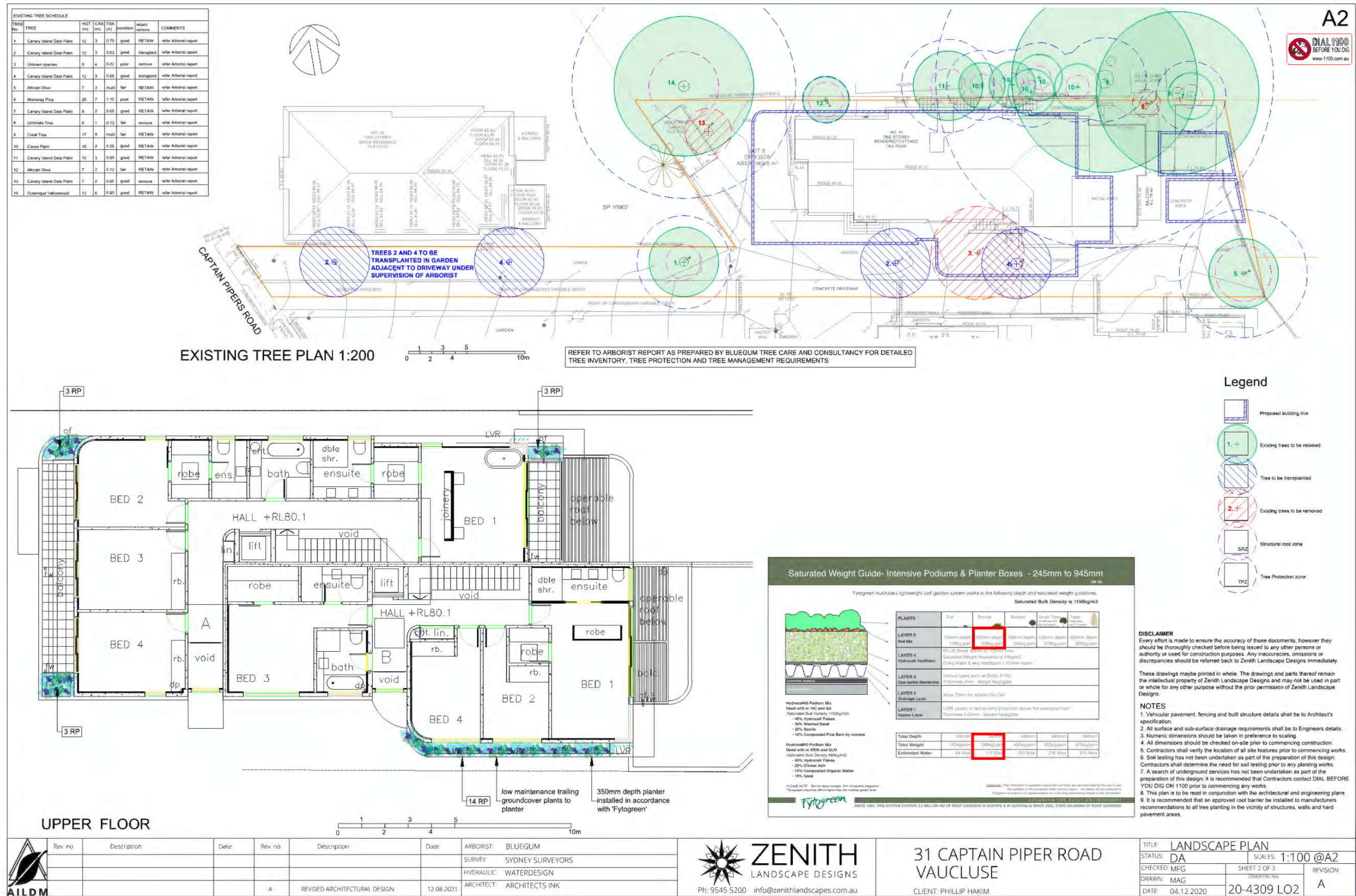
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Project
 NEW DUAL OCCUPANCY and
 STRATA SUBDIVISION for
 PHILLIP HAKIM

Drawing
 9.5M HEIGHT LIMIT PLUS
 7.2M WALL HEIGHT LIMIT &
 45 DEGREE HEIGHT PLANE

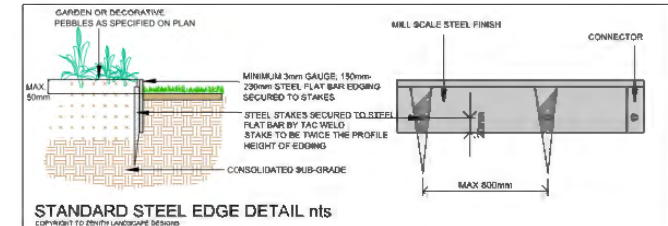
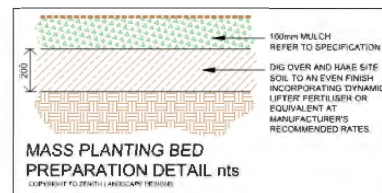
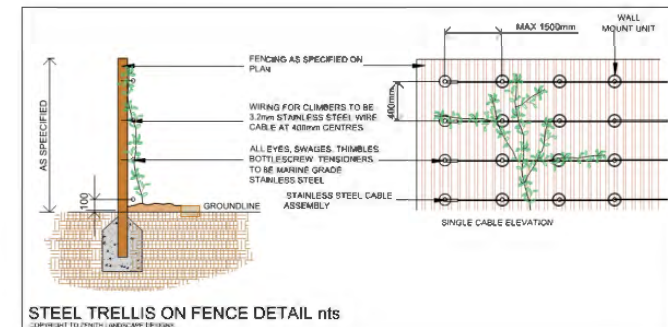
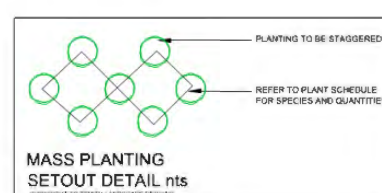
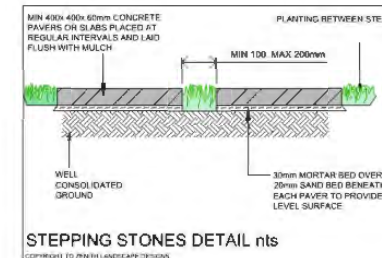
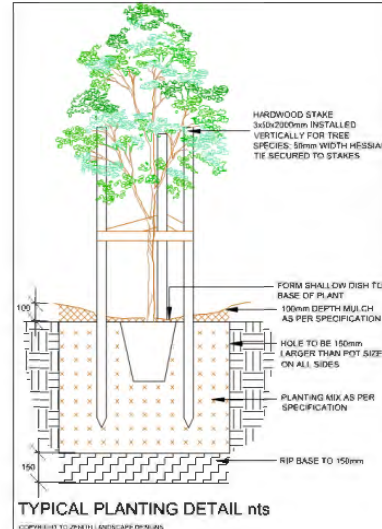
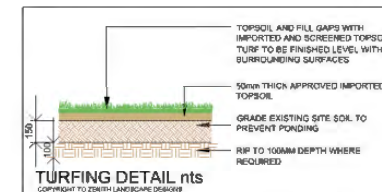
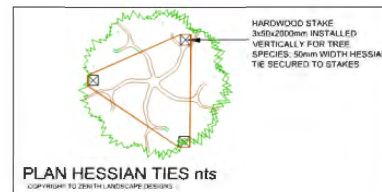
Address 31 CAPTAIN PIPERS ROAD, VAUCLUSE		Sheet size A1	
Drawn PDP	Scale (1:200 - A3)	Date August 2020	Issue 1
Sheets in set SK15 of 15	Project Number 2002	<input type="checkbox"/> Plan	<input type="checkbox"/> Elevation
		<input type="checkbox"/> Section	<input type="checkbox"/> Detail
		<input type="checkbox"/> Joinery	<input type="checkbox"/> Other







A2



LANDSCAPE GUIDELINES

1. GENERAL

- 1.1 The Contractor shall familiarise themselves with the site prior to tender.
- 1.2 The Contractor will be held responsible for any damage to utility services, pipes, building structures, paving surfaces, fencing, footways, kerbs, roads and existing plant material.
- 1.3 The site is to be left in a clean and tidy condition at the completion of works to the satisfaction of the Superintendent.
- 1.4 No work involving an extra shall be undertaken unless approval is first obtained from the Superintendent.
- 1.5 No substitute of material shall be made unless approval is given by the Superintendent.
- 1.6 The Contractor shall continuously maintain all areas of the Contract during progress of the works specified.

2. SITE PREPARATION

- 2.1 Prepared sub-grade is to be free of stones larger than 100mm diameter, cement, rubbish and any other foreign matter that could hinder plant growth.

3. MASS PLANTED AREAS

- 3.1 Once clear of weed growth, grass and debris, sub-grade should be cultivated to a minimum depth of 150mm incorporating 'Dynamic Lifter' or equivalent at the manufacturers recommended rates.
- 3.2 Weeds shall be controlled by a combination of chemical and hand removal techniques.

4. PLANTING

- 4.1 All plant material is to be hardened off, disease and insect free and true to species, type and variety. Plants are to be well grown but not root bound and shall comply with Natspec - 'Guide to Purchasing Landscape Trees'.
- 4.2 All plants are to be removed from their containers prior to planting with as little disturbance to the root system as possible.
- 4.3 Planting shall not be carried out in dry soil or extreme weather conditions.
- 4.4 Plants should be planted at the same depth as the plants were in the containers and allow for a shallow saucer of soil to be formed around the plant to aid the penetration of water.
- 4.5 All plant material should be watered thoroughly immediately after planting.
- 4.6 The Contractor shall be responsible for the failure of plants during construction, except for acts of vandalism.
- 4.7 Labels shall be removed entirely from the plants.

5. STAKING

- 5.1 Ties should be firmly attached to the stakes, in a way to avoid damage to the stem while allowing a small degree of movement.

6. TURF AREAS

- 6.1 Turf areas should be cultivated before turfing by ripping or harrowing.
- 6.2 At the completion of turfing the whole area shall be thoroughly soaked and kept moist till the completion of landscape works.

7. MULCH

- 7.1 Mulch for all general mass planted beds shall be 'Droughtmaster' mulch as supplied by A.N.L. or similar.

8. SOIL MIXES

- 8.1 Soil mix for mass planted areas shall be 3 parts site soil to 1 part 'Organic Garden Mix' as supplied by A.N.L. or equivalent.
- 8.2 Soil mix for planter boxes and planting over slab shall be 'Planter Box Mix' as supplied by A.N.L. or equivalent.

MAINTENANCE

1. These works shall be in addition to the construction contract.
2. The Contractor shall commence and fully implement the short term maintenance after Practical Completion has been confirmed by the Superintendent.
3. The Contractor shall carry out maintenance works for a minimum period of 26 weeks
4. Maintenance works shall include the following works:
 - a. Mow lawns and trim edges each 10 days in summer and each 14 days in winter.
 - b. Water all planting and lawn areas in order to ensure adequate soil moisture at all times.
 - c. Remove any weed growth from all planting areas.
 - d. Spray and control pests and diseases as required.
 - e. Replace plants which fail with plants of similar size and quality as originally planted.
 - f. Adjust ties to trees as necessary.
 - g. Make good any erosion or soil subsidence which may occur.
 - h. Maintain all mulched areas in a clean and tidy condition to the depth as originally specified.
 - i. Make good any defects or faults arising from defective workmanship.

Note: The Contractor is not to be held responsible for the theft or vandalism of any plants during the maintenance period

5. Advanced trees shall be individually inspected at least once a month in order to determine their health and vigour. Should the trees exhibit any signs of disease, pest infestation or poor growth then a qualified arborist shall be consulted within 14 days in order to determine the most appropriate course of action. Recommended treatment shall then be commenced within 7 days and shall continue until the problem is eliminated.
6. When the maintenance period is completed the Contractor shall notify the Superintendent. The site shall then be inspected and if to the satisfaction of the Superintendent the responsibility will be handed over to the Client for on-going maintenance.

DISCLAIMER
Every effort is made to ensure the accuracy of these documents, however they should be thoroughly checked before being issued to any other persons or authority or used for construction purposes. Any inaccuracies, omissions or discrepancies should be referred back to Zenith Landscape Designs immediately

These drawings may be printed in whole. The drawings and parts thereof remain the intellectual property of Zenith Landscape Designs and may not be used in part or whole for any other purpose without the prior permission of Zenith Landscape Designs.

NOTES

1. Vehicular pavement, fencing and built structure details shall be to Architect's specification.
2. All surface and sub-surface drainage requirements shall be to Engineers details.
3. Numeric dimensions should be taken in preference to scaling.
4. All dimensions should be checked on-site prior to commencing construction.
5. Contractors shall verify the location of all site features prior to commencing works.
6. Soil testing has not been undertaken as part of the preparation of this design. Contractors shall determine the need for soil testing prior to any planting works.
7. A search of underground services has not been undertaken as part of the preparation of this design; it is recommended that Contractors contact DIAL BEFORE YOU DIG ON 1100 prior to commencing any works.
8. This plan is to be read in conjunction with the architectural and engineering plans.
9. It is recommended that an approved root barrier be installed to manufacturers recommendations to all tree planting in the vicinity of structures, walls and hard pavement areas.

Rev no	Description	Date	Rev no	Description	Date
			A	REVISED ARCHITECTURAL DESIGN	12.08.2021

ARBORIST:	BLUEGUM
SURVEY:	SYDNEY SURVEYORS
HYDRAULIC:	WATERDESIGN
ARCHITECT:	ARCHITECTS INK

ZENITH
LANDSCAPE DESIGNS
Ph: 9545 5200 info@zenithlandscapes.com.au

31 CAPTAIN PIPER ROAD
VAUCLUSE
CLIENT: PHILLIP HAKIM

TITLE:	LANDSCAPE PLAN	SCALES:	1:100 @A2
STATUS:	DA	SHEET:	3 OF 3
CHECKED:	IMFG	DRAWN:	MAG
DATE:	04.12.2020	DATE:	20-4309 LO3
REVISION:	A		



Woollahra
Municipal
Council

1 March 2021

REFERRAL RESPONSE - HERITAGE

FILE NO: Development Applications/ 28/2021/1

ADDRESS: 31 Captain Pipers Road VAUCLUSE 2030

PROPOSAL: Demolition of the existing structures and construction of a new dual-occupancy development and strata subdivision

FROM: Charlotte Simons - Heritage Officer

TO: Mr M D'Alessio

DOCUMENTATION

The following documentation provided by the applicant has been examined for this referral response:

- Drawing set by Architects Ink (Revision C)
- Demolition Report by John Oultram Heritage & Design, dated January 2021
- Statement of Environmental Effects by aSquare Planning, dated January 2021
- Survey plan by Sydney Surveyors, ref 12408/2B, dated 19 November 2020.

SITE INSPECTION / RESEARCH

Review of the following documents and photographic evidence:

- Council's property system, to establish dates of earlier building and development applications for the subject and surrounding properties
- Review of building and development applications for the subject site
- Council's photography files relevant to the immediate area
- Council's heritage inventory sheets
- Council's aerial photography and mapping database
- Google Maps – street view.

STATUTORY AND POLICY DOCUMENTS

The following statutory and policy documents are relevant to the application:

- National Parks & Wildlife Act 1974
- Woollahra LEP 2014
- Woollahra DCP 2015.

ASSESSMENT OF HERITAGE IMPACT

Compliance with the relevant legislative framework and planning controls

SIGNIFICANCE OF SUBJECT PROPERTY/TO THE CONSERVATION AREA

The subject property comprises land that was originally part of the large Vacluse Estate of William Charles Wentworth that had been established in 1827 and subdivided from 1838. The development site comprises one allotment (Lot 8, DP 13528). The extant building on the subject

Referral Response – Heritage – DA 2021 28 1 – 31 Captain Pipers Road VAUCLUSE



Woollahra
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property is a modified and modest single storey Inter-War era residence that was constructed circa 1930s. Designed in the Inter-War Mediterranean/Spanish Mission style, the building is of rendered and painted brick construction with a gabled, terracotta tile roof with terracotta tile barge cappings. The building has been modified over time with alterations and additions both internally and externally. Most of the original interior fabric has been removed. The building is situated on a battle-axe allotment, and is not visible from the surrounding streetscape. The place is most closely associated with local cab driver William Leslie Heather, but no biographical information was available and as such this historical association is not considered to be significant at a local level.

The heritage assessment within the Demolition Report prepared by John Oultram Heritage & Design provides the following summary of significance for 31 Captain Pipers Road, Vacluse:

Based on the above we consider that the house would not meet any of the Heritage Division criteria for identification as a place of local significance and is a modest and heavily modified example of the type.

National Parks and Wildlife Act 1974

A basic search conducted on AHIMS (Aboriginal Heritage Information Management System) on 1 March 2021 from the Office of Environment & Heritage NSW (OEH) website has revealed that there are no recorded Aboriginal sites recorded within a 200m buffer in or near the above location.

The site does not contain landscape features that indicate the likely existence of Aboriginal objects as defined in Section 2, Step 2 p.12 of the Due Diligence Code of Practice for the Protection of Aboriginal Objects in NSW ('Due Diligence Code') published by the Department of Environment, Climate Change and Water and dated 13 September 2010.

The subject site is considered to be on 'disturbed land' as per the definition outlined in the Due Diligence Code, p. 18.

Woollahra LEP 2014 Clause 1.2 Aims of Plan

Subclause 1.2. (2) (f) – to conserve built and natural environmental heritage

The subject building was constructed during the mid-20th century as a single storey residence designed in the Inter-War Mediterranean/Spanish Mission style. The house has been modified over time with several alterations and additions. Original interiors have been adapted. While the dwelling provides evidence of the historical development patterns of the area, it is not considered to be a fine example of its type. The property is not heritage listed and is not located within a heritage conservation area.

A Demolition Report has been submitted with the development application and includes historical research on the development of the property over time. The construction of the original dwelling is not associated with any known prominent architect and has no distinctive landmark qualities or other features that would make it potentially significant or rare. There are no significant associations with the subject property. The report has assessed the potential heritage significance of the existing dwelling and has concluded that it does not meet the criteria for identification as a place of local significance. The findings of the report are considered to be accurate. Accordingly,



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the property is not considered a potential heritage item and therefore no objection is raised to the proposed demolition of the existing building.

As the property is not listed as a heritage item and is not located within a heritage conservation area, the design of the proposed new development will not result in any adverse impacts on heritage items/areas of value. There are no heritage items located within the vicinity of the site that will be adversely impacted and the proposal will not affect any significant views. As such, there are no concerns raised on heritage grounds regarding the design of the proposed new development.

As the building that is proposed to be demolished generally retains its Inter War character, it is recommended that the building be archivally recorded prior to works commencing.

The AHIMS basic search did not reveal any recorded Aboriginal sites within 200m of the subject site. As the site has been previously disturbed when the existing structures and landscaping were constructed, it is unlikely that any archaeological evidence will remain, therefore no further actions under the Due Diligence Code of Practice are required.

Woollahra LEP 2014 Part 5.10 Heritage Conservation

The subject site is not a heritage item in Woollahra Local Environment Plan 2014 'the LEP' and is not within a heritage conservation area. Therefore, Clause 5.10 does not apply.

Significance of items in the vicinity

There are no listed heritage items in close proximity that would be adversely affected by the proposal.

CONCLUSION

National Parks & Wildlife Service Act, 1979

Appropriate conditions of consent to manage Aboriginal heritage will be provided below.

Woollahra LEP 2014

- Clause 1.2 (2) (f) The development does conserve the built heritage of Woollahra.

RECOMMENDATION

The proposal is generally acceptable, subject to conditions, as it complies with the relevant statutory documents and would have a satisfactory impact.

Consent, subject to conditions:

- 1. Recording of Buildings with Little or No Heritage Significance that are to be Demolished**



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A photographic archival record of the building and landscape elements to be demolished is to be submitted prior to the commencement of demolition work and prior to the issue of a Construction Certificate.

The photographic archival recording is to be submitted in a digital format and is to include the following:

- a) Site plan at a scale of 1:200 (or 1:500 if appropriate) of all structures and major landscape elements including their relationship to the street and adjoining properties and directional details of photographs taken.
- b) Coloured photographs of:
 - each elevation,
 - key interior spaces,
 - each structure and landscape feature, and
 - views to the subject property from each street and laneway or public space.

Photographic archival records must be taken of the building, landscape or item in accordance with 'The Heritage Information Series: Photographic Recording of Heritage Items Using Film or Digital Capture 2006' published by the former NSW Department of Planning Heritage Branch.

One digital set is to be submitted to the satisfaction of Council prior to the commencement of demolition work and prior to the issue of a Construction Certificate.

Note: Refer to the NSW Office of Environment and Heritage website for the free publication 'Photographic Recording of Heritage Items using Film or Digital Capture' available at www.environment.nsw.gov.au/resources/heritagebranch/heritage/infophotographicrecording2006.pdf

2. Aboriginal Objects – Unexpected Findings

If unexpected Aboriginal objects are found during the works covered by this approval, all work must cease immediately in the affected area(s) and Heritage NSW must be notified. Additional assessment and approval pursuant to the National Parks and Wildlife Act 1974 may be required prior to works continuing in the affected area(s) based on the nature of the discovery.

Note: The Definition of Aboriginal object as per the Woollahra Local Environmental Plan 2014: any deposit, object or other material evidence (not being a handicraft made for sale) relating to the Aboriginal habitation of an area of New South Wales, being habitation before or concurrent with (or both) the occupation of that area by persons of non-Aboriginal extraction, and includes Aboriginal remains.
Standard Condition: B10

Charlotte Simons - Heritage Officer

Completion Date: 9 June 2022

REFERRAL RESPONSE – DEVELOPMENT ENGINEERING

FILE NO: Development Applications/ 28/2021/1
ADDRESS: 31 Captain Pipers Road VAUCLUSE 2030
PROPOSAL: Demolition of the existing structures and construction of a new dual-occupancy development and strata subdivision
FROM: Mr R Lam
TO: Mr M D'Alessio

1. ISSUES

- None

2. DOCUMENTATION

I refer to the following documents received for this report:

- Statement of Environment Effects, referenced AP1558, prepared by aSquare Planning, dated August 2021.
- Architectural Plans, referenced Drawing Rev D, prepared by Architects Ink, dated 09/08/2021.
- Survey, referenced 12408/2B, prepared by Sydney Surveyors, dated 19/11/2020.
- Revised Stormwater Management Plan, referenced 2731-Issue F, prepared by Zimmerman Engineers, dated 04/03/2022.
- Geotechnical Report, referenced 6247-G1, prepared by Assetgeoenviro, dated 11 November 2020.
- Subdivision Plans, dated 03 October 1994.
- Easement Refusal email, dated 28 January 2021

3. ASSESSMENT

Comments have been prepared on the following.

a. Site Drainage comments

The submitted revised concept stormwater plans are considered satisfactory in principle subject to refinements at the CC stage. The applicant has addressed all stormwater issues which were previously raised by Council's Engineer. In particular, the applicant has submitted documentary evidence that the acquisition of an interallotment drainage easement was unsuccessful. Also, the applicant has proposed to install rainwater retention and reuse system which based on 60m³/1000m² to comply with Chapter E2.2.9 of Council's DCP. The applicant has demonstrated that the site is unsuitable for on-site absorption, in which case an addition 20% storage volume of the RWT acts as a holding (pumpout) tank is to be provided. Stormwater will be pumped to the kerb and gutter via this pumpout system. Since stormwater runoff from the site will be discharged to the street kerb, conditions will be imposed for all below ground structures are to be fully tanked.

Council's Infrastructure & Sustainability Services Division is satisfied that adequate provision could be made for the disposal of stormwater from the land it is proposed to develop and complies with Chapter E2 "Stormwater and Flood Risk Management" DCP.

b. Flooding & Overland Flow comments

Not relevant

c. Impacts on Council Infrastructure comments

There are no works proposed within Council's property. Given that the existing shared vehicular crossing is in good condition, the applicant is not required to replace the existing crossing as part of this application.

d. Traffic comments

Not relevant

e. Vehicle Access & Accommodation comments

The proposed vehicular access and carparking layout comply with AS2890.1. The applicant has submitted subdivision plan demonstrating that there is an existing right-of-carriageway.

f. Geotechnical, Hydrogeological and/or Structural comments

A Geotechnical Report by Assetgeoenviro, Ref: 6247-G1, dated 11 November 2020, has been submitted in support of the application. The proposal involves excavation with a maximum depth of about 2 metres from the existing ground surface.

The report identified that the subsurface conditions as:

- a) Fill comprising silty sand to a depth of 0.3m.*
- b) Depth of natural sand with various density from a depth beneath the fill to a termination depth of 1.3m.*
- c) Sandstone bedrock was encountered beneath the natural sand at a termination depth in all BH.*
- d) Groundwater seepage was not observed during investigation.*

The report made comments and recommendations on the following:

- Shoring and support,*
- Vibration Monitoring,*
- Excavation method,*
- Further Geotechnical input.*

Council's Infrastructure & Sustainability Services Division has no objections to the proposed excavation on technical grounds. Notwithstanding this, Council's Planning Officer is also to undertake an assessment of the proposed excavation against the relevant excavation objectives and controls prescribed under the LEP and DCP.

4. RECOMMENDATION

Council's Development Engineer has determined that the proposal is satisfactory, subject to the following conditions:

A. General Conditions

A.5 Approved Plans & Supporting documents

Reference	Description	Author/Drawn	Date(s)
6247-G1	Geotechnical Report	Assetgeoenviro	11 Nov 2020
2731 S01-Rev F S02-Rev F S03-Rev F	Stormwater Management Plans	Zimmerman Engineers	04/03/2022 04/03/2022 04/03/2022

A.8 Ancillary Aspect of the Development (S80A(2) of the Act)

B. Conditions which must be satisfied prior to the demolition of any building or construction

B.7 Public Road Assets prior to any work/demolition

C. Conditions which must be satisfied prior to the issue of any construction certificate

C.5 Security Deposits

Property Damage Security Deposit (S138)	\$72,563	No	T115
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C.25 Soil and Water Management Plan – Submissions & Approval

C.36 Professional Engineering Details

C.40 Geotechnical and Hydrogeological Design, Certification & Monitoring

C.41 Ground Anchors

C.51 Stormwater Management Plan

Prior to issue of the Construction Certificate, the applicant must submit, for approval by the Certifying Authority, detailed stormwater management plans prepared by a suitably qualified and experienced civil engineer, which detail the following:

- a) General design in accordance with stormwater management plans, prepared by Zimmerman Engineers, referenced 2731-Rev F, dated 04/03/2022, other than amended by this and other conditions,
- b) Total kerb discharge must not exceed 20 l/s to comply with Chapter E2.2.5 of Council's DCP;
- c) All below ground is to be fully tanked or appropriately design to ensure subsoil drainage/seepage water is **NOT** to be collected and directed to kerb and gutter to comply with Chapter E2.2.5 of Council's DCP;
- d) Any proposed stormwater pipes across the nature strip must have a minimum grade of 1% to comply with Clause 6.3.4 of AS3500.3. The outlet pipe must be located within the frontage of the site;
- e) The installation of a min. 450x450 boundary junction pit prior to discharging into Council's kerb and gutter system;
- f) The installation of rainwater retention and reuse system with minimum storage capacity of 60m³. Runoff from all roof areas shall be collected and directed to the proposed rainwater retention and reuse system for non-potable use such as toilet flushing, laundry device, garden irrigation and car washing etc;

- g) The installation of a holding (pumpout) tank with minimum storage capacity of 12m³. Runoff from surface runoff and overflow from the proposed rainwater retention and reuse system shall be directed to this pumpout system which connects to the proposed boundary junction pit prior to discharging to the kerb and gutter;
- h) All new Stormwater Drainage System complying with the BCA;
- i) Interceptor drain(s) at the site boundary to prevent stormwater flows from the site crossing the footpath;
- j) Compliance with the Woollahra DCP 2015 Chapter E2 – Stormwater and Flood Risk Management;

For any Stormwater Drainage works on Council's property, separate approval under section 138 of the *Roads Act 1993* must be obtained from Council for those works prior to the issue of any Construction Certificate.

All Stormwater Drainage System work within any road or public place must comply with Woollahra Municipal Council's *Specification for Roadworks, Drainage and Miscellaneous Works (2012)*.

The *Stormwater Management Plan* must also include the following specific requirements:

Layout plan

A detailed drainage plan at a scale of 1:100 based on drainage calculations prepared in accordance with the Institute of Engineers Australia publication, *Australian Rainfall and Run-off, 1987* edition or most current version thereof. It must include:

- a) All pipe layouts, dimensions, grades, lengths and material specification,
- b) Location of proposed rainwater tanks,
- c) All invert levels reduced to Australian Height Datum (AHD),
- d) Location and dimensions of all drainage pits,
- e) Point and method of connection to Councils drainage infrastructure, and
- f) Overland flow paths over impervious areas.

Rainwater Reuse System details:

- a) Any potential conflict between existing and proposed trees and vegetation,
- b) Internal dimensions and volume of the proposed rainwater storage,
- c) Plans, elevations and sections showing the rainwater tanks, finished surface level and adjacent structures,
- d) Details of access and maintenance facilities,
- e) Construction and structural details of all tanks and pits and/or manufacturer's specifications for proprietary products,
- f) Details of the emergency overland flow-path (to an approved Council drainage point) in the event of a blockage to the rainwater tanks,

Note: This Condition is imposed to ensure that site stormwater is disposed of in a controlled and sustainable manner.

Note: The collection, storage and use of rainwater is to be in accordance with *Standards Australia HB230-2008 "Rainwater Tank Design and Installation Handbook"*.

D. Conditions which must be satisfied prior to the commencement of any development work

D.4 Dilapidation Reports for existing buildings

Dilapidation surveys and dilapidation reports shall be conducted and prepared by a *professional engineer* (structural) for all buildings and/or structures that are located within the likely "zone of influence" of any excavation, dewatering and/or construction induced vibration as determined applicable by a Structural Engineer.

These properties must include (but is not limited to):

No. 29 Captain Pipers Road
No. 50 Old South Head Road

The dilapidation reports must be completed and submitted to the *Certifying Authority* for approval. A copy of the approved reports shall be submitted to Council with the *Notice of Commencement* prior to the commencement of any *development work*.

Where excavation of the site will extend below the level of any immediately adjoining building the *principal contractor* or *owner builder* must give the adjoining building owner(s) a copy of the dilapidation report for their building(s) and a copy of the *notice of commencement* required by S81A(2) of the *Act* not less than two (2) days prior to the commencement of any work.

Note: The reasons for this condition are:

- To provide a record of the condition of buildings prior to development being carried out
 - To encourage developers and its contractors to use construction techniques that will minimise the risk of damage to buildings on neighbouring land
- Also refer to the Dilapidation Report Advising for more information regarding this condition
Standard Condition: D4 (Autotext DD4)

D.6 Adjoining buildings founded on loose foundation materials

D.9 Construction Management Plan

D.10 Works (Construction) Zone – Approval & Implementation

D.14 Erosion and Sediment Controls – Installation

E. Conditions which must be satisfied during any development work

E.3 Compliance with Construction Management Plan

E.7 Maintenance of Vehicular and Pedestrian Safety and Access

E.11 Maintenance of Environmental Controls

E.12 Compliance with Geotechnical/Hydrogeological Monitoring Program

E.13 Support of Adjoining Land Owners

E.14 Vibration Monitoring

E.15 Erosion and Sediment Controls – Maintenance

E.17 Disposal of Site Water during Construction

E.19 Site Cranes

E.20 Check Surveys – boundary location, building location, building height, stormwater drainage system and flood protection measures relative to AHD

F. Conditions which must be satisfied prior to any occupation or use of the building (Part 4A of the Act and Part 8 Division 3 of the Regulation)

F.7 Commissioning and Certification of Systems and Works

G. Conditions which must be satisfied prior to the issue of any Subdivision Certificate

Nil

H. Conditions which must be satisfied prior to the issue of a Final Occupation Certificate (S109C (1) (c))

H.20 Positive Covenant and Works-As-Executed Certification of Stormwater Systems

Prior to issue of any Occupation Certificate, stormwater drainage works are to be certified by a professional engineer with works-as-executed drawings prepared by a registered surveyor and submitted for approval by the Principal Certifying Authority, confirming:

- a) compliance with conditions of development consent relating to stormwater,
- b) the structural adequacy of the on-site retention system, pumpout system,
- c) that the works have been constructed in accordance with the approved drawings and will provide 60m³ rainwater retention storage and 12m³ holding tank storage,
- d) pipe invert levels and surface levels to Australian Height Datum, and
- e) contours indicating the direction in which water will flow over land should the capacity of the pit be exceeded in a storm event exceeding design limits.

A positive covenant pursuant to section 88E of the *Conveyancing Act 1919* must be created on the title of the subject property, providing for the indemnification of Council from any claims or actions and for the on-going maintenance of the on-site-detention system and/or absorption trenches, including any pumps and sumps incorporated in the development. The wording of the Instrument must be in accordance with Council's standard format and the Instrument must be registered with the NSW Land Registry Services.

Note: The required wording of the Instrument can be downloaded from Council's website www.woollahra.nsw.gov.au. The PC must supply a copy of the WAE plans to Council together with the Final Occupation Certificate.

Note: The Final Occupation Certificate must not be issued until this condition has been satisfied.
Standard Condition: H20 (Autotext HH20)

I. Conditions which must be satisfied during the ongoing use of the development

I.29 Ongoing Maintenance of the On-Site-Retention System

The owner(s) must in accordance with this condition and any positive covenant:

- a) Permit stormwater to be retained by the system.
- b) Keep the system clean and free of silt rubbish and debris.
- c) Maintain renew and repair as reasonably required from time to time the whole or part of the system so that it functions in a safe and efficient manner and in doing so complete the same within the time and in the manner reasonably specified in written notice issued by Council.
- d) Carry out the matters referred to in paragraphs (b) and (c) at the owner's expense.
- e) Not make any alterations to the system or elements thereof without prior consent in writing of the Council and not interfere with the system or by its act or omission cause it to be interfered with so that it does not function or operate properly.

- f) Permit Council or its authorised agents from time to time upon giving reasonable notice (but at any time and without notice in the case of an emergency) to enter and inspect the land with regard to compliance with the requirements of this covenant.
- g) Comply with the terms of any written notice issued by Council in respect to the requirements of this clause within the time reasonably stated in the notice.
- h) Where the owner fails to comply with the owner's obligations under this covenant, permit Council or its agents at all times and on reasonable notice at the owner's cost to enter the land with equipment, machinery or otherwise to carry out the works required by those obligations.
- i) Indemnify the Council against all claims or actions and costs arising from those claims or actions which Council may suffer or incur in respect of the system and caused by an act or omission by the owners in respect of the owner's obligations under this condition.

Note: This condition has been imposed to ensure that owners are aware of require maintenance requirements for their stormwater systems.

Note: This condition is supplementary to the owner(s) obligations and Council's rights under any positive covenant.

Standard Condition: I29

J. Miscellaneous Conditions

Nil

K. Advisings

K.23 Dilapidation Report

8 July 2022

REFERRAL RESPONSE – TREES & LANDSCAPING

FILE NO:	DA 28/2021/1
ADDRESS:	31 Captain Pipers Road VAUCLUSE 2030
PROPOSAL:	Demolition of the existing structures and construction of a new dual-occupancy development and strata subdivision
FROM:	Andrew Simpson - Trees & Landscape Team Leader
TO:	Mr M D'Alessio

I refer to the following documents received for this report:

- Statement of Environmental Effects, prepared by ap2square, dated August 202.
- Survey Plan No. ref 12408/2B Sheet 1, drafted by Sydney Surveyors, dated 19/11/2020
- Architectural Drawing No's 2002-0 of 7/D - 2002-7 of 7/D dated 9/08/2021 & 2002-0 of 7/E dated 18/8/2021, drawn by Architects Ink
- Stormwater Discharge Absorption Plan & Details Plan No's S01 to S03, drawn by Zimmerman Engineers, dated 23.03.2021
- Arboricultural Impact Assessment Report, written by Alexis Anderson – Bluegum Tree Care and Consulting, dated August 2021
- Arboricultural Impact Assessment Report, written by Alexis Anderson – Bluegum Tree care and Consulting, dated August 2021
- Transplant Viability Report, prepared by Liam Stracham, dated 16/10/2021
- Landscape Plan No. s 20-4309 LO1 - 20-4309 LO3, Rev A, designed by Zenith Landscape Designs, dated 12.08.2021
- Landscape Referral Response prepared by Trees & Landscape Section, prepared by Gorka Ojeda, dated 29/09/2021
- Transplant Feasibility Study prepared by The Arborist Network, dated 22 June 2022

Relevant Control:

- Woollahra Local Environment Plan 2014
- Woollahra Development Control Plan 2015
- Woollahra Street Tree Master Plan 2014 – Part 1, Part 2 (Precinct Plans), Part 3 (appendices)
- Significant Tree Register 1991 Volume 1 Significant Trees Under Private Ownership, Volume 2 Significant Trees Under Private Ownership, Volume 3 Significant Trees, Volume 4 Significant Trees in Public Parks

- The comments and recommendations within this Referral Response have taken into consideration the guidelines established within Australian Standard AS 4373 – Pruning of amenity trees and Australian Standard AS 4970 – Protection of trees on development sites

SUMMARY

- No technical issues with transplanting the palms and conditions have been provided for a development consent.
- Transplant Methodology in Arborist network Report has been included as conditions.
- Condition included to ensure replacement of the palms with the same dimensions if they do not survive.
- Recommendations in Bluegim Report also form part of this conditions.
- The below does not take into account the impact to the amenity of adjacent property owners.

COMMENTS

The Landscape Referral Response prepared by Gorka Ojeda, dated 29/09/2021 recommended additional information be provided to enable a comprehensive assessment of the practicality of transplanting, specifically:

- *Soil depth investigation of the proposed transplant locations to inform on available deep soil above bedrock.*
- *Arboricultural assessment on the viability of the transplanting taking into account the results of the point above.*
- *Detailed transplant methodology specific to the two palms and the site. This should include step by step schedule of site preparation, transplanting works, required equipment, support systems (and duration of these), irrigation system, pruning requirements (building clearance) and any other consideration for the successful transplant and future viability of the palms.*

In response to the above recommendation, the applicant has supplied Transplant Feasibility Study prepared by The Arborist Network, dated 22 June 2022. The above queries have been addressed as outlined below.

- Soil depth at the proposed planting sites was investigated and found to be in excess of 1m depth, which is sufficient to accommodate the palms.
- *The Report notes that Palms are highly tolerant of transplanting There is no arboricultural reason that would prevent the palms from being transplanted. This is agreed.*
- The Report includes palm specific root plate size taking into account the grade at the base of each palm. A Transplant Methodology has also been provided which should form part of any conditions of development consent.

A common cause of transplant failure is an insufficient maintenance regime and period. The applicant should provide evidence of engagement of an arborist or landscape contractor with a maintenance period of 12 months.

RECOMMENDATIONS

Council's Tree and Landscape Officer has determined that the development proposal is satisfactory in terms of tree preservation and landscaping, subject to compliance with the following Conditions of Consent.

Amended Landscape Plan

An amended Landscape Plan shall be prepared in accordance with Council's DA Guide and submitted to Council's Tree Officer for further assessment. The amended landscape plan must include the following:

- a) Tree numbering amended to reflect the Arboricultural Impact Assessment Report, written by Alexis Anderson – Bluegum Tree Care and Consulting, dated August 2021.

A. General Conditions

A.1 Tree Preservation & Approved Landscaping Works

All landscape works shall be undertaken in accordance with the approved landscape plan, arborist report, tree management plan and transplant method statement as applicable.

- a) The following trees shall be retained

- Trees on Private Land

Council Ref No.	Species	Dimension (metres)
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)	12 height x 6 crown spread
2	<i>Phoenix canariensis</i> (Canary Island Date Palm)	12 height x 6 crown spread
4	<i>Phoenix canariensis</i> (Canary Island Date Palm)	12 height x 6 crown spread

Note: Tree locations Refer Arboricultural Impact Assessment Report, written by Alexis Anderson – Bluegum Tree Care and Consulting, dated August 2021

- b) The following trees may be removed:

Council Ref No.	Species	Dimension (metres)
5	<i>Olea europaea</i> Var. <i>cuspidata</i> (African Olive)	7 height x 3 crown spread
13	<i>Phoenix canariensis</i> (Canary Island Date Palm)	12 height x 6 crown spread

Note: Tree locations Refer Arboricultural Impact Assessment Report, written by Alexis Anderson – Bluegum Tree Care and Consulting, dated August 2021

Note: Tree/s to be removed shall appear coloured red on the construction certificate plans.

Note: The species marked (*) is exempt from the WMC DCP 2015 and can be removed without requiring consent from Council.

- c) The following trees shall be transplanted and successfully established in the location(s) indicated on the approved landscape plan:

Council Ref No.	Species	Dimension (metres)
2	<i>Phoenix canariensis</i> (Canary Island Date Palm)	12 height x 6 crown spread
4	<i>Phoenix canariensis</i> (Canary Island Date Palm)	12 height x 6 crown spread

Note: Tree locations Refer Arboricultural Impact Assessment Report, written by Alexis Anderson – Bluegum Tree Care and Consulting, dated August 2021

Note: The tree/s required to be retained shall appear coloured yellow on the construction certificate plans.

- d) In the event the palms do not survive the development or transplanting works, or if they decline and are required to be removed within a period of 24 months after the transplanting, they shall be replaced with palms of the same species with the same dimensions.

A.2 Approved Plans and supporting documents

Description	Author/Drawn	Date(s)
Transplant Feasibility Study	The Arborist Network	22 June 2022
Arboricultural Impact Assessment Report, written by dated	Alexis Anderson – Bluegum Tree Care and Consulting,	August 2021

B. Conditions which must be satisfied prior to the demolition of any building or construction

B.1 Establishment of Tree Protection Zone (TPZ) Fence

Tree Protection Zones shall be established around all trees to be retained and in accordance with Section 4 of the *Australian Standard Protection of Trees on Development Sites* (AS 4970- 2009). Tree protection zones must also comply with the following requirements;

- a) Tree Protection Zone areas

Council Ref No.	Species	Tree Location	Fence Radius from Centre of Trunk (Metres)
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)	South of existing building	3
7	<i>Canary Island Date Palm</i> (<i>Phoenix canariensis</i>)	Adjacent property to north	3
9	<i>Phoenix canariensis</i> (Canary Island Date Palm)	Adjacent property to north	14.5
10	<i>Syagrus romanzoffianum</i> (Cocos Palm) (x4)	Adjacent property to north	3
11	<i>Phoenix canariensis</i> (Canary Island Date Palm)	Adjacent property to north	4
14	<i>Afrocarpus falcatus</i> (Outeniqua Yellowwood)	Adjacent property to north	9.6

Note: Tree locations Refer Arboricultural Impact Assessment Report, written by Alexis Anderson – Bluegum Tree Care and Consulting, dated August 2021

Note: Where this condition relates to street trees and the fence cannot be placed at the specified radius, the fencing shall be positioned so that the entire verge (nature strip) area in front of the subject property, excluding existing driveways, footpaths and bus stops is protected.

Note: Where this condition relates to trees on private property the radial distance of fencing shall be positioned only within the subject property.

- b) Tree Protection Zones shall be fenced with a 1.8 metre high chainmesh or weldmesh fence and secured to restrict access. The fence shall be established prior to any materials being brought onto the site and before the commencement of works including demolition. The area within the fence shall be mulched and maintained to a depth of 75mm. The soil within the TPZ shall be kept in a moist condition for the duration of the construction works. Unless approved by the site arborist there shall be no access within the TPZ.
- c) Trunk protection shall be installed around the trunks of the following trees:

Council Ref No.	Species
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)
2	<i>Phoenix canariensis</i> (Canary Island Date Palm)
4	<i>Phoenix canariensis</i> (Canary Island Date Palm)

Trunk protection shall consist of a padding material such as hessian or thick carpet underlay wrapped around the trunk. Hardwood planks (50mm x100mm or similar) shall be placed over the padding and around the trunk of the tree at 150mm centres. The planks shall be secured with 8 gauge wire at 300mm spacing. Trunk protection shall extend a minimum height of 2 metres or to the maximum possible length permitted by the first branches.

- d) A sign identifying the Tree Protection Zone shall be erected on each side of the protection fence indicating the existence of a TPZ. Signage must be visible from within the development site.
- e) No excavation, construction activity, grade changes, storage of materials, stockpiling, siting of works sheds, preparation of mixes or cleaning of tools is permitted within Tree Protection Zones, unless specified in this consent.
- f) Establishment of Ground protection
 Ground protection shall be established within the specified radius from the trunks of the following trees.

Council Ref No.	Species	Radius from Centre of Trunk (Metres)
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)	3
7	<i>Canary Island Date Palm</i> (<i>Phoenix canariensis</i>)	3
9	<i>Phoenix canariensis</i> (Canary Island Date Palm)	14.5
10	<i>Syagrus romanzoffianum</i> (Cocos Palm) (x4)	3
11	<i>Phoenix canariensis</i> (Canary Island Date Palm)	4
14	<i>Afrocarpus falcatus</i> (Outeniqua Yellowwood)	9.6

Ground protection shall consist of (geotextile fabric placed directly over the ground surface with 100mm mulch / aggregate / rumble boards strapped over mulch / steel plating over 10mm mulch layer / retention of existing surface. No excavation, construction activity, grade changes, storage of materials, stockpiling, siting of works sheds, preparation of mixes or cleaning of tools is permitted within the ground protection area unless specified in this consent.

Or

Ground protection shall consist of a permeable membrane such as geotextile fabric placed directly over the ground surface underneath one of the following:

For light pedestrian traffic areas

- 100mm mulch/aggregate

For vehicle traffic areas

- rumble boards strapped over 100mm mulch/aggregate, or
- steel plating over 100mm mulch/aggregate layer, or
- retention of existing surface during works.

- g) Temporary access within the TPZ for pedestrian and machinery movements shall only be permitted with the approval of the site arborist or unless specified in this consent.
- h) The site supervisor must be made aware of all tree protection requirements associated with these conditions of consent by the project arborist. Any subsequent site personnel and contractors to the site must be made aware of all tree protection requirements by the site foreman.
- i) The project arborist shall provide written certification of compliance with the above condition.
- j) The Recommendations which form part 6 of the *Arboricultural Impact Assessment Report, written by Alexis Anderson – Bluegum Tree Care and Consulting, dated August 2021* shall be implemented for all retained trees.

B.2 Demolition and Construction Management Plan

The Demolition and Construction Management Plan shall be reviewed and certified by the Project Arborist that appropriate tree protection measures have been accounted for. The Demolition and Construction Management Plan shall be prepared in accordance with all tree protection measures specified within this consent. Considerations by the Project Arborist shall include but not be limited to:

- a) Drawings and method statement showing details and the location of hoarding and scaffold and any pruning required to accommodate the hoarding and scaffolding;
- b) The movement and positioning of heavy machinery, lifting cranes, pier drilling gantry etc;
- c) Site construction access, temporary crossings and movement corridors on the site defined;
- d) Contractors car parking;
- e) Phasing of construction works;
- f) The space needed for all foundation excavations and construction works;
- g) All changes in ground level;
- h) Space for site sheds and other temporary structures such as toilets;
- i) Space for sorting and storing materials (short or long term), spoil and fuel and the mixing of cement and concrete; and
- j) The effects of slope on the movement of potentially harmful liquid spillages towards or into tree protection areas.

B.3 Arborists Documentation and Compliance Checklist

The site arborist shall provide written certification that all tree protection measures and construction techniques relevant to this consent have been complied with. Documentation for each site visit shall include:

- A record of the condition of trees to be retained prior to and throughout development
- Recommended actions to improve site conditions and rectification of non-compliance
- Recommendations for future works which may impact the trees

All compliance certification documents shall be kept on site by the Site Foreman.

As a minimum the following intervals of site inspections must be made:

Stage of arboricultural inspection and supervision	Compliance documentation and photos shall be included
Prior to the demolition of any building or construction and prior to the commencement of any development work	<ul style="list-style-type: none"> • Project Arborist to hold pre construction site meeting with the principal contractor to discuss methods and importance of tree protection measures and resolve any issues in relation to feasibility of tree protection requirements that may arise. Project Arborist to mark all trees approved for removal under DA consent. • The project arborist shall install or supervise the installation of tree protection fencing, trunk protection, ground protection and traffic height control beam.
During any development work	<ul style="list-style-type: none"> • The project arborist shall supervise all demolition and excavation works within the Tree Protection Zones or specified distances of nominated trees listed in this consent. • The project arborist shall supervise the demolition of the existing dwelling within the TPZ of all trees to be retained. The condition of exposed roots shall be managed and documented. • The project arborist shall ensure pier holes and footing excavations within the Tree Protection Zones or specified distances of nominated trees listed in this consent are positioned to avoid the severance of and damage to roots greater than 50mm diameter.

	<ul style="list-style-type: none"> • The project arborist shall inspect the installed irrigation system to plants in garden beds. The arborist shall certify there is an appropriate distribution of water to planted and existing trees. • The project arborist shall supervise all aspects of transplanting Trees 2 & 4 to ensure compliance with the Transplant Methodology detailed in the Transplant Feasibility Study prepared by The Arborist Network, dated 22 June 2022 • Project Arborist to approve relocation of tree protection for landscaping. All landscaping works within the TPZ of trees to be retained are to be undertaken in consultation with the project Arborist to minimise the impact to trees.
<p>Prior to any occupation or use of the building</p>	<ul style="list-style-type: none"> • Ensure all trees conditioned to be planted as part of this consent have been planted in accordance with the details prescribed in this consent.
<p>Prior to the issue of a Final Occupation Certificate</p>	<ul style="list-style-type: none"> • The project arborist shall supervise the dismantling of tree protection measures • After all demolition, construction and landscaping works are complete the project Arborist shall assess that the subject trees have been retained in the same condition and vigour. If changes to condition are identified the project Arborist should provide recommendations for remediation.

Inspections and compliance documentation shall be made by an arborist with AQF Level 5 qualifications.

Additional site visits shall be made when required by site arborist and/or site foreman for ongoing monitoring/supervisory work

C. Conditions which must be satisfied prior to the issue of any construction certificate

C.1 Tree Management Plan

The *Construction Certificate* plans and specifications shall show the following information:

- a) Trees to be numbered in accordance with these conditions:
- shaded green where required to be retained and protected
 - shaded red where authorised to be removed

- shaded yellow where required to be transplanted
- shaded blue where required to be pruned

- b) References to applicable tree management plan, arborists report or transplant method statement.

This plan shall be kept on site until the issue of the final occupation certificate.

D. Conditions which must be satisfied prior to the commencement of any development work

Nil

E. Conditions which must be satisfied during any development work

E.1 Tree Preservation

All persons must comply with Chapter E.3 – Tree Management of Council’s Development Control Plan (DCP) 2015, other than where varied by this consent. The DCP applies to any tree with a height greater than 5 metres or a diameter spread of branches greater than 3 metres.

General Protection Requirements

- a) The TPZ must be maintained during all development work unless otherwise specified within these conditions of consent.
- b) Excavation must cease where tree roots with a diameter exceeding 50mm are exposed. The *principal contractor* must procure an inspection of the exposed tree roots by an arborist with a minimum AQF Level 5 qualification. Excavation must only recommence with the implementation of the recommendations of the arborist.
- c) Where there is damage to any part of a tree the *principal contractor* must procure an inspection of the tree by a qualified arborist immediately. The *principal contractor* must immediately implement treatment as directed by the arborist. The arborist is to supply a detailed report to the appointed certifier.

Note: Trees must be pruned in accordance with *Australian Standard AS 4373 “Pruning of Amenity Trees”* and *WorkCover NSW Code of Practice Amenity Tree Industry*.

E.2 Paving in the vicinity of trees

Paving works within the specified radius from the trunks of the following trees shall be constructed in such a way as to ensure that the existing moisture infiltration and gaseous exchange to the tree root system are maintained. When preparing an area for paving within the specified radius the soil surface shall not be skimmed. The new surface shall be established above the former ground level.

Council Ref No.	Species	Radius from centre of trunk (metres)
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)	3
7	<i>Canary Island Date Palm</i> (<i>Phoenix canariensis</i>)	3
9	<i>Phoenix canariensis</i> (Canary Island Date Palm)	14.5
10	<i>Syagrus romanzoffianum</i> (Cocos Palm) (x4)	3

11	<i>Phoenix canariensis</i> (Canary Island Date Palm)	4
14	<i>Afrocarpus falcatus</i> (Outeniqua Yellowwood)	9.6

Paving works are to be designed in consultation with a qualified Arborist (minimum qualification of Australian Qualification Framework Level 5 or recognised equivalent) and are to utilise such measures as semiporous material.

The project arborist shall document compliance with the above condition.

E.3 Level changes in the vicinity of trees

No level changes shall occur within the specified radius from the trunks of the following trees.

Council Ref No.	Species	Radius from centre of trunk (metres)
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)	3
7	<i>Canary Island Date Palm</i> (<i>Phoenix canariensis</i>)	3
9	<i>Phoenix canariensis</i> (Canary Island Date Palm)	14.5
10	<i>Syagrus romanzoffianum</i> (Cocos Palm) (x4)	3
11	<i>Phoenix canariensis</i> (Canary Island Date Palm)	4
14	<i>Afrocarpus falcatus</i> (Outeniqua Yellowwood)	9.6

The project arborist shall document compliance with the above condition.

E.4 Hand excavation within tree root zones

Excavation undertaken within the specified radius from the trunks of the following trees shall be hand dug.

Council Ref No.	Species	Radius from centre of trunk (metres)
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)	3
7	<i>Canary Island Date Palm</i> (<i>Phoenix canariensis</i>)	3
9	<i>Phoenix canariensis</i> (Canary Island Date Palm)	14.5
10	<i>Syagrus romanzoffianum</i> (Cocos Palm) (x4)	3
11	<i>Phoenix canariensis</i> (Canary Island Date Palm)	4
14	<i>Afrocarpus falcatus</i> (Outeniqua Yellowwood)	9.6

Small hand tools such as mattocks or using compressed air or water jetting only shall be used. Roots with a diameter equal to or in excess of 50mm shall not be severed or damaged unless approved in writing by the project arborist.

Mechanical excavation is permitted beyond this radius when root pruning by hand along the perimeter line is completed. Exposed roots to be retained shall be covered with mulch or a geotextile fabric and kept in a moist condition and prevented from drying out.

All root pruning must be undertaken in accordance with the Australian Standard 4373 "Pruning of Amenity Trees" and carried out by a qualified Arborist (minimum qualification of Australian Qualification Framework Level 5 or recognised equivalent).

The project arborist shall document compliance with the above condition.

E.5 Footings in the vicinity of trees

Footings for any structure within the specified radius from the trunks of the following trees shall be supported using an isolated pier and beam system.

Council Ref No.	Species	Radius from centre of trunk (metres)
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)	3
7	<i>Canary Island Date Palm</i> (<i>Phoenix canariensis</i>)	3
9	<i>Phoenix canariensis</i> (Canary Island Date Palm)	14.5
10	<i>Syagrus romanzoffianum</i> (Cocos Palm) (x4)	3
11	<i>Phoenix canariensis</i> (Canary Island Date Palm)	4
14	<i>Afrocarpus falcatus</i> (Outeniqua Yellowwood)	9.6

Excavations for installation of piers shall be located so that no tree root with a diameter equal to or in excess of 50mm is severed or damaged. The smallest possible area shall be excavated which allows construction of the pier. The beam is to be placed a minimum of 100mm above ground level and is to be designed to bridge all tree roots with a diameter equal to or in excess of 50mm.

The project arborist shall document compliance with the above condition.

E.7 Installation of stormwater pipes and pits in the vicinity of trees

Excavation for the installation of stormwater pipes and pits within the specified radius from the trunks of the following trees shall be hand dug.

Council Ref No.	Species	Radius from centre of trunk (metres)
1	<i>Phoenix canariensis</i> (Canary Island Date Palm)	3
7	<i>Canary Island Date Palm</i> (<i>Phoenix canariensis</i>)	3
9	<i>Phoenix canariensis</i> (Canary Island Date Palm)	14.5
10	<i>Syagrus romanzoffianum</i> (Cocos Palm) (x4)	3
11	<i>Phoenix canariensis</i> (Canary Island Date Palm)	4

14	<i>Afrocarpus falcatus</i> (Outeniqua Yellowwood)	9.6
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Any roots greater than 40mm diameter uncovered for the installation of stormwater pipes and pits shall not be severed and remain in situ bridging across the excavated trench. Pipes shall be guided under any roots greater than 40mm bridging across excavated trenches. Stormwater pits shall be positioned so that no roots greater than 40mm diameter are severed.

The project arborist shall document compliance with the above condition.

F. Conditions which must be satisfied prior to any occupation or use of the building (Part 4A of the Act and Part 8 Division 3 of the Regulation)

F.1 Amenity Landscaping

The *owner or principal contractor* must install all approved amenity landscaping (screen planting, soil stabilisation planting, etc.) prior to any occupation or use of the site.

Note: This condition has been imposed to ensure that the environmental impacts of the development are mitigated by approved landscaping prior to any occupation of the development.

G. Conditions which must be satisfied prior to the issue of any Subdivision Certificate

Nil

H. Conditions which must be satisfied prior to the issue of a Final Occupation Certificate (s109C(1)(c))

H.1 Landscaping

The *principal contractor or owner* must provide to *PCA* a works-as-executed landscape plan and certification from a qualified landscape architect/designer, horticulturist and/or arborist as applicable to the effect that the works comply with this consent.

Note: This condition has been imposed to ensure that all Landscaping work is completed prior to the issue of the Final Occupation Certificate.

I. Conditions which must be satisfied during the ongoing use of the development

Nil

J. Miscellaneous Conditions

Nil

K. Advisings

K.1 Pruning or Removing a Tree Growing on Private Property

The provisions of State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017 and the Woollahra Development Control Plan 2015 (DCP), Chapter E3 –Tree Management, may require that an application be made to Council prior to pruning or removing any tree. The aim is to secure the amenity of trees and preserve the existing landscape within our urban environment.

Before you prune or remove a tree, make sure you read all relevant conditions. You can obtain a copy of the Woollahra DCP from Council's website www.woollahra.nsw.gov.au or call Council on 9391 7000 for further advice.

Andrew Simpson
Tree Management Team Leader